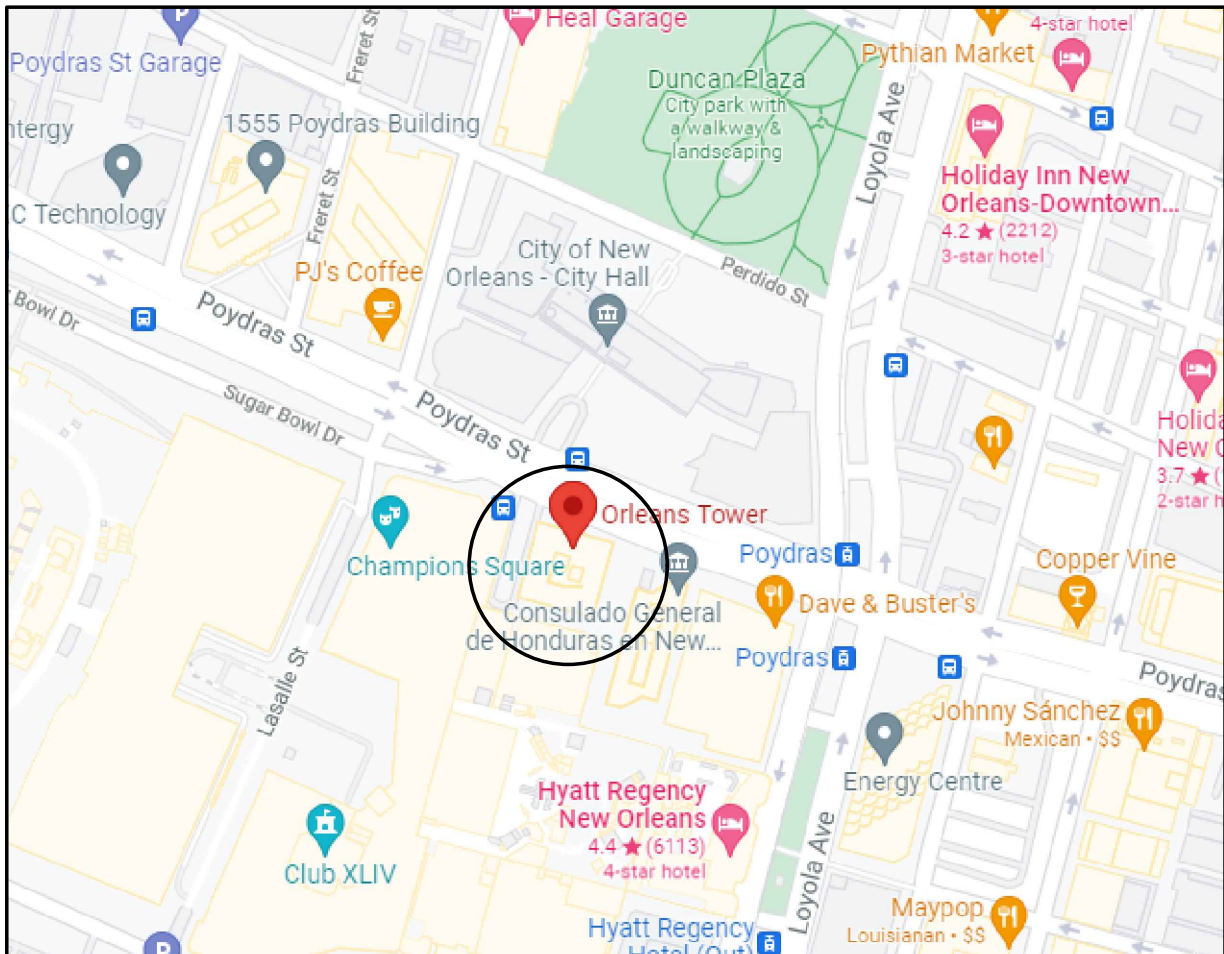


AREA MAP



RENOVATION FOR  
OBES  
FLOOR 08, SUITE 800  
ORLEANS TOWER  
1340 POYDRAS ST.  
NEW ORLEANS, LA 70112

100% COMPLETION SET: 05-27-22

GENERAL NOTES TO CONTRACTOR

THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.

WORK ONLY FROM THE WRITTEN DIMENSION SHOWN. DO NOT SCALE DRAWINGS. WORK FROM ESTABLISHED LINES AND LEVELS. ESTABLISH DEPENDABLE MARKERS FOR LINES AND LEVELS OF THE WORK.

SURVEY EXISTING ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL SYSTEMS LOCATIONS, AND COORDINATE WITH WORKING DRAWINGS PRIOR TO SUBMITTING A PRICE FOR THIS WORK. IT WILL VERIFY THAT ALL NEW CONSTRUCTION AND EQUIPMENT INSTALLATIONS ARE COMPATIBLE WITH BOTH THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. ALL COSTS OF RELOCATION AND MODIFYING EQUIPMENT SHALL BE REFLECTED IN INITIAL PRICE PROPOSALS. CHANGE ORDERS OR JOB EXTRAS FOR SUCH WORK SHALL NOT BE APPROVED.

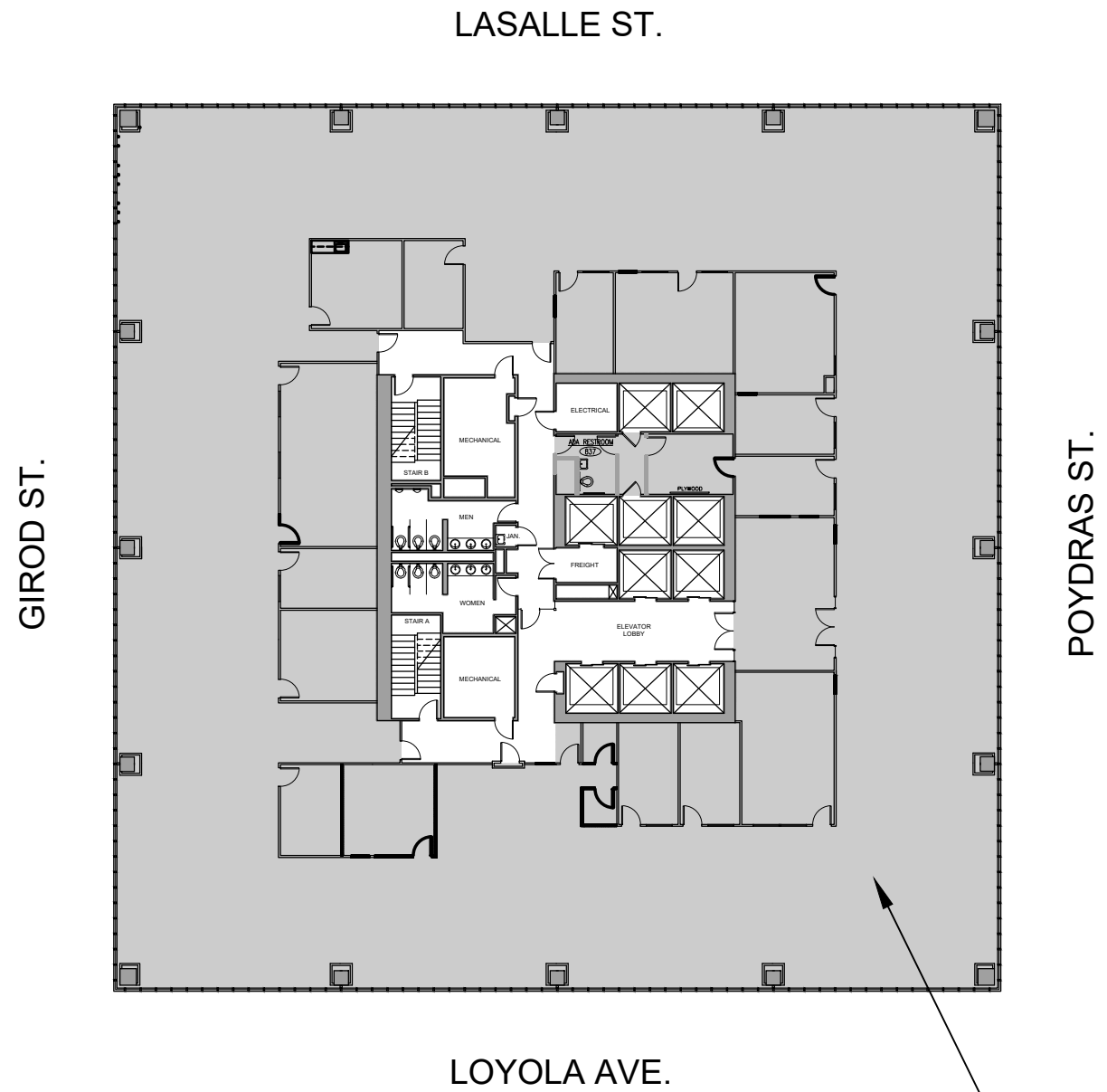
THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FOR THE WORK. ALL TRADES SHALL BE RESPONSIBLE FOR PERFORMING WORK IN ACCORDANCE WITH TRADE STANDARDS, AND ALL APPICABLE CODES, LAWS AND REGULATIONS.

IF THE CONTRACTOR REUSES EXISTING LIGHT FIXTURES, EACH FIXTURE MUST BE CLEANED AND RELAMPED TO MATCH EXISTING FIXTURES.

THE CONTRACTOR SHALL REUSE CLEAN, UNDAMAGED CEILING TILES AND GRID SYSTEMS. LOCATE ONLY "LIKE" TILES TOGETHER IN THE SAME ROOMS OR AREAS. DO NOT MIX EXISTING TILES WITH THE NEW ONES.

THE CONTRACTOR SHALL INSPECT, CLEAN, REPAIR OR REPLACE ANY PORTION OF THIS WORK THAT IS EXISTING PRIOR TO CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO CEILING TILES, CEILING GRID, EXISTING FLOORING, EXIST WALLS AND PARTITIONS, LIGHT FIXTURES, LENSES, GRILLS, DIFFUSERS, EXTERIOR GLAZING WALLS, MULLIONS, SILLS, GLASS, BLINDS, LOUVER DRAPES, DOORS, FRAMES AND HARDWARE. THE CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER THE REPAIR AND REPLACEMENT OF BASE BUILDING ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESENTING THE TENANT WITH A SPACE IN "LIKE-NEW" CONDITION.

