

7/5/2022 11:38:47 AM P:\522010.00 - 1014 St Anthony\Drawings\00REV\1014 St Anthony - New.rvt

1014 ST ANTHONY ST

RENOVATIONS AND BUILDING IMPROVEMENTS

JULY 8, 2022

PROJECT DIRECTORY

ARCHITECT	CONTRACTOR	OWNER
WILLIAMS ARCHITECTS 824 BARONNE STREET NEW ORLEANS, LA 70113 504.866.0888	PROM DAGOGLOU 504.905.7764	PAUL CRAVEN 1014 ST ANTHONY ST NEW ORLEANS, LA 70116

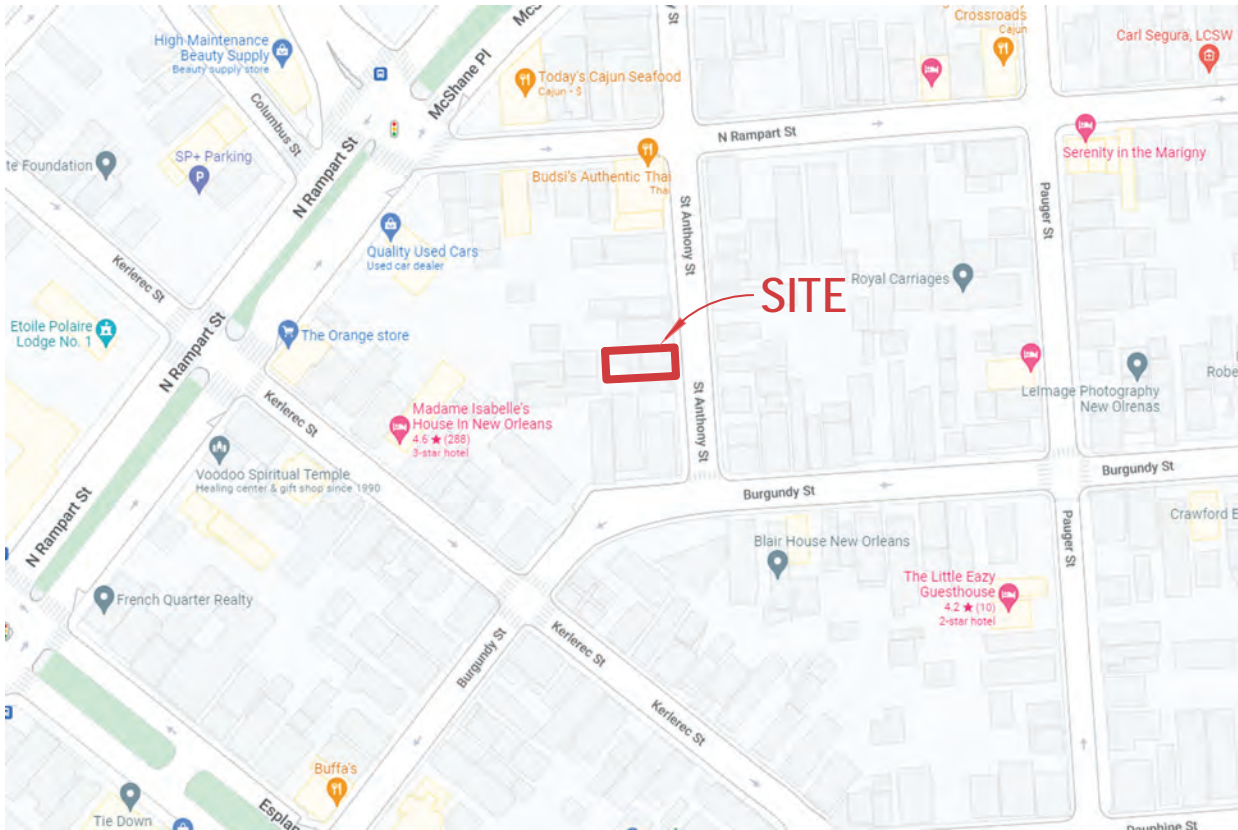
PROJECT INFORMATION

PROJECT ADDRESS	BUILDING INFORMATION
1014 ST ANTHONY STREET NEW ORLEANS, LA 70116	BUILDING SF 1272 SF LOT SF 2048 SF
PROJECT DESCRIPTION	BOUNDING STREETS
RENOVATION OF SINGLE FAMILY RESIDENCE ADDITION OF A NEW STAIRCASE, AN EXTENTION OF THE ATTIC SPACE, NEW PARTITION WALLS, AN EXTENSION OF THE KITCHEN SPACE ON THE GROUND FLOOR, AND TWO NEW ROOFS.	ST ANTHONY ST, BURGUNDY ST, KERLEREC ST, N RAMPART ST
	ZONING DISTRICT
	HMR-1

DRAWING INDEX

T000	INDEX OF DRAWINGS
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A102	ROOF PLAN
A103	PROPOSED PLANS
A104	RCP AND ROOF PLAN - PROPOSED
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS - PROPOSED
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS

VICINITY MAP



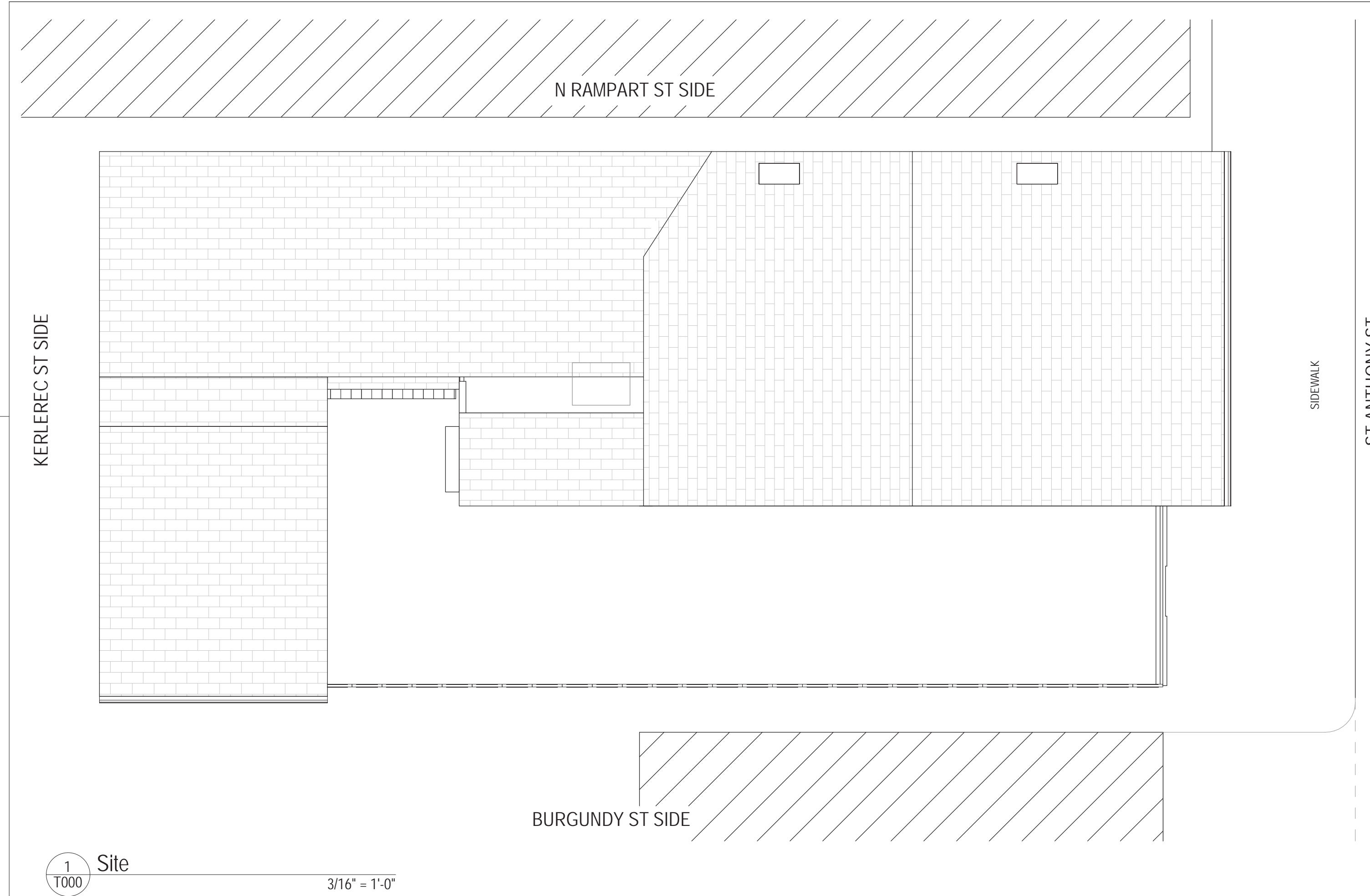
GENERAL NOTES

- GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION AND CONSTRUCTION OF STRUCTURES, SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS, DUST CONTROL, UTILITY, DISCOVERED HAZARDS, AND DISPOSAL. CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.
- EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. IF CONDITIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER BEFORE PROCEEDING WITH WORK.
- THE DESIGNER HAS ENDEAVORED TO IDENTIFY IN THE DRAWINGS EXISTING ELEMENTS, WALLS, CONSTRUCTION, ETC. THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED TO ALLOW THE EXECUTION OF THE WORK. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR, AND IS IN NO WAY INTENDED TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BIDDING AND TO BECOME FAMILIAR WITH THE PROJECT AND CONDITIONS TO EXECUTE THE WORK
- LOCATION OF UNDERGROUND AND/OR NO VISIBLE UTILITIES TO BE DETERMINED FROM DATA AND RECORDS PRIOR TO WORK.
- PRIOR TO EXCAVATION AND DIGGING CALL LA-ONE-CALL (1-800-272-3020) IN THE EVENT THAT UTILITY LINES ARE UNCOVERED, WHICH ARE NOT INDICATED ON THE DRAWING, WORK SHALL BE STOPPED IMMEDIATELY AND THE OWNER/ARCHITECT SHALL BE NOTIFIED AND THE FOLLOWING UTILITY COMPANIES WHERE APPLICABLE:
A. DRAIN, SEWER AND WATER: SEWERAGE AND WATER BOARD OF NEW ORLEANS
B. GAS AND ELECTRIC: ENTERGY
- TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE PRIOR TO BIDDING AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, THE WORK OF OTHER RELATED TRADES AS WELL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.
- VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK. CONTACT UTILITY COMPANIES FOR UNDERGROUND INFORMATION AND DEMOLITION WORK REQUIREMENTS
- REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS, UNLESS OTHERWISE INDICATED TO BE SALVAGED AND/OR SAVED FOR REUSE.
- THE CONTRACTOR WILL DEVISE A WORKING METHOD FOR THE CONTROL OF NOISE AND DUST PARTICLES FROM THE ADJACENT NEIGHBORS AND NEIGHBORHOOD AND SHALL MAINTAIN THOSE CONTROLS DURING THE DURATION OF THE WORK.
- THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM CONSTRUCTION ACTIVITIES, AND SHALL ALSO PROVIDE ALL NECESSARY PROTECTION OF THIS OWN WORK UNTIL TURNED OVER THE OWNER.
- CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING AND VENTILATION AS REQUIRED AND CONNECT TO TEMPORARY ELECTRIC SERVICE.
- CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE.
- CONTRACTOR TO PROVIDE ALL NECESSARY INSURANCE PER CONTRACT.

SYMBOLS LEGEND

- Level 1
0' - 0"
- FLOOR ELEVATION SYMBOL
- SPOT ELEVATION SYMBOL
- SECTION CUT AND REFERENCE
- SECTION CALLOUT AND REFERENCE
- TEXT CALLOUT
- EXAMPLE OR EXAMPLE

- ALL PATCHES IN EXISTING WALLS TO BE FLUSH WITH EXISTING WALL SURFACE AND TO MATCH IN TEXTURE WITH SURROUNDING SO AS TO NOT BE EVIDENT.
- ALL LIGHTING FIXTURES TO BE SELECTED BY OWNER. ALL FIXTURES TO BE INSTALLED BY CONTRACTOR.
- ALL CONSTRUCTION SHALL COMPLY WITH CITY, STATE, AND NATIONAL CODES AS REQUIRED.
- ALL BATT INSULATION SHALL HAVE A CLASS 'A' (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.
- ALL WOOD SHALL BE TREATED, AIR LUMBER, WHERE IN CONTACT WITH THE GROUND, PAINTED EXTERIOR WOOD SHALL BE TREATED AND FULLY AIR DRIED BEFORE PRIMING OF BACK, END, AND EDGE AND (2) COATS OF PREMIUM GRADE, EXTERIOR PAINT.
- STRUCTURAL DESIGN DELEGATED BY CONTRACTOR.
- PLUMBING DESIGN DELEGATED BY CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM THE WORK OF THIS CONTRACT. REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS.
- THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
- LOCATION AND DIMENSIONS SHALL BE PER ARCHITECTURAL DRAWINGS. DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE START OF WORK. FURNISHINGS INDICATED ON ARE FOR REFERENCE AND COORDINATION.
- VARIATIONS FROM THE WORK DUE TO AVAILABILITY OF MATERIALS, FIELD CONDITIONS, EQUIPMENT SPECS, ETC. SHALL BE MADE ONLY WITH THE APPROVAL OF THE ARCHITECT.
- VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK.
- PROVIDE SECURITY AND FACILITIES TO PROTECT SITE AREA, EXISTING FACILITY AND EQUIPMENT FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT DURING THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HIS/HER OWN EQUIPMENT AND TOOLS.
- MAINTAIN FIRE SAFETY/CONTROL AT ALL TIMES.



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These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (will) ~~will not~~ be providing project construction administrative services on this project.

x. *John C. Williams*



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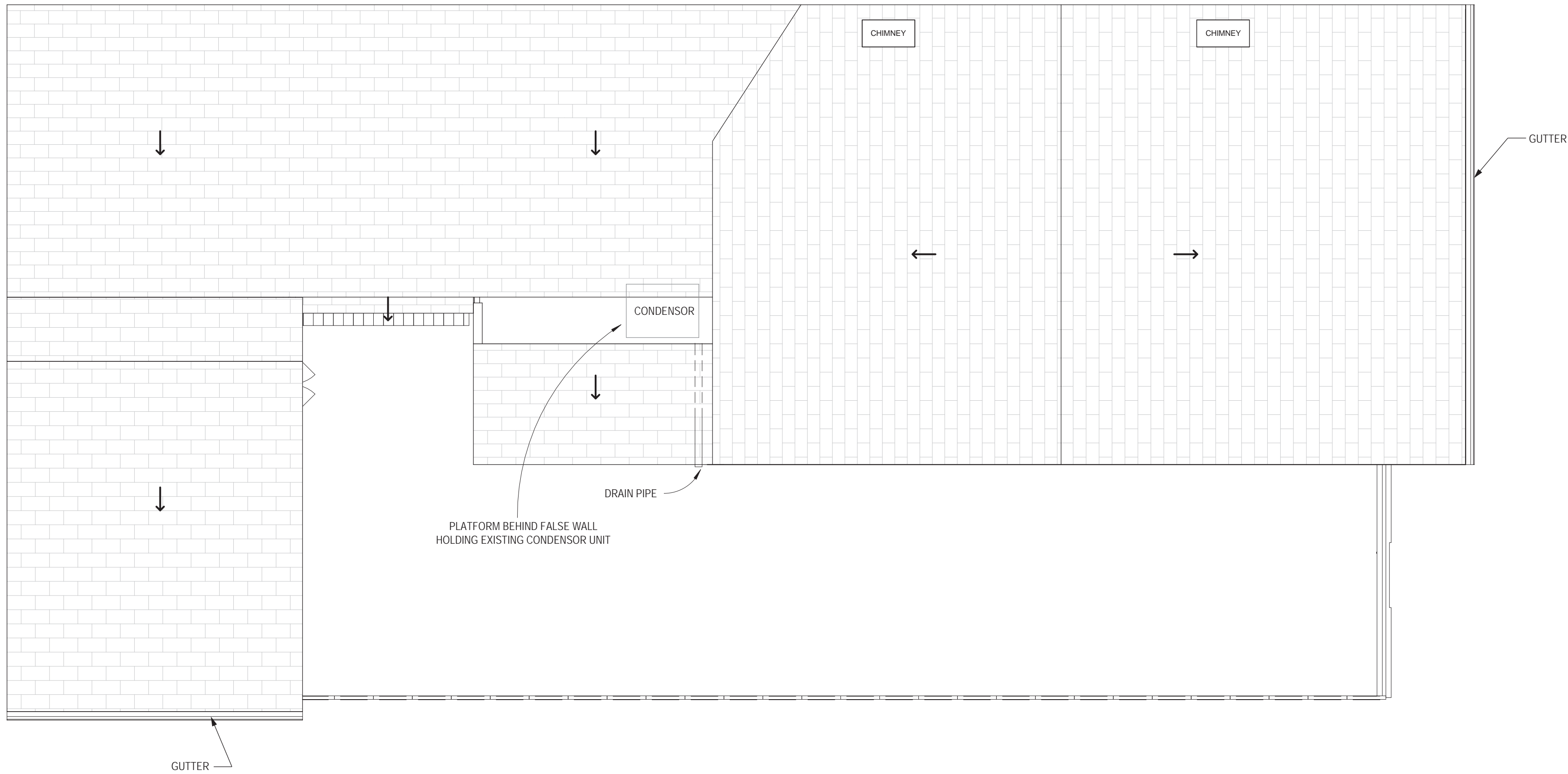
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No.	Date	Scope