KEY PLAN



PROJECT INFORMATION

AREA OF CONSTRUCTION:	17,135 SQFT
PROJECT LOCATION:	ORLEANS TOWER 1340 POYDRAS ST., SUITE 800 NEW ORLEANS, LA 70112
PARISH:	ORLEANS
PRIMARY OCCUPANCY:	OCCUPANCY GROUP B, COMMERCIAL / OFFICE
ZONING:	
SQUARE # / LOT NUMBER:	
CONSTRUCTION TYPE:	IA
BUILDING FIRE PROTECTION:	SPRINKLERED / FIRE ALARM
APPLICABLE CODE:	2015 NFPA 101 LIFE SAFETY CODE 2015 INTERNATIONAL BUILDING CODE ADA ACCESSIBILITY GUIDELINES (ADAG)

PROJECT DIRECTORY

CLIENT/CONTACT:	JEFFERY LAHASKY EXECUTIVE VICE PRESIDENT 1340 POYDRAS ST., SUITE 1770 NEW ORLEANS, LA 70112 TEL: (504) 529-5858 EMAIL: JEFFL@ORLEANS TOWER.COM
BUILDING MANAGER:	LESLIE SUMLER PROPERTY MANAGER 1340 POYDRAS ST., SUITE 1770 NEW ORLEANS, LA 70112 TEL: (504) 529-5848 EMAIL: LESLIESU@ORLEANS TOWER.COM
PROJECT COORDINATOR/ CLIENT CONTACT:	ROBIN ROUSSEL AGL COMMERCIAL INTERIORS 433 METAIRIE RD, SUITE 208 METAIRIE, LA 70005 TEL: (504) 888-9077 EMAIL: RROUSSEL@AGLDESIGNS.COM
PROJECT ARCHITECT:	M. CLAIRE PICKERING LA LICENSE #6418 7500 OAK STREET NEW ORLEANS, LA 70118 TEL: (504) 430-2516 EMAIL: CLAIRE@FLUIDARCHDESIGN.COM
PROJECT ENGINEERS/CONTACT:	JASON CHAUVIN HUSEMAN & ASSOCIATES 3501 N. CAUSEWAY, SUITE 710 METAIRIE, LA 70002 TEL: (504) 456-3119 EMAIL: JASONC@HUSEMANLLC.COM

PROJECT SCOPE OF WORK

THE SCOPE OF WORK FOR THE REFERENCED PROJECT INCLUDES RENOVATION OF A OFFICE SPACE LOCATED AT 1340 POYDRAS STREET ON THE 8TH FLOOR.

THE SCOPE OF DEMOLITION IS LIMITED TO THE REMOVAL OF SOME INTERIOR PARTITIONS AND GLASS SIDELITES, THE REMOVAL OF SOME DOORS, MILLWORK, AND WALL FINISHES.

THE SCOPE OF THE ARCHITECTURAL WORK IS LIMITED TO SOME NEW INTERIOR PARTITIONS, NEW DOORS, NEW MILLWORK AND PLUMBING, AND NEW WALL FINISHES.

SCOPE OF THE ELECTRICAL WORK IS LIMITED TO THE RELOCATION OF EXISTING OUTLETS AND LIGHTING WHERE CONFLICTING WITH NEW WALLS AND THE CONNECTION OF NEW OUTLETS AND LIGHTING TO EXISTING CIRCUITS.

THE SCOPE OF MECHANICAL WORK IS LIMITED TO THE RELOCATIONS OF EXISTING GRILLS TO ACCOMMODATE NEW WALLS AND REBALANCING OF EXISTING HVAC SYSTEM.

THE SCOPE OF THE PLUMBING WORK IS LIMITED TO A NEW SINK AND DRAIN.

PERMIT NOTES

SHOP DRAWING SUBMITTALS TO THE FIRE MARSHAL'S OFFICE FOR FIRE ALARMS, SPRINKLERS AND SUPPRESSION SYSTEM, SHALL BE BY AND THROUGH THE "PROFESSIONAL OF RECORD" (ENGINEER) AND SHALL BE STAMPED WITH HIS "SHOP DRAWING REVIEW STAMP" OR EQUIVALENT, INDICATING THAT SHOP DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER FOR CONFORMANCE WITH PLANS, SPECIFICATIONS, AND APPROPRIATE CODES.

ALL SPRINKLER MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 13 2015.

AS REQUIRED BY NFPA 72 2015 THE FOLLOWING ITEMS SHALL BE IN ACCORDANCE WITH SMOKE ALARMS SECTION 9.6.2.10, SMOKE CONTROLS SYSTEM SECTION 9.3 AND FIRE ALARM AND COMMUNICATION SYSTEMS SECTION 9.6. IBC 2015 THE FOLLOWING ITEM SHALL BE IN ACCORDANCE WITH FIRE ALARM AND DETECTION SYSTEM SECTION 907.

SMOKE ALARMS SHALL BE INSTALLED ACCORDING TO NFPA 72 2015 NATIONAL FIRE ALARM CODE.

DOORS SHALL BE ARRANGED TO BE READILY OPENED FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED, LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE INSIDE OF THE BUILDING (NFPA 101 2015, SECTIONS 7.2.1.5.1 AND 7.2.1.5.2 AND IBC 2015, SECTIONS 1008.1.2 AND 1008.1.B.3).

ALL HARDWARE IN LOCKING CONDITIONS CANNOT BE LOCKED FROM THE INSIDE AND MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY. THIS IS TRUE FOR BOTH TENANT ENTRY AND EXIT DOORS, AS WELL AS TENANT INTERIOR OFFICE DOORS.

LOCKS ON DOORS IN MEANS OF EGRESS SHALL NOT REQUIRE THE USE OF A KEY. THIS IS TRUE FOR BOTH TENANT ENTRY AND EXIT DOORS, AS WELL AS TENANT INTERIOR OFFICE DOORS.

ALL EXIT SIGNS SHALL BE EMERGENCY TYPE, 4912 MCS.

ALL WALL COVERING AND ACOUSTICAL CEILING TILES SHALL BE CLASS "A" AND SO LABELED.

INSULATION AND INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF IBC 2015, SECTION 719.

BUILDINGS OR PORTIONS OF BUILDINGS SHALL BE PERMITTED TO BE OCCUPIED DURING CONSTRUCTION REPAIR, ALTERATIONS, OR ADDITIONS ONLY IF ALL FIRE PROTECTION FEATURES ARE IN PLACE AND CONTINUOUSLY MAINTAINED FOR THE PORTION OCCUPIED.

A REQUIRED FIRE SEPARATION SHALL BE CONTINUOUS FROM FOUNDATION THOUGH ALL INTERVENING CONSTRUCTION TO THE ROOF DECK, FROM OUTSIDE WALL TO OUTSIDE WALL TO OUTSIDE WALL OR FROM FIRE BARRIER PROVIDE UL OR FM LISTED ASSEMBLY.

PENETRATIONS THROUGH RATED CONSTRUCTION SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN TESTED IN ACCORDANCE WITH ASTM-E814.

ALL FLOOR OUTLETS (POKE THROUGH, UL 232A) SHALL BE SEALED WITH A FIRE BARRIER SYSTEM THAT WILL MEET OR EXCEED THE FIRE RATING OF THE AREA SURROUNDING THE PENETRATION.

MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM SHALL BE IN ACCORDANCE WITH NFPA 72 2015, SECTION 9.6, IBC 2015, SECTION 907, NFPA 72 2015 AND ADA-AG, JULY 2004.

SUBMIT FIRE ALARM SYSTEM SHOP DRAWINGS WITH PLAN REVIEW APPLICATION AND FEE PRIOR TO INSTALLATION OF AND WORK OF THIS SECTION. SUCH WORK SHALL NOT COMMENCE UNTIL SHOP DRAWINGS HAVE BEEN FOUND TO BE IN COMPLIANCE WITH APPLICABLE CODES.

ALL WORK AND INSPECTIONS OF FIRE ALARM FIRE SUPPRESSION, AUTOMATIC SPRINKLER AND FIRE EXTINGUISHING SYSTEMS OR PORTABLE FIRE EXTINGUISHERS SHALL BE PERFORMED BY A STATE OF LOUISIANA CERTIFIED AGENT.

OWNER SHALL COMPLY WITH NFPA 70 2015, NATIONAL ELECTRICAL CODE 2015, FOR ALL PROPOSED ELECTRICAL WORK IN THIS SUBMITTAL. ELECTRICAL WORK/MODIFICATIONS MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING. LIGHTING FIXTURES (INTERIOR, EXTERIOR AND SITE): RECEPTACLES: PANELS SCHEDULES SCHEDULES: UTILITY COMPANY OR SERVICE TRANSFORMER KVA SIZE, NUMBER OF PHASES, VOLTAGE AND SECONDARY SHORT CIRCUIT AMPS: FIXTURE SCHEDULES: WIRE TYPE, SIZE AND CIRCUITING: SINGLE LINE DIAGRAM: PROPERTY SIZED NEW AND EXISTING PROTECTIVE EQUIPMENT, INCLUDING SERVICE DISCONNECT (S), PANEL BREAKERS AND FUSED SWITCH'S, SIZED FOR AVAILABLE SHORT CIRCUIT AMPS: PROPERLY SIZED SYSTEM GROUNDING CONDUCTOR AND GROUNDING ELECTRODE: CONNECTION OF THE SYSTEM GROUNDING AND BONDING AT THE SERVICE DISCONNECT ENCLOSURE: PROPERLY SIZED OVERLOAD OR OVER CURRENT AND SHORT CIRCUIT PROTECTIVE DEVICES FOR CONDUCTORS, MOTORS, TRANSFORMERS AND EQUIPMENT: PROPERLY SIZED CONDUCTORS FOR EQUIPMENT GROUNDING AND BONDING OF ALL METALLIC CONDUIT AND ENCLOSURES: INSTALLATION OF GROUND FAULT CIRCUIT RECEPTACLES: ETC.

INSTALL SMOKE DETECTORS TO AUTOMATICALLY STOP THE FAN IN HVAC DUCT SYSTEM OVER 2000 CRM IN ACCORDANCE WITH NFPA 90A: 4-4.2(1). WHERE FIRE ALARM SYSTEM IS REQUIRED, DUCT DETECTORS SHALL BE CONNECTED TO BUILDING ALARM SYSTEM.