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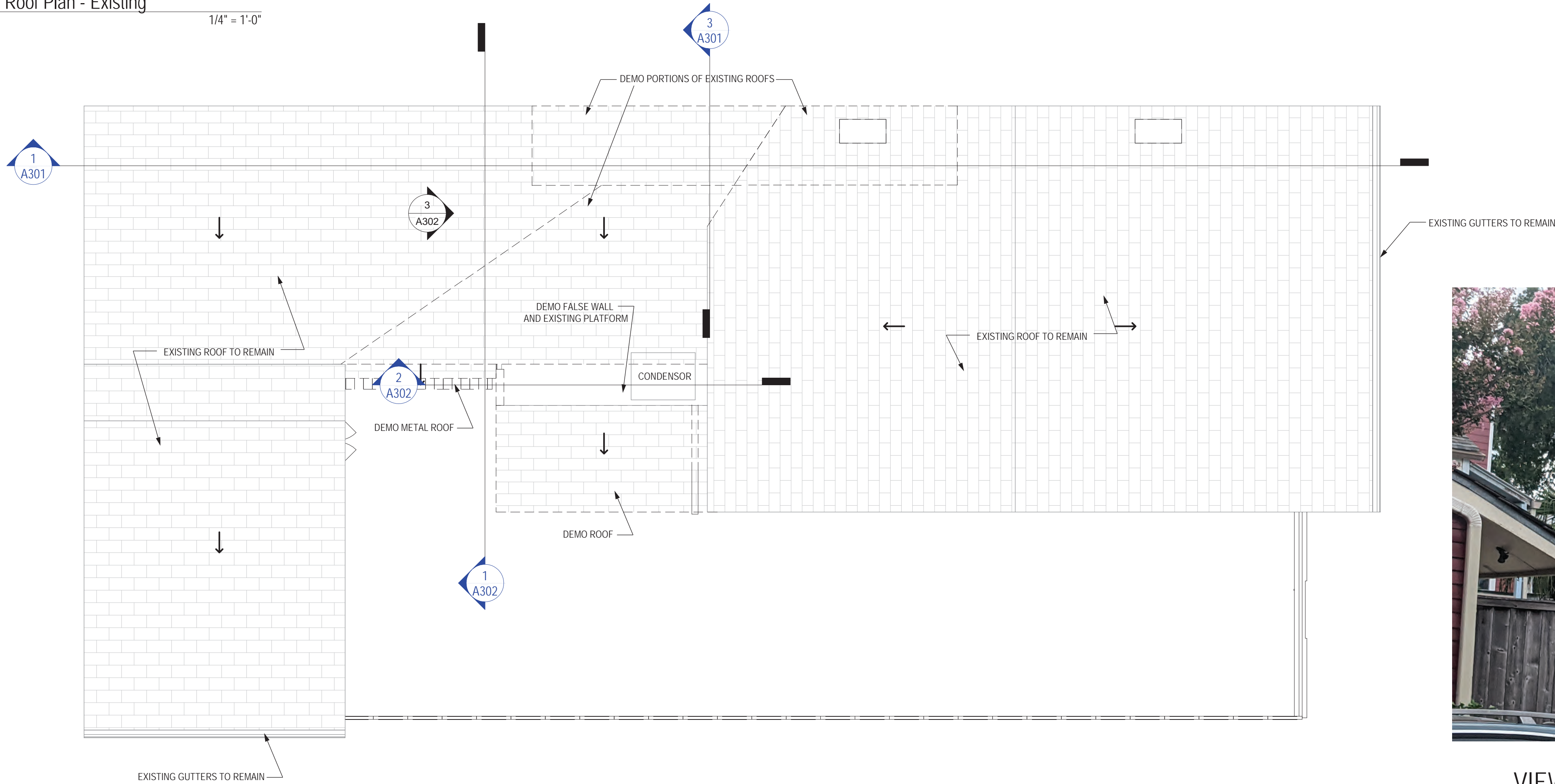
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1
A102
Roof Plan - Existing
1/4" = 1'-0"



2
A102
Roof Plan - Demo
1/4" = 1'-0"



VIEW OF IMPACTED AREA FROM ST ANTHONY ST, SOUTH OF 1014

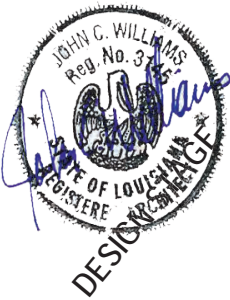


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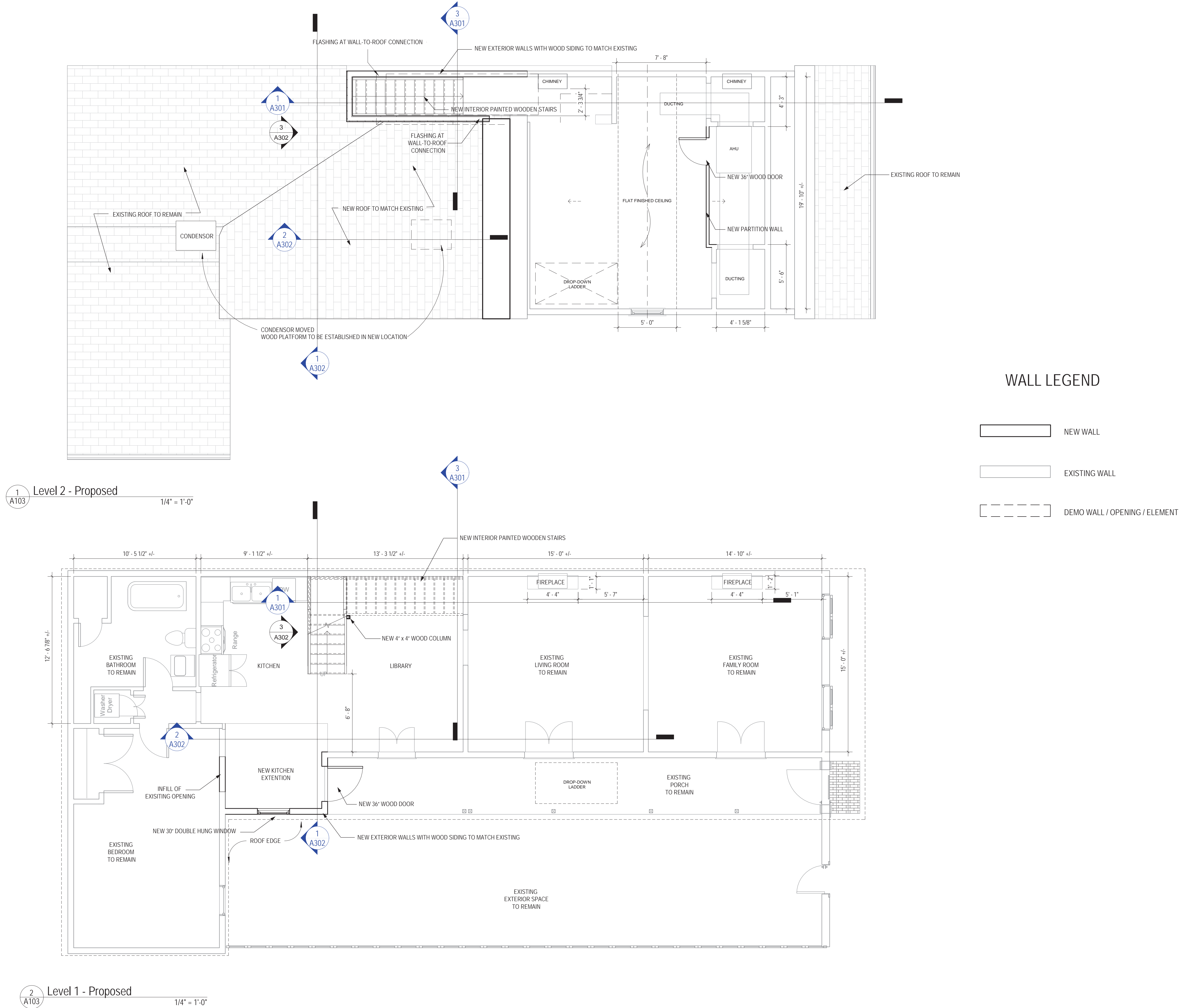
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DRAWING
ROOF PLAN