ALTERNATES

ALT#1	PAINT EXISTING CEILING GRID, THROUGHOUT.
ALT#2	FURNISH AND INSTALL NEW 2X2 ACOUSTICAL CEILING TILES, THROUGHOUT.
ALT#3	FURNISH AND INSTALL NEW 2X4 LIGHT FIXTURES
ALT#4	MEN'S, WOMEN'S, RESTROOMS RENOVATION TO INCLUDE: <ul style="list-style-type: none"><li>REMOVE AND DISCARD FLOOR TILE, WALL TILE, BASE, TOILET PARTITIONS, COUNTERTOPS, SINKS, FAUCETS, WALLCOVERING, AND MIRRORS</li><li>CEILING AND LIGHT FIXTURES ARE TO REMAIN.</li><li>TOILETS AND URINAL ARE TO REMAIN.</li><li>GRAB BARS, PAPER TOWEL DISPENSERS, AND TOILET PAPER DISPENSERS ARE TO BE REUSED.</li></ul>
ALT#5	PROVIDE ACOUSTICAL SOUND BATT INSULATION ABOVE PARTITIONS AT ALL OFFICES, CONFERENCE ROOMS, COLLABORATION ROOMS, BREAK ROOM, AND MOTHER'S ROOMS. REFER TO PARTITION DETAIL 2/A3.
ALT#6	PROVIDE MODULAR SOUND SHADOW MAKING SYSTEM THROUGHOUT SPACE.
ALT#7	ADA RESTROOM RENOVATION TO INCLUDE: <ul style="list-style-type: none"><li>REMOVAL OF EXISTING VCT FLOORING AND WALL BASE</li><li>PLUMBING FIXTURES ARE TO REMAIN</li><li>CEILING AND LIGHT FIXTURES ARE TO REMAIN</li><li>GRAB BARS, MIRROR AND ACCESSORIES MAY BE REUSED</li><li>NEW PORCELAIN FLOOR TILE AND BASE.</li><li>PAINT ALL WALLS</li></ul>
ALT#8	G.C TO COMPLETE TENANT'S TELECOMMUNICATIONS INSTALLATION. REFER TO SHEET E301 & E401 FOR ALTERNATES.
ALT#9	FURNISH AND INSTALL NEW 2X4 LIGHT FIXTURES, ALLOWANCE PAID BY LANDLORD. MANF.: CREE LIGHTING, ZR SERIES, ZR LED TROFFER, ZR-70L-835, ZR CURVE, 10VS DIMMING, UNV 120-277V

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M100	MECHANICAL GENERAL NOTES & SPECIFICATIONS
M101	MECHANICAL DETAILS
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P201	PLUMBING PLAN



TITLE SHEET  
OBES  
ORLEANS TOWER  
1340 POYDRAS SR  
NEW ORLEANS, LA

100% SET	05-27-22
90% SET	04-22-22
TO ENGINEERS	03-22-22
REVISION	03-16-22

PROJECT NO. 10012	DRAWN BY MMH CHECKED BY RR
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T1  
SHEET 1 OF 11



SUPPLEMENTAL NOTES TO CONTRACTOR

1. INSPECT THE SITE PRIOR TO BID AND BECOME COMPLETELY FAMILIAR WITH THE BUILDING SHELL SPACE, EXISTING CONSTRUCTION, INCLUDING THE PLACEMENT OF EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SERVICES; AND CONNECTIONS, LOCATION AND CONDITION OF LOADING, STORAGE, AND STAGING AREAS. NOTE PRECONDITION DEFICIENCIES AND OBTAIN ACKNOWLEDGMENT OF SAME FROM BUILDING MANAGER PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY AND ALL DAMAGES RESULTING FROM CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE REPAIRED AND / OR REPLACED PRIOR TO FINAL PAYMENT.
2. FURNISH MATERIALS, LABOR, FIELD SUPERVISION, CONTINUOUS CONSTRUCTION CLEAN-UP, FINAL CLEAN-UP FOR TENANT MOVE-IN, TRASH REMOVAL, TOOLS, EQUIPMENT, FEES, PERMITS, INSURANCE, ARRANGE FOR INSPECTIONS, AND FINAL AIR BALANCING (WITH AIR BALANCE REPORT AND ATTACHED SPACE PLAN) AS PART OF THIS CONSTRUCTION CONTRACT.
3. APPLY FOR AND OBTAIN BUILDING PERMITS, CERTIFICATES OF OCCUPANCY AND APPLICABLE "GREEN TAGS" PRIOR TO COMMENCEMENT OF CONSTRUCTION. FORWARD COPIES OF PERMITS TO BUILDING MANAGER. COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS, INCLUDING THE AMERICAN DISABILITIES ACT.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR UNLOADING, STORAGE, PROTECTION, HOISTING AND MOVEMENT OF MATERIALS AND EQUIPMENT ON THE PROJECT SITE AND THROUGHOUT THE COMPLEX.
5. PROTECT EXISTING FINISHED CONDITIONS. FINAL PAYMENT WILL NOT BE MADE, NOR RETAINAGE RELEASED, UNTIL ALL PARTIES ARE SATISFIED THAT CONDITIONS HAVE BEEN RESTORED, IF NEEDED.
6. PERFORM CUTTING AND PATCHING IN A NEAT AND WORKMANLIKE MANNER. REPAIR ANY EXISTING FINISHES DISTURBED BY OR DAMAGED DURING THE COURSE OF WORK TO MATCH EXISTING IN KIND AND FINISH. CUTTING AND CORE DRILLING SHALL BE DONE OUTSIDE NORMAL WORKING HOURS TO AVOID DISTURBANCE TO EXISTING TENANTS. SCHEDULE WORK WITH THE BUILDING MANAGER.
7. COORDINATE WITH THE MANAGEMENT FOR SECURITY AND AFTER HOUR WORK REQUIREMENTS PRIOR TO 3:00 PM OF EACH DAY. NO EXCEPTIONS WILL BE ALLOWED, EXCEPT IN CASE OF EMERGENCY. ID TAGS WILL BE WORN BY ALL WORKERS OF BOTH THE GENERAL CONTRACTOR AND HIS SUBS FOR EACH BUILDING AT ALL TIMES. CONSULT BUILDING MANAGER FOR REQUIREMENTS IN OBTAINING THE TAGS.
8. IF EXISTING FIRE PROOFING OR FIRE ASSEMBLIES ARE DAMAGED DURING CONSTRUCTION, THE SHALL BE RESTORED TO CONFORM WITH ORIGINAL FIRE PROTECTION REQUIREMENTS AS SOON AS CONDITIONS ALLOW AND WITHOUT EXPOSING PROJECT OR TENANTS TO ADDITIONAL RISK.
9. VERIFY THAT THE CONSTRUCTION OF EXISTING WALLS, FLOORS, AND OPENINGS MEET THE FIRE PROTECTION RATINGS DESIGNATED ON THE DRAWINGS. MAKE REPAIRS OR MODIFICATIONS NECESSARY TO BRING WALLS, FLOORS, AND OPENINGS, INCLUDING MECHANICAL PENETRATION, UP TO FIRE PROTECTION RATING.
10. NOTIFY THE ARCHITECT PRIOR TO STRUCTURAL CUTS, SO THAT APPROVAL CAN BE OBTAINED FROM THE ARCHITECT OR STRUCTURAL ENGINEER. CUT IN A MANNER SO THAT THE LOAD CARRYING CAPACITY AND LOAD/ DEFLECTION RATIO ARE NOT REDUCED.
11. RECOGNIZE THAT THE DRAWINGS ARE DIAGRAMMATIC. PROVIDE FOR THE FOLLOWING ITEMS AND ACCOMMODATE THEM, EVEN THOUGH THEY ARE NOT NECESSARILY AS SHOWN ON THE DRAWINGS.

11.1. INTERIOR HVAC GRILLES AND LOCATION OF THERMOSTATS: RELOCATE THERMOSTATS AND GRILLES, AS NEEDED, TO PROVIDE A COMFORTABLE, WORKABLE AREA

11.2. LIGHTING FIXTURES: RELOCATE LIGHTS AS REQUIRED TO CONFORM THE DISTRIBUTION REQUIREMENTS OF TENANT FURNISHINGS AND FIXTURES. MODIFY EMERGENCY LIGHTING, FIXTURE, AND CIRCUIT LOCATIONS AS REQUIRED TO CONFORM TO CODE AND SAFETY REQUIREMENTS.

11.3. FIRE AND LIFE SAFETY SYSTEMS (SMOKE DETECTORS, FIRE ALARM SPEAKERS, EXIT LIGHTS, SPRINKLER HEADS AND DISTRIBUTION, FIRE WALLS, HANDICAP ACCESSIBILITY, ETC.) MAKE NECESSARY ADJUSTMENTS, ADDITIONS, AND ALTERATIONS AS REQUIRED TO BRING THE PROJECT INTO COMPLIANCE WITH APPLICABLE CODES, AS WELL AS ADA COMPLIANCE.
12. LABEL PANELS, AND VERIFY THAT CIRCUITRY IS AS DESIGNATED ON THE DRAWINGS. IDENTIFY DEDICATED AND GFI RECEPTACLES AS SUCH.
13. REMOVE UNUSED TELEPHONE, ELECTRICAL, AND DATA WIRING FROM PROJECT AREA. REMOVE DRAFT STOPS AND DEMISING WALLS ABOVE CEILING WHEN THEY ARE NOT REQUIRED FOR THE LIFE SAFETY OF THE NEW TENANT.
14. AT THE TIME OF "FINAL WALK-THROUGH", TURN OVER CERTIFICATES OF COMPLIANCE AND INSPECTION, WITH PARTICULAR ATTENTION PAID TO CERTIFICATES OF COMPLIANCE FOR LIFE SAFETY SYSTEMS.