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SCALE 1/4" = 1'-0"
JOB No. 522010.00
DATE 07/08/2022

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A102



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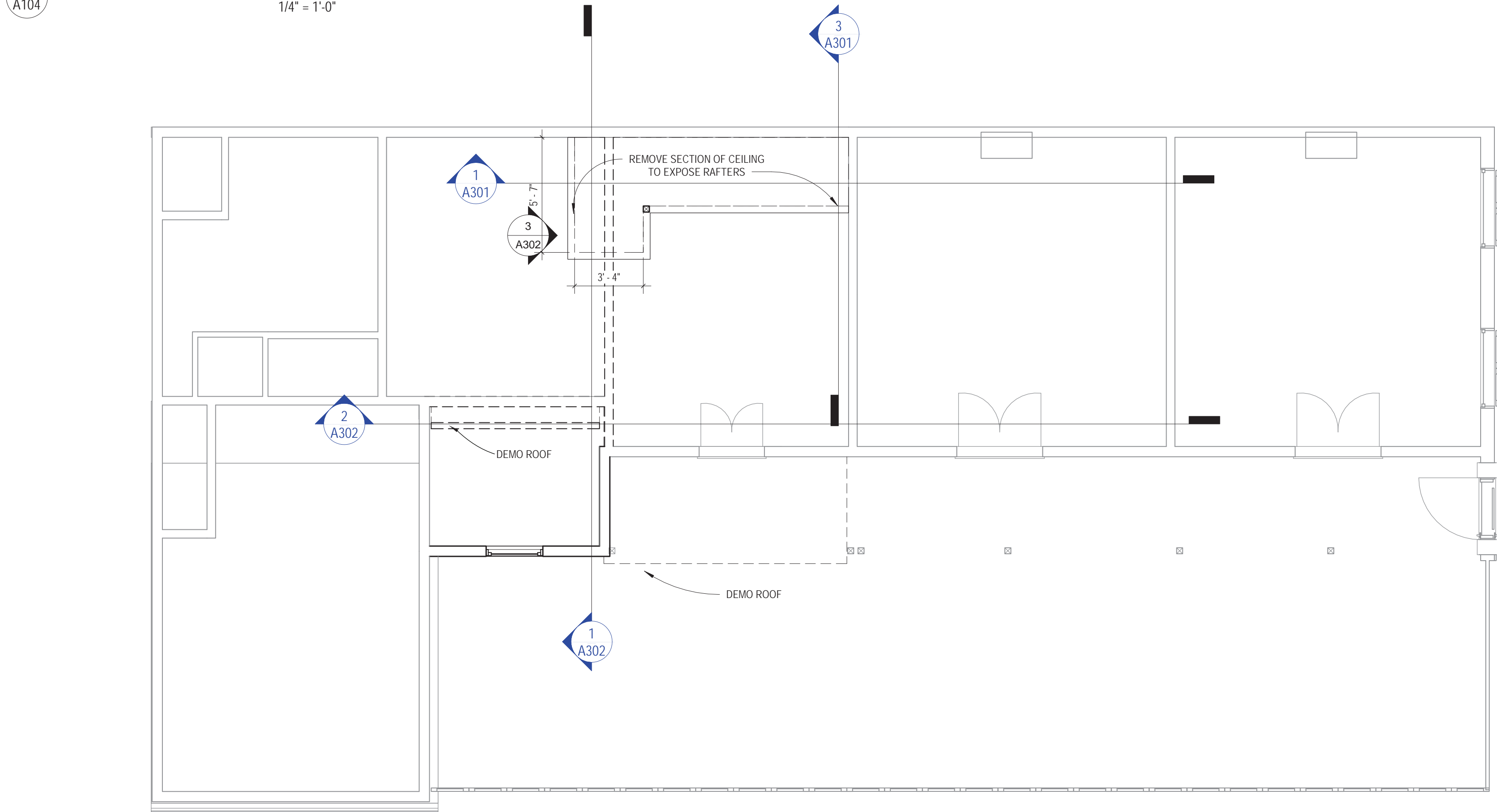


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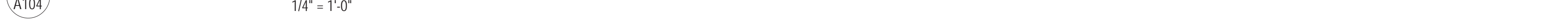
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2 A104 Roof Plan - Proposed 1/4" = 1'-0"



1 A104 Reflected Ceiling Plan of Level 1 - Proposed 1/4" = 1'-0"



VIEW OF IMPACTED AREA FROM ST ANTHONY ST, SOUTH OF 1014



PROPOSED ADDITION



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DRAWING
RCP AND ROOF PLAN -
PROPOSED

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A104

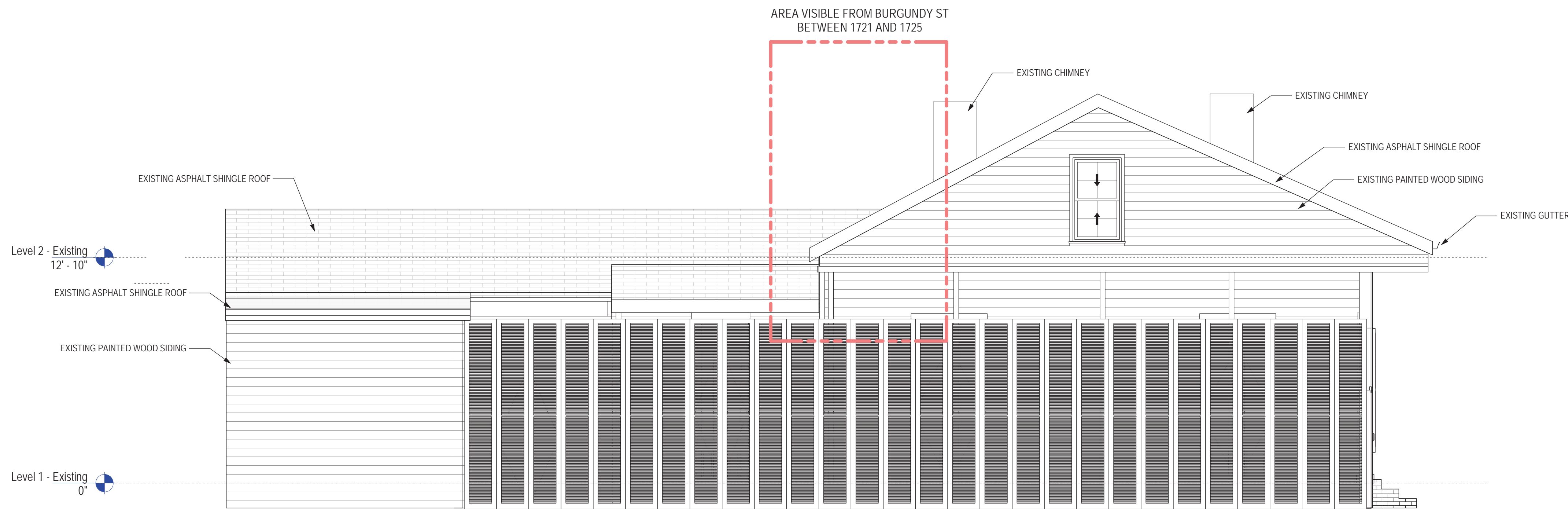
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1
A201
Existing Elevation - St Anthony St Side
1/4" = 1'-0"



VIEW BETWEEN 1721 AND 1725 BURGUNDY ST



4
A201
existing Elevation - Burgundy St Side
1/4" = 1'-0"



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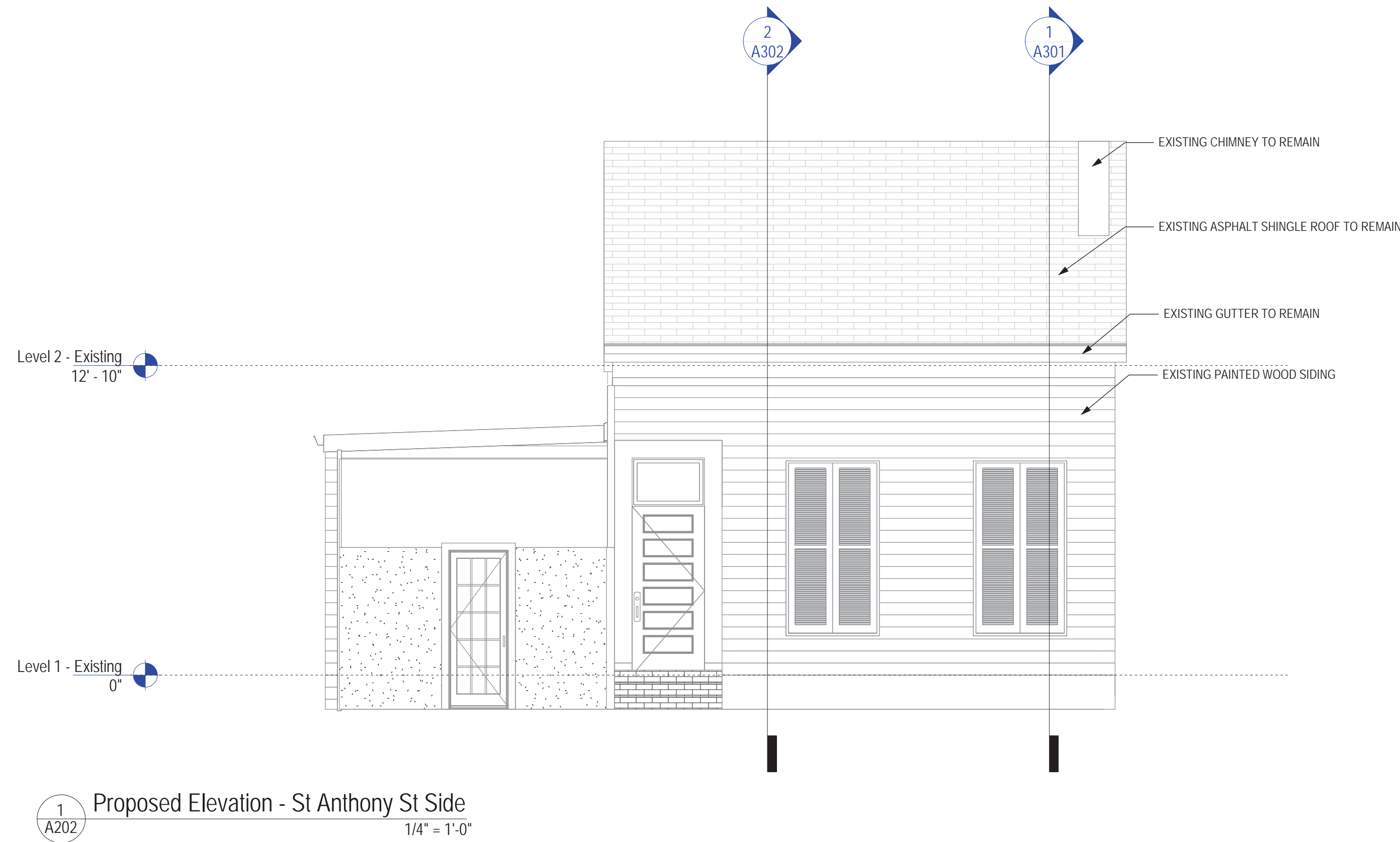
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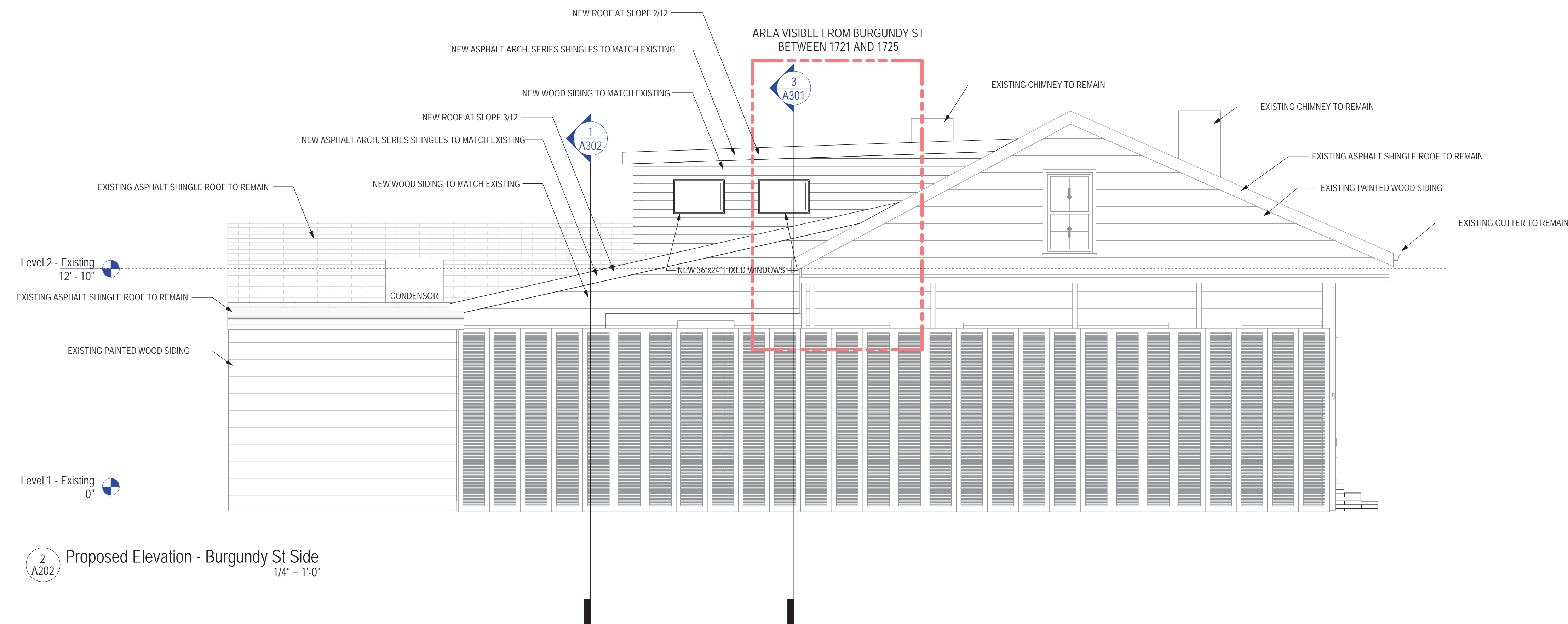
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VIEW BETWEEN 1721 AND 1725 BURGUNDY ST