14.1. TURN OVER OPERATING MANUALS, BROCHURES, INSTRUCTIONS, ETC.

14.2. TURN IN TWO (2) COPIES OF EACH.
15. CHECK EXISTING DOOR HARDWARE TO BE REUSED AND MAKE NECESSARY MODIFICATIONS, REPAIRS, AND ADDITIONS AS REQUIRED TO BRING HARDWARE INTO AN "AS-NEW" CONDITION. ADD SECURITY PLATES AT THE STRIKE FOR DOORS WHICH SWING OUT INTO PUBLIC ACCESSIBLE AREAS.
16. SPRINKLER HEADS ARE REQUIRED EACH SIDE OF GLASS DOORS AND SIDELIGHTS WHICH OCCUR IN RATED PARTITIONS. (VARIANCE REQUIRED FROM PERMITTING AUTHORITIES)
17. COVER FLOORS AND PROTECT WALLS IN COMMON AREAS WITH DROP CLOTHS OR PLASTIC THROUGHOUT CONSTRUCTION PERIOD. RESTORE AND/OR EXTEND WALL COVER, CARPET, CEILING, AND OTHER FINISHES OF COMMON AREA WHEN TENANT WORK REQUIRES THE ALTERATION OR DISTURBANCE OF SAID COMMON AREA. REUSE EXISTING MATERIALS WHEN PRACTICAL. VACUUM COMMON AREA A MINIMUM OF ONCE A DAY. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE EXISTING CONDITION OF THE SPACE WITH THE BUILDING MANAGEMENT, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
18. PROVIDE MATERIAL FOR THE PROJECT THAT IS THE EQUIVALENT OF AND VISUALLY COMPATIBLE WITH THE EXISTING BUILDING STANDARD, SUCH AS WIRING DEVICES, FIXTURES, ETC.
19. PARKING WILL ONLY BE PERMITTED IN THE CONTRACTOR'S DESIGNATED AREA. PAY CAREFUL ATTENTION TO TRASH IN THE PARKING LOT. PATROL DAILY, AND MAINTAIN CLEANLINESS OF AREA.
20. DO NOT PUT WASTE IN OTHER SHELL SPACE WITHIN THE BUILDING. NO LITTERING. NO SMOKING
21. FURNISH AND INSTALL NEW DEVICES AND CIRCUIT AS INDICATED. PROVIDE ALL NECESSARY LABOR AND MATERIAL TO CONNECT TO BUILDING CIRCUITRY. MAINTAIN EXISTING CIRCUIT CONTINUITY AND INTEGRITY.
22. ALL NEW DEVICES AND FIXTURES PROVIDED SHALL MATCH IN APPEARANCE EXISTING DEVICE AND FIXTURES INSTALLED IN TENANT SPACES, UNLESS OTHERWISE NOTED.
23. COORDINATE WITH BUILDING MANAGEMENT FOR CONNECTIONS TO BUILDING SYSTEMS, LOCATIONS OF BUILDING PANELS AVAILABLE FOR CIRCUITS, BREAKERS TO UTILIZE IN SAID PANELS AND HANDLING AND STORAGE OF FIXTURES.
24. WHERE DEVICES AND/OR FIXTURES ARE SHOWN TO BE REMOVED, PROVIDE JUNCTION BOXES, CONDUIT AND WIRE AS REQUIRED TO MAINTAIN CIRCUIT CONTINUITY TO OTHER DEVICES AND/OR FIXTURES TO REMAIN.
25. MOUNTING HEIGHT OF ALL DEVICES TO MATCH BUILDING STANDARD HEIGHT FOR RESPECTIVE DEVICE TYPES, UNLESS OTHERWISE NOTED IN ARCHITECT'S DRAWINGS.
26. REVISE EXISTING LIGHTING ARRANGEMENT AS SHOWN. WIRE TO EXISTING LIGHTING CIRCUITRY AS REQUIRED TO POWER LIGHTING FIXTURE SYSTEMS. PROVIDE CONDUIT, WIRE, J-BOXES, FIXTURE WHIPS, ETC. AS REQUIRED TO ACCOMMODATE NEW LIGHTING ARRANGEMENT. VERIFY LOCATION OF EXISTING PANEL AND CHECK THAT IT IS COMPATIBLE WITH PROPOSED FIXTURE TYPES AND AMOUNTS.
27. EXTEND EXISTING WIRING, ETC. WITH NEW AS REQUIRED TO ACCOMMODATE PARTITION CHANGES FOR DEVICES/ CIRCUITS AFFECTED.
28. ALL NEW PANELS, TRANSFORMERS, ETC. SHALL MATCH BUILDING STANDARD TYPE AND MANUFACTURER. COORDINATE MANUFACTURER WITH BUILDING MANAGEMENT PRIOR TO ORDERING EQUIPMENT.
29. ALL CONVENIENCE OUTLETS, (SIMPLEX, DUPLEX, QUADRAPLEX) WHERE WALL MOUNTED VERTICALLY, SHALL BE INSTALLED WITH GROUNDING POINT UP. WHERE WALL MOUNTED HORIZONTALLY, THE NEUTRAL SPADES WILL BE UP.
30. DISCONNECT AND REMOVE EXISTING CONDUIT, WIRE, BOXES, ETC. UNUSED OR ABANDONED IN/ON WALLS AND CEILINGS, AS REQUIRED BACK TO THE PANELBOARD OR THE NEAREST JUNCTION POINT REMAINING FOR REUSE OR BEING USED. RE-ROUTE, EXTEND WITH NEW CONDUIT, WIRE, J-BOXES, ETC., AND RECONNECT TO MAINTAIN INTEGRITY, ALL CIRCUITRY TO BE REMOVED IN THIS SPACE THAT SERVES OTHER LOADS.
31. ELECTRIC WORK SHALL CONFORM WITH NFPA 70 – NATIONAL ELECTRIC CODE.
32. MODIFY AUTOMATIC SPRINKLER SYSTEM AS REQUIRED FOR COMPLIANCE WITH NFPA 13. SUBMIT SHOP DRAWINGS FOR APPROVAL AND PERMITS.
33. RESTORE CEILING GRID, AND REPLACE CEILING TILE AS REQUIRED. CLEAN EXISTING LIGHT LENS AND RELAMP LIGHT FIXTURES BEING REUSED.
34. SUBMIT FIRE DETECTION AND ALARM SYSTEM SHOP DRAWINGS FOR APPROVAL AND PERMIT WHEN NECESSARY.



STANDARD NOTES

OBES  
ORLEANS TOWER  
1340 POYDRAS SR  
NEW ORLEANS, LA

100% SET	05-27-22
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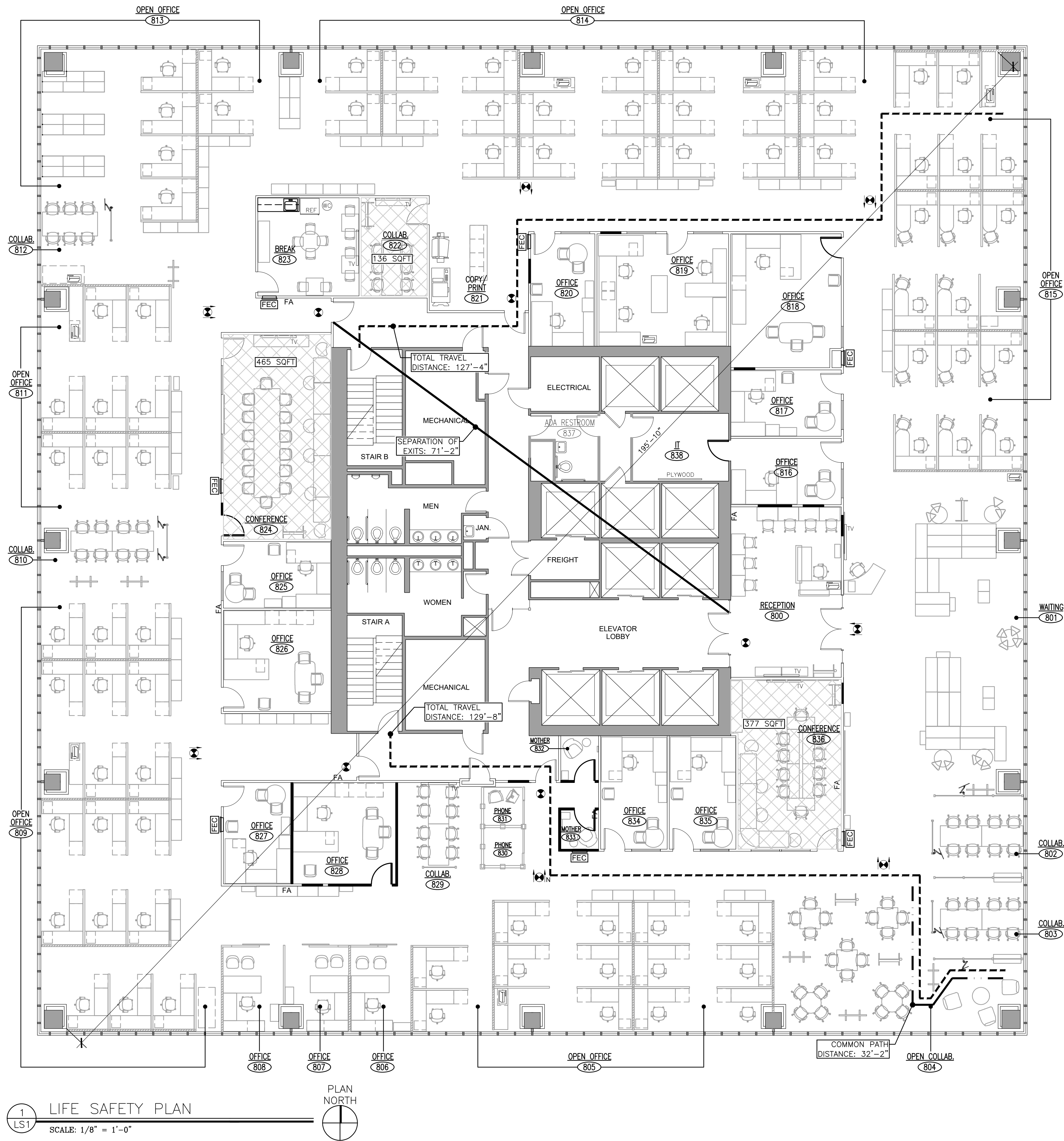
PROJECT NO.	DRAWN BY
10012	MMH
	CHECKED BY
	RR

T2

SHEET 2 OF 11







1 LIFE SAFETY PLAN  
SCALE: 1/8" = 1'-0"

PLAN NORTH

## LIFE SAFETY NOTES

MODIFICATIONS TO LIFE SAFETY SYSTEMS SHALL BE PERFORMED IN ACCORDANCE TO THE FOLLOWING CODES AND REGULATIONS AS REQUIRED DUE TO CONSTRUCTION:

1. EMERGENCY LIGHTING MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE TO IBC 2015.
2. HVAC SYSTEM MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 101:9.2 2015.
3. SPRINKLER MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 13 2015.
4. FIRE ALARM AND DETECTION SYSTEM MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 72 2015, ADA-AG, AND IBC 2015.
5. SMOKE ALARM MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE TO NFPA 72 2015 NATIONAL FIRE ALARM CODE.
6. WHERE REQUIRED BY NFPA 10, PORTABLE FIRE EXTINGUISHERS AND CABINETS SHALL BE SELECTED, INSTALLED, INSPECTED AND MAINTAINED.