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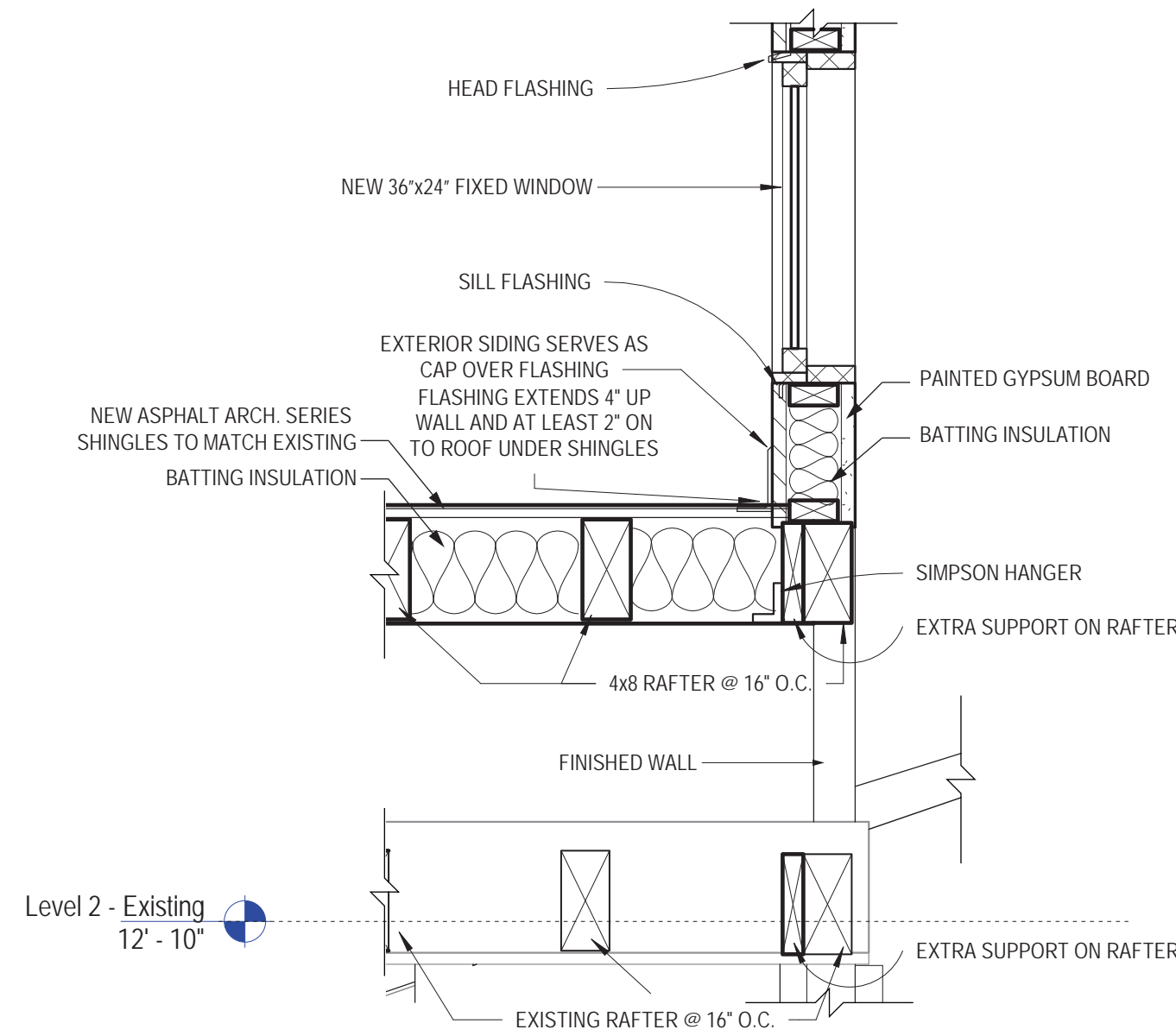
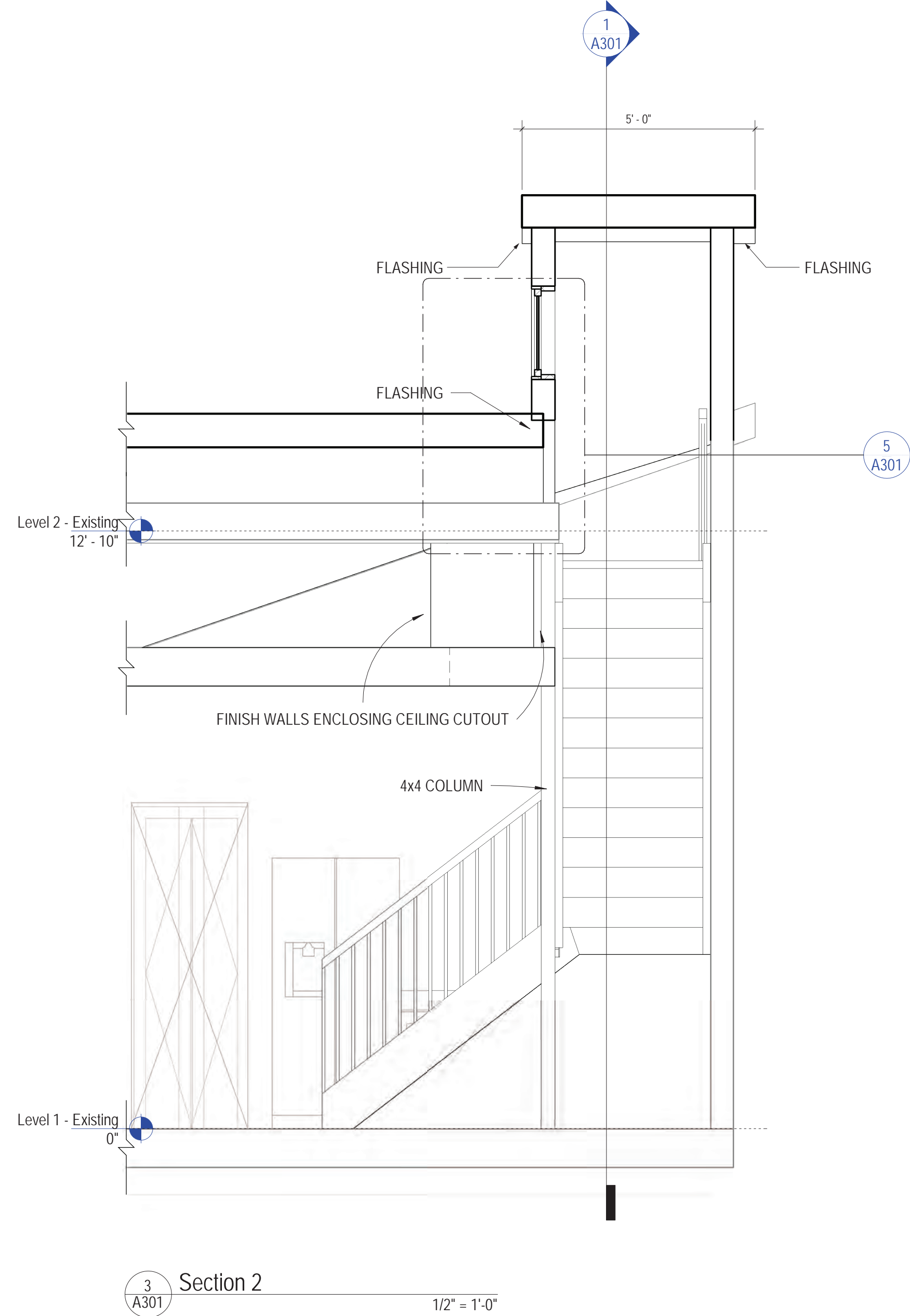
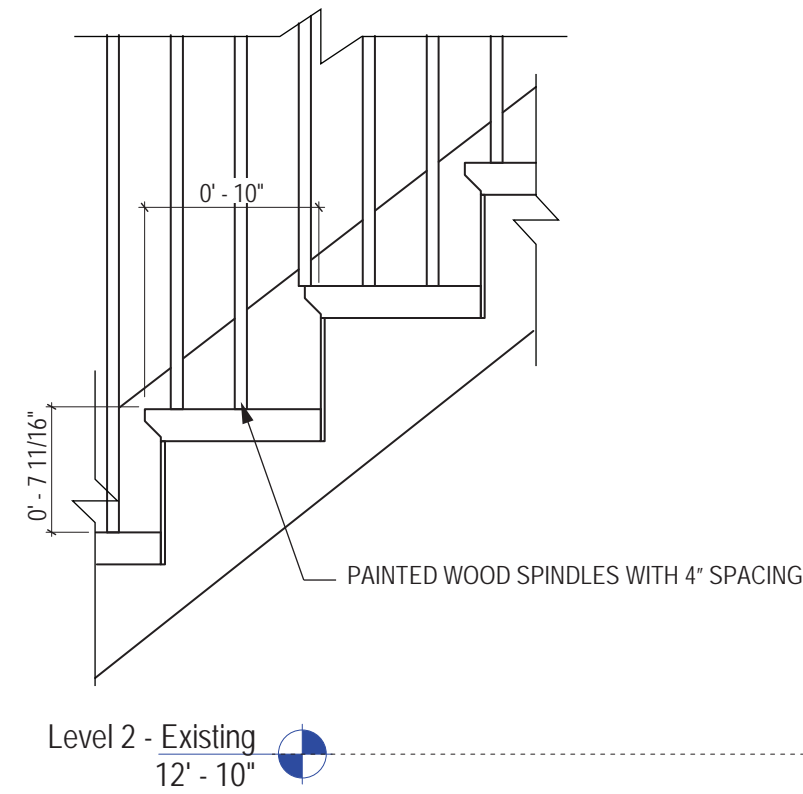
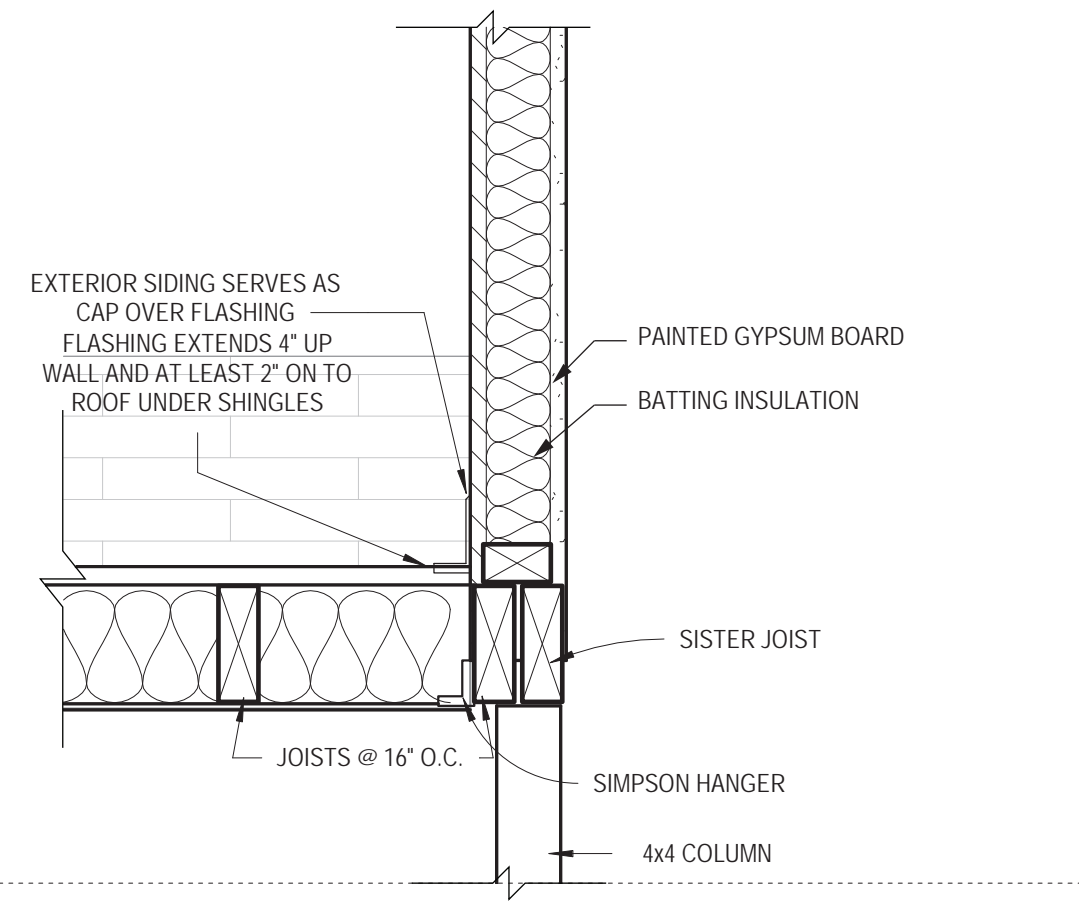
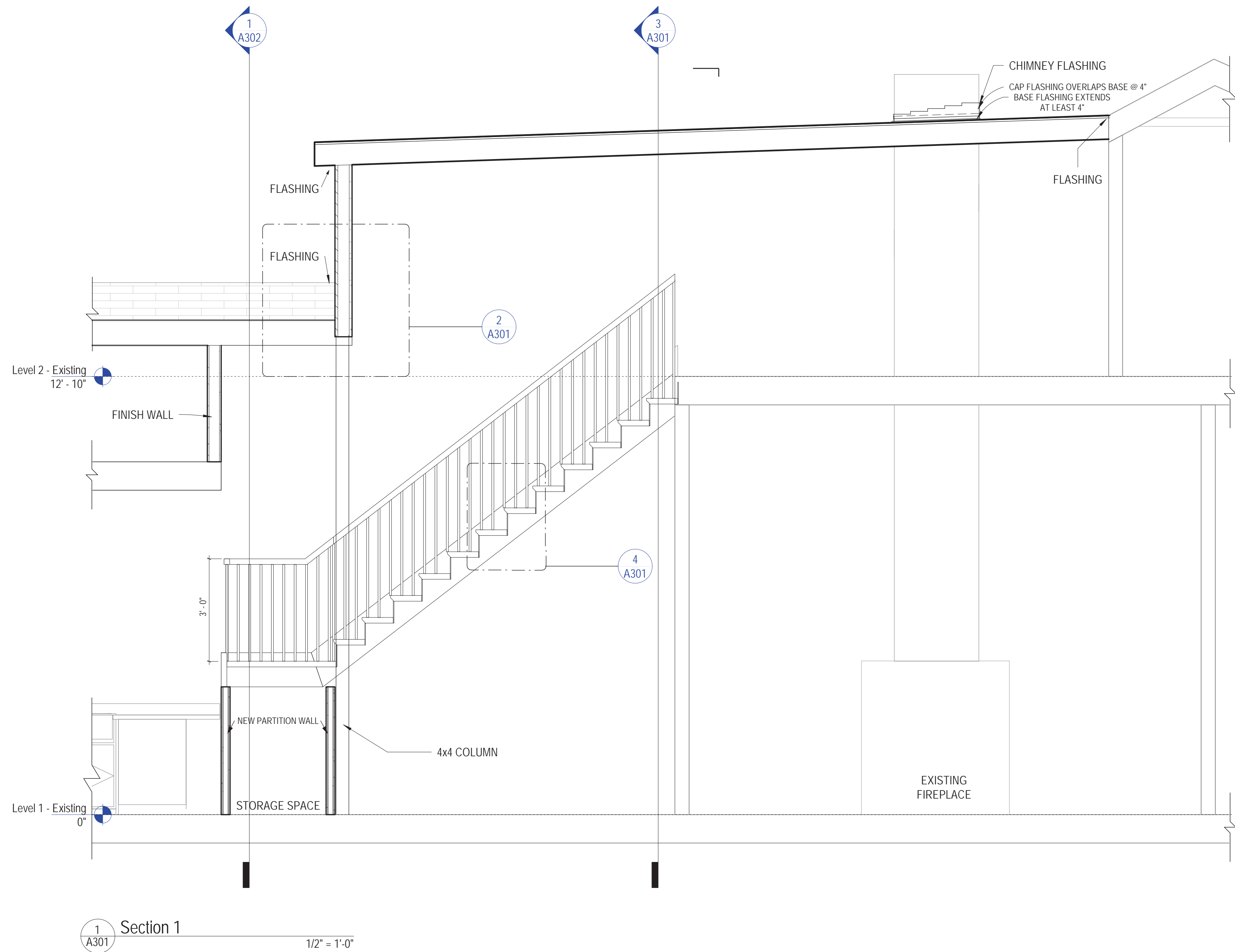
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EXTERIOR ELEVATIONS -
PROPOSED