## CODE COMPLIANCE

\*NOTE: ALL CODE COMPLIANCE IS BASED ON THE 8TH FLOOR OF A SPRINKLERED BUILDING.

OCCUPANCY GROUP B - BUSINESS

OCCUPANT LOAD - 227 PEOPLE TOTAL

BUSINESS:

16,157 SQ. FT./100 SQ. FT. PER PERSON = 162 PEOPLE

ASSEMBLY:

978 SQ. FT./15 SQ. FT. PER PERSON= 65 PEOPLE

EXITS SIGNAGE

2015 NFPA 101 - 7.10.1.2

WHERE A MAIN ENTRANCE SERVES ALSO

AS AN EXIT, IT WILL USUALLY BE SUFFICIENTLY OBVIOUS TO OCCUPANTS SO THAT NO EXIT SIGN

IS NEEDED

2015 NFPA 101 - 7.10.1.1 - MEANS OF EGRESS SHALL BE MARKED IN ACCORDANCE WITH SECTION 7.10 WHERE REQUIRED

CAPACITY OF MEANS OF EGRESS

2015 NFPA 101-39.2.3.2

THE WIDTH OF CORRIDORS SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD SERVED BUT SHALL NOT BE LESS THAN 44 INCHES

2015 NFPA 101 - 7.3.1.1.2

FOR OTHER THAN EXISTING MEANS OF EGRESS, MORE THAN ONE MEANS OF EGRESS IS REQUIRED, THE MEANS OF EGRESS SHALL BE OF SUCH WIDTH AND CAPACITY THAT THE LOSS OF ANY ONE MEANS OF EGRESS LEAVES AVAILABLE NOT LESS THAN 50% OF THE REQUIRED CAPACITY.

TENANT SUITE

2015 NFPA 101-7.3.3.1

227 PEOPLE X 0.2 = 45"

45" < 44", MIN. WIDTH OF CORRIDORS=44"

NUMBER OF MEANS OF EGRESS

2015 NFPA 101-7.4.1.2

THE NUMBER OF MEANS OF EGRESS SHALL BE NO LESS THAN 2.

FIRE ALARM SYSTEMS

2015 NFPA 101 - 9.6.1.3

FIRE ALARM SYSTEMS REQUIRED BY THIS CODE SHALL BE INSTALLED, TESTED, AND MAINTAINED IN ACCORDANCE WITH THE

APPLICABLE REQUIREMENTS OF NFPA 70 (NATIONAL ELECTRIC CODE) AND NFPA 72 (NATIONAL FIRE ALARM AND SIGNALING CODE)

UNLESS IT IS AN APPROVED EXISTING INSTALLATION, WHICH SHALL BE PERMITTED TO BE CONTINUED IN USE.

LONGEST OVERALL DIAGONAL

2015 NFPA 101- 39.2.5.1

EXITS MUST BE SEPARATED A MINIMUM OF 1/3 OF THE

LONGEST DIAGONAL (SPRINKLERED BLG)

PORTABLE FIRE EXTINGUISHERS AND CABINETS

2015 NFPA 101 - 9.9

WHERE REQUIRED BY NFPA 10, PORTABLE FIRE EXTINGUISHERS SHALL BE SELECTED, INSTALLED, INSPECTED AND MAINTAINED.

2015 IBC - 906.2

THE SIZE AND DISTRIBUTION OF FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH SECTION 906.3.1-906.3.4 AND SIZE SHALL

BE IN ACCORDANC WITH TABLE 906.3

2015 NFPA 10 (STANDARD FOR PORTABLE FIRE EXTINGUISHERS) SECTION 6.1.3- F.E. SHALL BE CONSPICUOUSLY LOCATED WHERE

THEY ARE ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF A FIRE. F.E. SHALL BE LOCATED ALONG NORMAL PATHS OF

TRAVEL, INCLUDING EXITS. THEY SHALL BE LOCATED IN AREAS THEY ARE VISIBLE, IF OBSTRUCTION CANNOT BE AVOIDED SIGNS

SHOULD BE PROVIDED.

6.1.3.8 - THE TOP OF F.E. SHALL BE INSTALLED NO HIGHER THAN 5' A.F.F.

TABLE 6.2.1.1 - MAXIMUM TRAVEL DISTANCE TO A F.E. SHALL BE NO MORE THAN 75'

## LIFE SAFETY LEGEND

195' - 10" LONGEST DISTANCE DIAGONAL

SEPARATION OF EXITS  
DISTANCE = 195' - 9 1/2"  
195' - 9 1/2" / 3 = 65' - 3"  
SEPARATION OF EXITS = 71' - 6"

TOTAL TRAVEL DISTANCE  
2015 NFPA 101- 39.2.6.2  
REQUIRES TOTAL TRAVEL  
DISTANCE TO BE NO MORE  
THAN 300'-0"

DEAD END LIMIT  
IBC 2015 1018.4  
NO DEAD END CORRIDOR  
SHALL BE MORE THAN  
50 FT. IN LENGTH

COMMON PATH LIMIT  
2015 NFPA 101-TABLE A.7.6  
REQUIRES COMMON PATH  
OF TRAVEL TO BE NO  
GREATER THAN 100'

EXISTING PARTITION TO REMAIN

NEW PARTITION (P-1)

NEW DEMISING PARTITION (P-2)

1 HOUR FIRE RATED PARTITION

NEW PLUMBING CHASE (P-3)

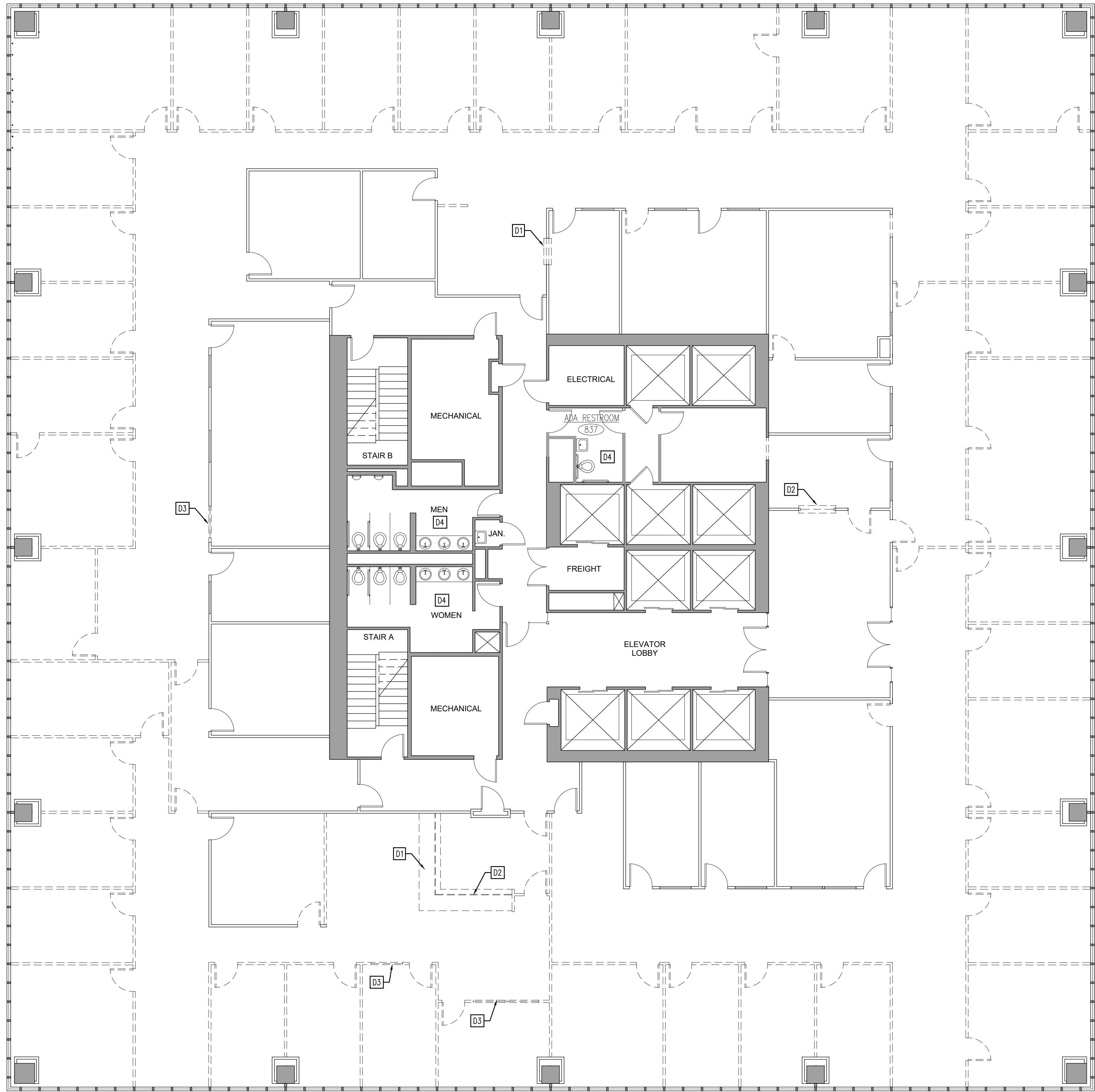
DEMOLITION

REQUIRED EXIT SIGN

FIRE EXTINGUISHER CABINET

REQUIRED WALL HUNG  
FIRE EXTINGUISHER





1  
D1

DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

PLAN NORTH

GENERAL DEMOLITION NOTES

G.C. SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.

AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND CONSTRUCTION MATERIAL SHALL BE REMOVED.

STORE ALL ITEMS (DOORS, FRAMES, HARDWARE, LIGHT FIXTURES, ETC.) THAT ARE TO BE REMOVED FOR REUSE IN NEW CONSTRUCTION.

IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO THEIR SOURCE.

CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ALL DAMAGED CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION ON EXTERIOR & INTERIOR SPACES. REFINISH TO MATCH EXISTING ADJ. FINISH, OR AS NOTED HEREIN.

NO EXISTING LIFE SAFETY ITEMS SHALL BE DAMAGED DURING DEMOLITION OR CONSTRUCTION INCLUDING THE ASSOCIATED WIRING. RELOCATION OF LIFE SAFETY ITEMS SHALL BE A FIRST PRIORITY. NO ACTIVE SMOKE DETECTORS SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN ITS INTENDED PURPOSE.

REMOVE AND CAP SOURCE OF ALL PIPES, VENTS, APPLIANCES, OR DRAINS NOT BEING REUSED.

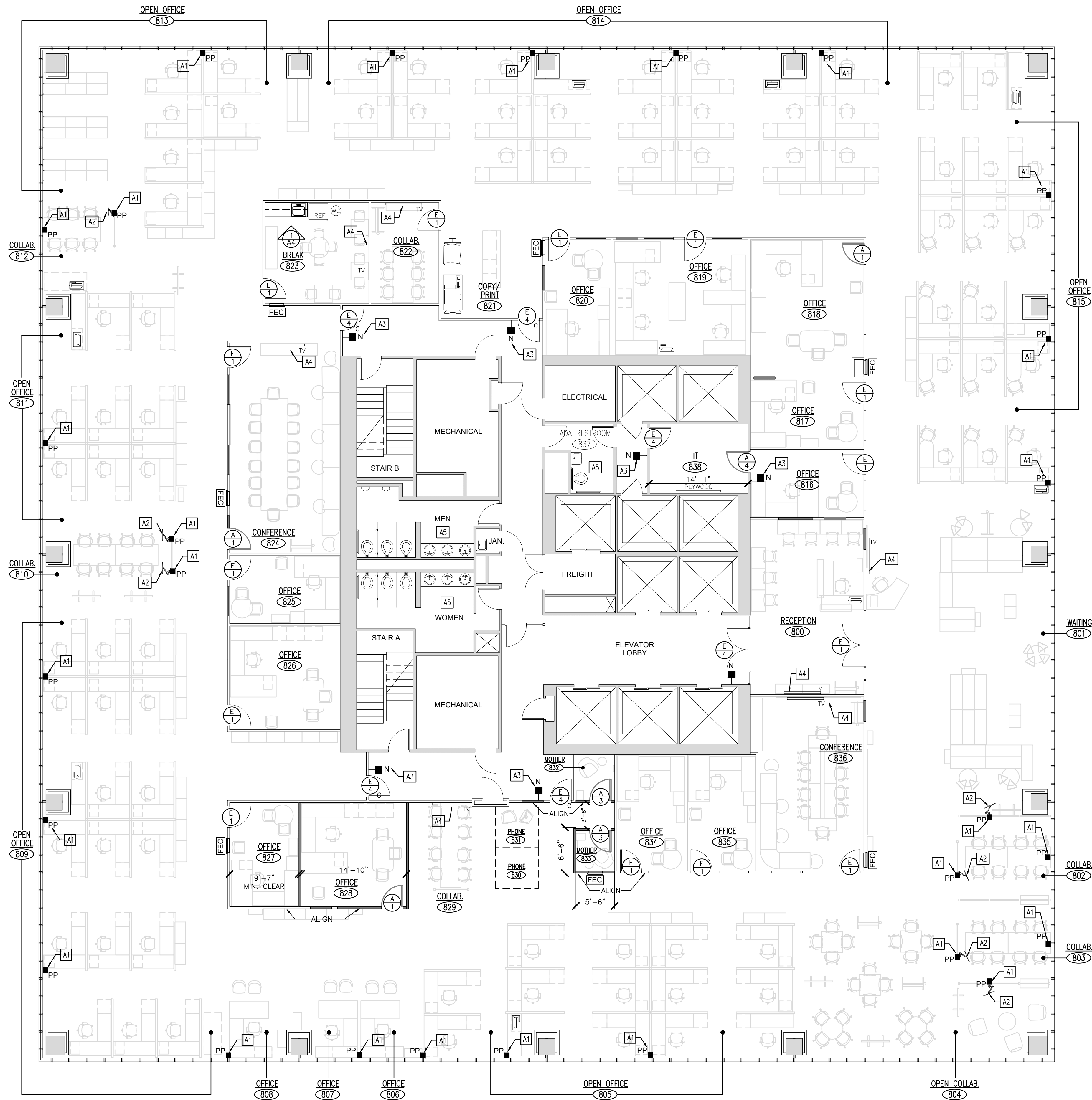
PROJECT DEMOLITION NOTES

1. ALL EXISTING FLOORING AND WALL BASE IS TO BE REMOVED AND DISCARDED.
2. FLOORING ADHESIVE TO BE REMOVED. SLAB TO BE PREPPED TO RECEIVE NEW LVT FLOORING.
3. ALL EXISTING WINDOW TREATMENTS AND HARDWARE TO BE REMOVED AND DISCARDED. PATCH/REPAIR ALL SURFACES AT FRAMES, DRYWALL, AND/OR CEILINGS AS REQUIRED.
4. EXISTING CEILING GRID AND TILES ARE TO REMAIN. REMOVE AND DISCARD DAMAGED/STAINED CEILING TILES.
5. ALL LIGHT FIXTURES AND EXIT SIGNS ARE TO BE REMOVED AND DISCARDED.
6. ALL ACOUSTICAL WALL PANELS, TACKBOARDS, WALL SIGNAGE, AND WALLCOVERING ARE TO BE REMOVED AND DISCARDED.
7. SALVAGE ALL FIRE EXTINGUISHERS FOR REINSTALLATION.
8. ALL DOOR KNOBS ARE TO BE REMOVED. NEW LEVER HANDLES WILL REPLACE DOOR KNOBS. EXISTING LEVER HANDLES WITH LOCKSETS ARE TO REMAIN.
9. ALL WOOD CHAIR RAILS AND WOOD BASE TO BE REMOVED AND DISCARDED.
10. ALL EXISTING 2X2 AIR SUPPLY AND RETURN GRILLES ARE TO BE REMOVED AND DISCARDED. PERIMETER LINEAR DIFFUSERS ARE TO REMAIN.
11. ALL SIGNAGE AT EXISTING GLASS DOORS AND SIDELITES TO BE REMOVED.

DEMOLITION KEY NOTES

- D1 DEMO EXISTING MILLWORK, COMPLETELY
- D2 DEMO EXISTING WINDOW AND MILLWORK TOP, COMPLETELY.
- D3 DEMO EXISTING SIDELITE.
- D4 REFER TO ALT#4 & ALT#7 FOR RESTROOM RENOVATIONS.





1 ARCHITECTURAL PLAN  
SCALE: 1/8" = 1'-0"

PLAN NORTH

## GENERAL CONSTRUCTION NOTES

CONTRACTOR MUST COMPLY WITH ALL BUILDING RULES AND REGULATIONS.

DO NOT SCALE DRAWINGS. ALWAYS USE THE WRITTEN DIMENSION. CONTRACTOR MUST FIELD VERIFY ALL CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. ALL DIMENSIONS FROM FACE OF GYP. BOARD TO FACE OF GYP. BOARD.

ALL GYP. BD. PARTITIONS SHALL BE TAPED, BEDDED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES AS REQUIRED. ALL SURFACES SHALL BE ALIGNED.

CEILING HEIGHT PARTITIONS SHALL BE INSTALLED TIGHT TO FINISHED CEILING, WITH NO JOINTS VARYING MORE THAN 1/8" OVER 6'-0" AND NO JOINTS GREATER THAN 3/16" U.N.O.

ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY SLABS OR ABOVE 4'-0" H.

ALL DOORS SHALL HAVE 1'-6" CLR. MIN. ON STRIKE/PULL SIDE OF DOOR AND 1'-0" ON PUSH SIDE.

SPRINKLERS TO BE RELOCATED AND REWORKED PER NFPA 13 AS REQUIRED TO ACCOMMODATE PARTITION RELOCATION.

ALL EXISTING LIFE SAFETY DEVICES, STROBES, FIRE PROTECTION, FIRE EXTINGUISHERS, EXIT IDENTIFICATION, EXIT DEVICES, SECURITY CONTROLS, AND RELATED SYSTEMS, MATERIALS, AND DEVICES TO BE REWORKED TO COMPLY WITH APPLICABLE LIFE SAFETY CODES.

CONTRACTOR TO VERIFY THE INTEGRITY OF ALL EXISTING DEMISING PARTITIONS THAT SHALL REMAIN IN PLACE. REPAIRS OR UPGRADES TO ENSURE SOUND PROOFING SHALL BE MADE AS REQUIRED.

PATCH, TAPE AND SAND WITH NO VISIBLE JOINTS ALL GYPSUM BOARD WHERE EXISTING POWER AND/OR DATA WAS REMOVED.

PATCH, TAPE AND SAND WITH NO VISIBLE JOINTS ANY DAMAGED GYPSUM BOARD AS NECESSARY.

PATCH, REPAIR AND FIRE CAULK ANY AREAS THAT ARE NECESSARY TO MAINTAIN THE FIRE RATING OF ANY FIRE RATED PARTITIONS/SLABS WHERE NEW CONSTRUCTION OCCURS.

ALL EXISTING WOOD MOLDINGS AND DOORS SHALL BE TOUCHED UP TO CONCEAL MINOR SCRATCHES AND BLEMISHES.

## ARCHITECTURAL PROJECT NOTES

- ALL EXISTING DOORS AND FRAMES ARE TO BE REUSED.
- NEW PARTITIONS ARE TYPE P1 U.N.O.