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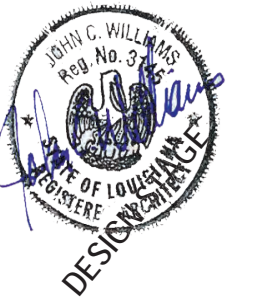


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BUILDING SECTIONS

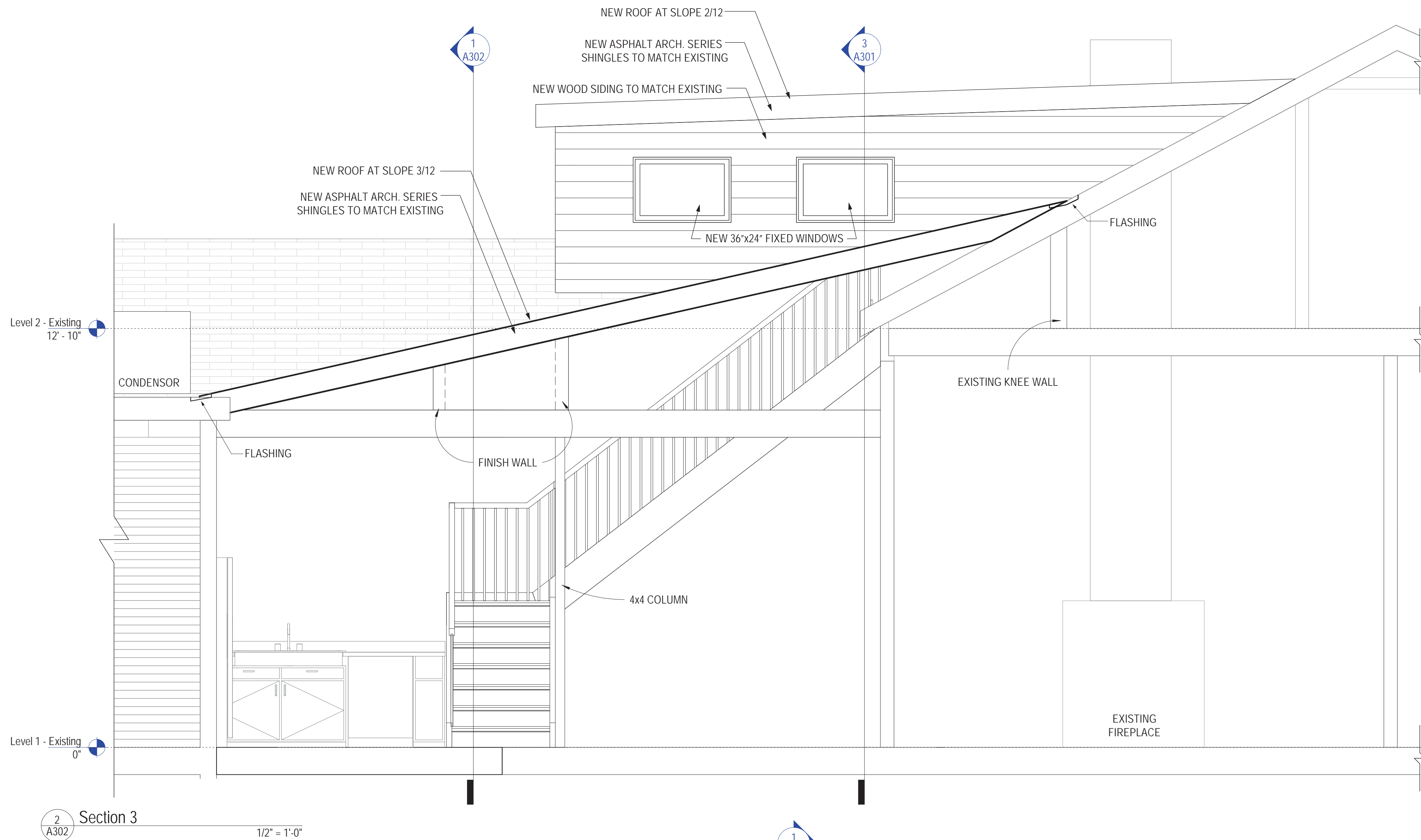
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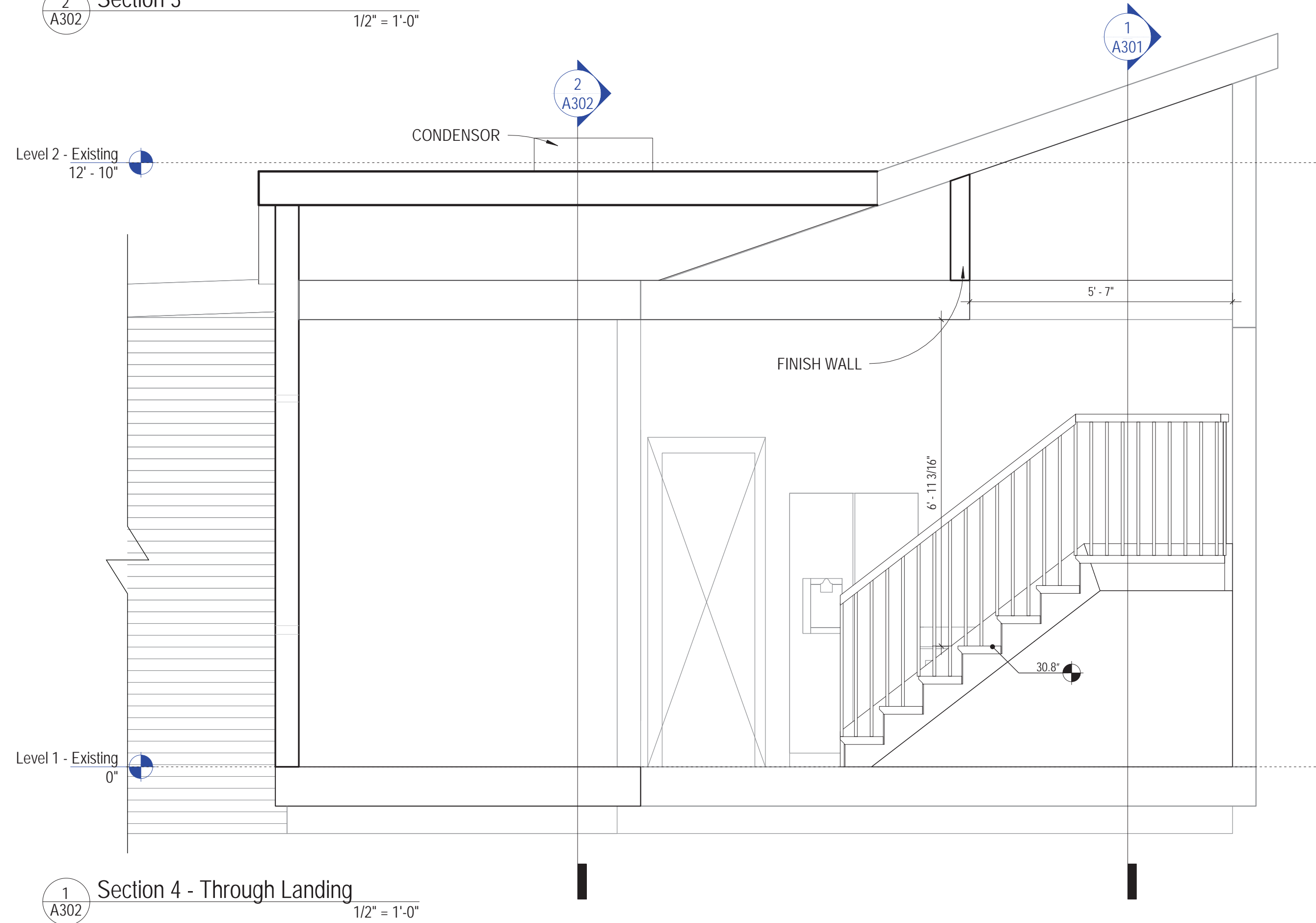
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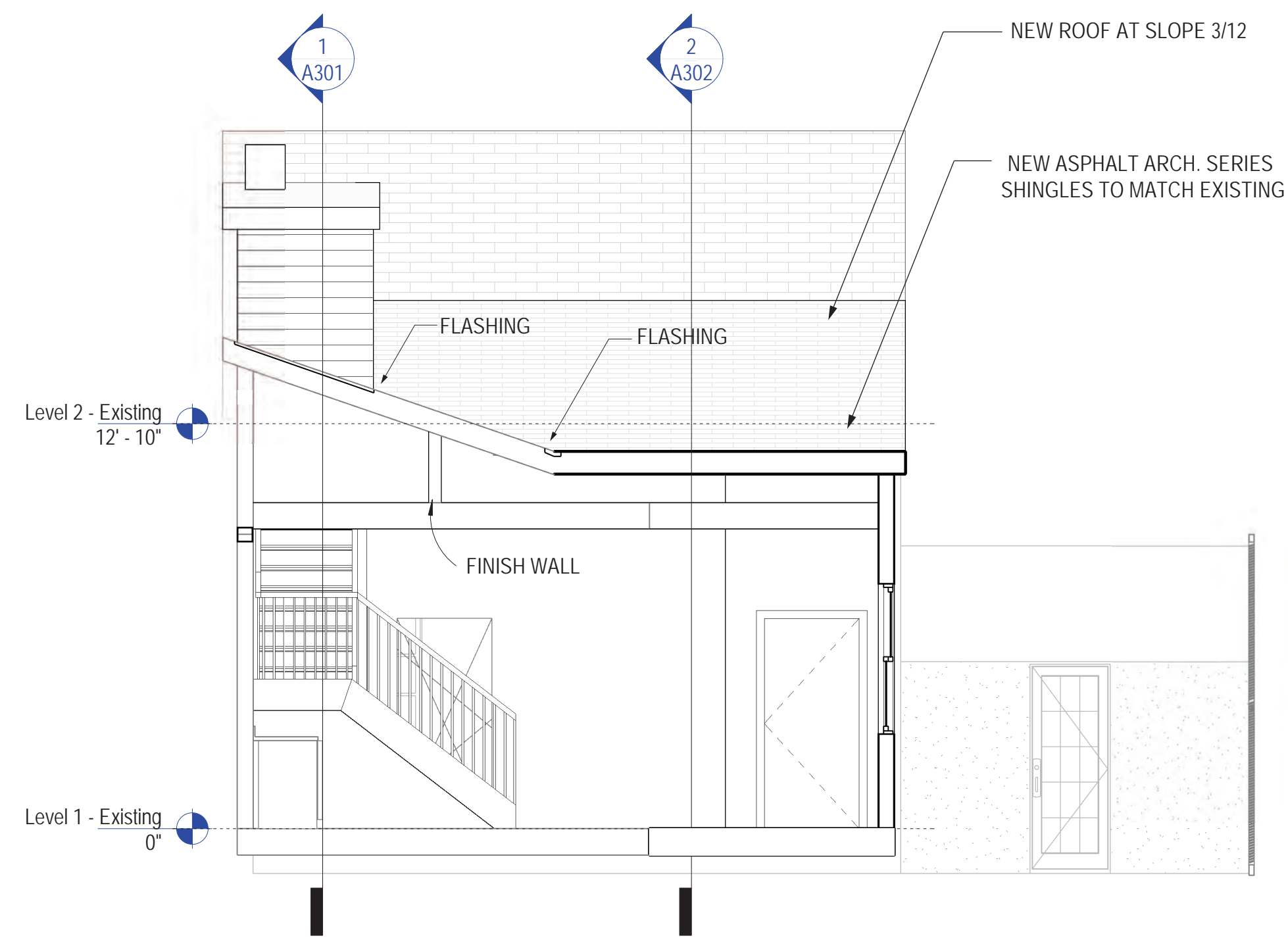
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Section 3
1/2" = 1'-0"



Section 4 - Through Landing
1/2" = 1'-0"



Elevation 1 - A
1/4" = 1'-0"



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