## ARCHITECTURAL KEY NOTES

- A1 POWER POLE (REFER TO PP1 FOR EXACT LOCATIONS). POWER POLES ARE FURNISHED AND INSTALLED BY THE FURNITURE VENDOR.
- A2 TV MOUNTED ON POWER POLE (REFER TO PP1 FOR EXACT LOCATIONS). POWER POLES ARE FURNISHED AND INSTALLED BY THE FURNITURE VENDOR.
- A3 NEW CARD READER TO BE FURNISHED BY TENANT. G.C. TO PROVIDE ROUGH-IN.
- A4 NEW WALL MOUNTED TV. G.C. TO PROVIDE BLOCKING AND POWER/DATA/HDMI AS REQUIRED. G.C. TO VERIFY MONITOR SIZE AND MOUNTING HEIGHT WITH TENANT PRIOR TO CONSTRUCTION COMMENCEMENT.
- A5 REFER TO ALT#7 FOR RESTROOM RENOVATION.

## ALTERNATES

- ALT#1 PAINT EXISTING CEILING GRID, THROUGHOUT.
- ALT#2 FURNISH AND INSTALL NEW 2X2 ACOUSTICAL CEILING TILES, THROUGHOUT.
- ALT#3 FURNISH AND INSTALL NEW 2X4 LIGHT FIXTURES
- ALT#4 MEN'S, WOMEN'S, RESTROOMS RENOVATION TO INCLUDE:
- REMOVE AND DISCARD FLOOR TILE, WALL TILE, BASE, TOILET PARTITIONS, COUNTERTOPS, SINKS, FAUCETS, WALLCOVERING, AND MIRRORS
  - CEILING AND LIGHT FIXTURES ARE TO REMAIN.
  - TOILETS AND URINAL ARE TO REMAIN.
  - GRAB BARS, PAPER TOWEL DISPENSERS, AND TOILET PAPER DISPENSERS ARE TO BE REUSED.
- ALT#5 PROVIDE ACOUSTICAL SOUND BATT INSULATION ABOVE PARTITIONS AT ALL OFFICES, CONFERENCE ROOMS, COLLABORATION ROOMS, BREAK ROOM, AND MOTHER'S ROOMS. REFER TO PARTITION DETAIL 2/A3.
- ALT#6 PROVIDE MODULAR SOUND SHADOW MAKING SYSTEM THROUGHOUT SPACE.
- ALT#7 ADA RESTROOM RENOVATION TO INCLUDE:
- REMOVAL OF EXISTING VCT FLOORING AND WALL BASE
  - PLUMBING FIXTURES ARE TO REMAIN
  - CEILING AND LIGHT FIXTURES ARE TO REMAIN
  - GRAB BARS, MIRROR AND ACCESSORIES MAY BE REUSED
  - NEW PORCELAIN FLOOR TILE AND BASE.
  - PAINT ALL WALLS
- ALT#8 G.C. TO COMPLETE TENANT'S TELECOMMUNICATIONS INSTALLATION. REFER TO SHEET E301 & E401 FOR ALTERNATES.

## ARCHITECTURAL LEGEND

NOTE: LEGEND IS TYPICAL, SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT.

— TENANT ROOM NAME  
— TENANT ROOM NUMBER

— DOOR TYPE  
— HARDWARE TYPE  
— DOOR CLOSER (IF USED)

FEC — FIRE EXTINGUISHER CABINET

— ELEVATION NO.  
— SHEET NO.

⊗ — NEW FLOOR DRAIN

△ — REVISION NUMBER

— EXISTING PARTITION TO REMAIN

— NEW PARTITION (P-1)

— NEW POWERED FURNITURE PANELS

— DEMOLITION

— ENLARGED FLOOR PLAN  
— DETAIL / PAGE SYMBOL

— ELEVATION NOS.  
— SHEET NO.

ARCHITECTURAL FLOOR PLAN

OBES

ORLEANS TOWER  
1340 POYDRAS SR  
NEW ORLEANS, LA

100% SET 05-27-22  
90% SET 04-22-22  
TO ENGINEERS 03-22-22  
REVISION 03-16-22

PROJECT NO. 10012  
DRAWN BY MMH  
CHECKED BY RR

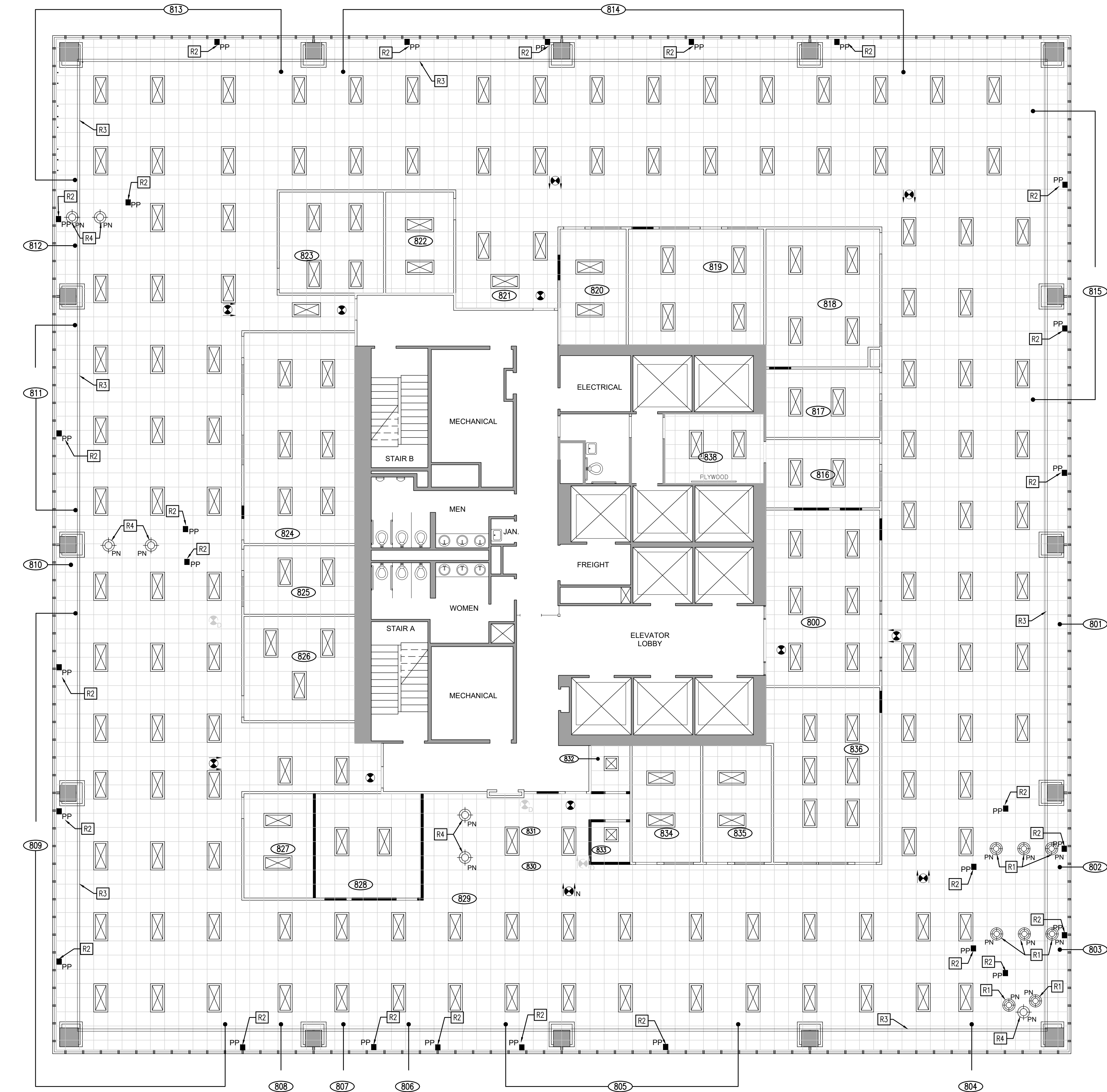
A1

SHEET 5 OF 11



AGL  
COMMERCIAL INTERIORS  
433 METairie ROAD  
SUITE 206  
METairie, LA 70005  
504.888.9077





1  
A2  
REFLECTED CEILING PLAN  
SCALE: 1/8" = 1'-0"  
PLAN NORTH

## GENERAL REFLECTED CEILING NOTES

GENERAL CONTRACTOR SHALL COORDINATE CEILING WORK WITH ALL TRADES. ABOVE CEILING WORK SHALL BE KEPT TO A MINIMUM AND THE WORK STAGED SO THAT EXCESSIVE REOPENING OF THE CEILING WILL NOT OCCUR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CEILING WORK AND TILE REPLACEMENT INCLUDING THE WORK PERFORMED BY OUTSIDE CONTRACTORS SUCH AS COMPUTER AND COMMUNICATIONS COMPANIES.

GENERAL CONTRACTOR SHALL REFER TO THE REFLECTED CEILING PLAN FOR LOCATION OF LIGHT FIXTURES ONLY. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING ALL TRADES (ARCHITECTURAL, ELECTRICAL AND MECHANICAL) BEFORE COMMENCING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PLACING MATERIAL ORDERS.

LIGHT FIXTURES, EXIT SIGNS, SPRINKLERS AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN THE CENTER OF THE INDIVIDUAL TILE OR 2X2 SPACE U.N.O.

NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS PRIOR TO FRAMING.

GENERAL CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL CEILING TILES AND GRID REMOVED OR DAMAGED TO FACILITATE PLENUM SYSTEMS.

EMERGENCY LIGHTING SHALL BE PROVIDED FOR MEANS OF EGRESS ACCORDING TO IBC 2015.

ALL NEW LIFE SAFETY DEVICES, STROBES, FIRE PROTECTION, FIRE EXTINGUISHERS, EXIT IDENTIFICATION, EXIT DEVICES, SECURITY CONTROLS, AND RELATED SYSTEMS, MATERIALS, AND DEVICES ARE TO COMPLY WITH APPLICABLE LIFE SAFETY CODES.

## PROJECT RCP NOTES

1. EXISTING CEILING GRID TO REMAIN.
2. REMOVE AND DISCARD EXISTING LIGHT FIXTURES AND EXIT SIGNS.
3. NEW 2X4 LED LIGHT FIXTURES TO BE FURNISHED BY LANDLORD AND INSTALLED BY G.C.
4. G.C. TO PROVIDE/INSTALL ALL NEW LIFE SAFETY DEVICES TO COMPLY WITH APPLICABLE LIFE SAFETY CODES.
5. EXISTING CEILING TILE IS TO BE REPLACED
6. EXISTING CEILING HEIGHT IS 8'-9" AFF
7. EXISTING 2X2 AIR DIFFUSERS ARE TO BE REPLACED WITH NEW.
8. REFER TO ENGINEERING FOR ADDITIONAL INFORMATION

## REFLECTED CEILING KEY NOTES

- R1** NEW PENDANT LIGHTS FURNISHED BY FURNITURE VENDOR AND INSTALLED BY G.C. COORDINATE LOCATION WITH ARCHITECT IN FIELD.--MANF.: MUUTO; SERIES: UNDER THE BELL; SIZE: SMALL PENDANT
- R2** NEW POWER POLE, BY FURNITURE VENDOR.
- R3** EXISTING CEILING LINEAR DIFFUSER.
- R4** NEW PENDANT LIGHTS FURNISHED BY FURNITURE VENDOR AND INSTALLED BY G.C. COORDINATE LOCATION WITH ARCHITECT IN FIELD.--MANF.: MUUTO; SERIES: UNDER THE BELL; SIZE: LARGE PENDANT

## REFLECTED CEILING ALTERNATES

- ALT#1** PAINT EXISTING CEILING GRID, THROUGHOUT.
- ALT#2** PROVIDE AND INSTALL NEW 2X2 BLDG. STD. CEILING TILES, THROUGHOUT.
- ALT#3** FURNISH AND INSTALL NEW 2X4 LIGHT FIXTURES, ALLOWANCE PAID BY LANDLORD. MANF.: SATCO, NUVO #65-582, 2X4 LED BACKLIT FLAT PANEL, 3500K
- ALT#9** FURNISH AND INSTALL NEW 2X4 LIGHT FIXTURES, ALLOWANCE PAID BY LANDLORD. MANF.: CREE LIGHTING, ZR SERIES, ZR LED TROFFER, ZR-70L-835, ZR CURVE, 10V5 DIMMING, UNV 120-277V

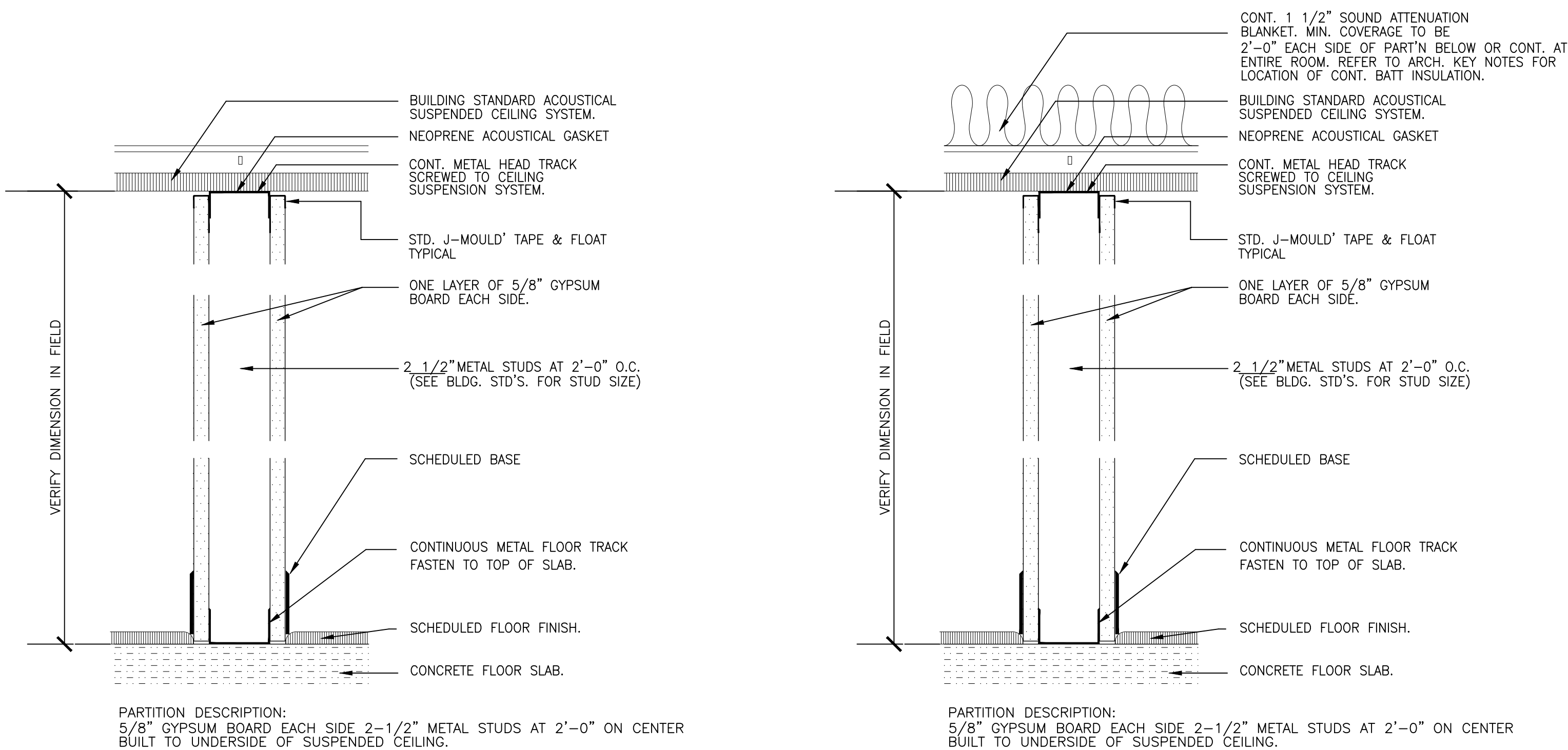
## RCP LEGEND

NOTE: LEGEND IS TYPICAL. SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT.

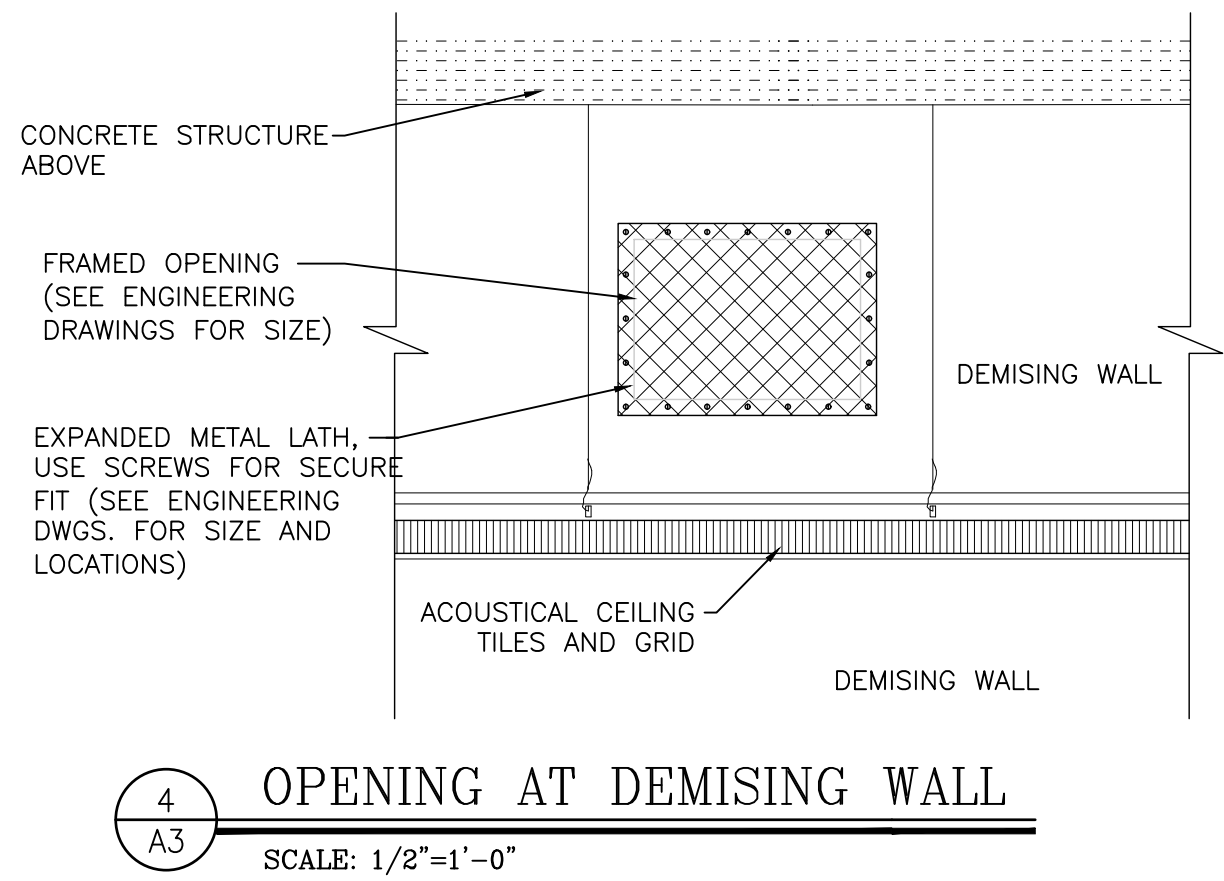
- 8'-9" AFF FINISHED CEILING HEIGHT
- NEW 2X4 LIGHT
- NEW 2X2 LIGHT
- NEW FURNITURE POWER POLE
- DEMO EXIT SIGN
- NEW EXIT SIGN
- NEW DIRECTIONAL EXIT SIGN
- NEW PENDANT LIGHT (R1) SMALL SIZE MANF.: MUUTO SERIES: UNDER THE BELL
- NEW PENDANT LIGHT (R4) LARGE SIZE MANF.: MUUTO SERIES: UNDER THE BELL



PARTITION SECTIONS



ELEVATION



\*PARTITION TYPE  
NOT USED\*

- 1  
A3

BUILDING STANDARD PARTITION (P1)  
SCALE: 3"=1'-0"
- 2  
A3

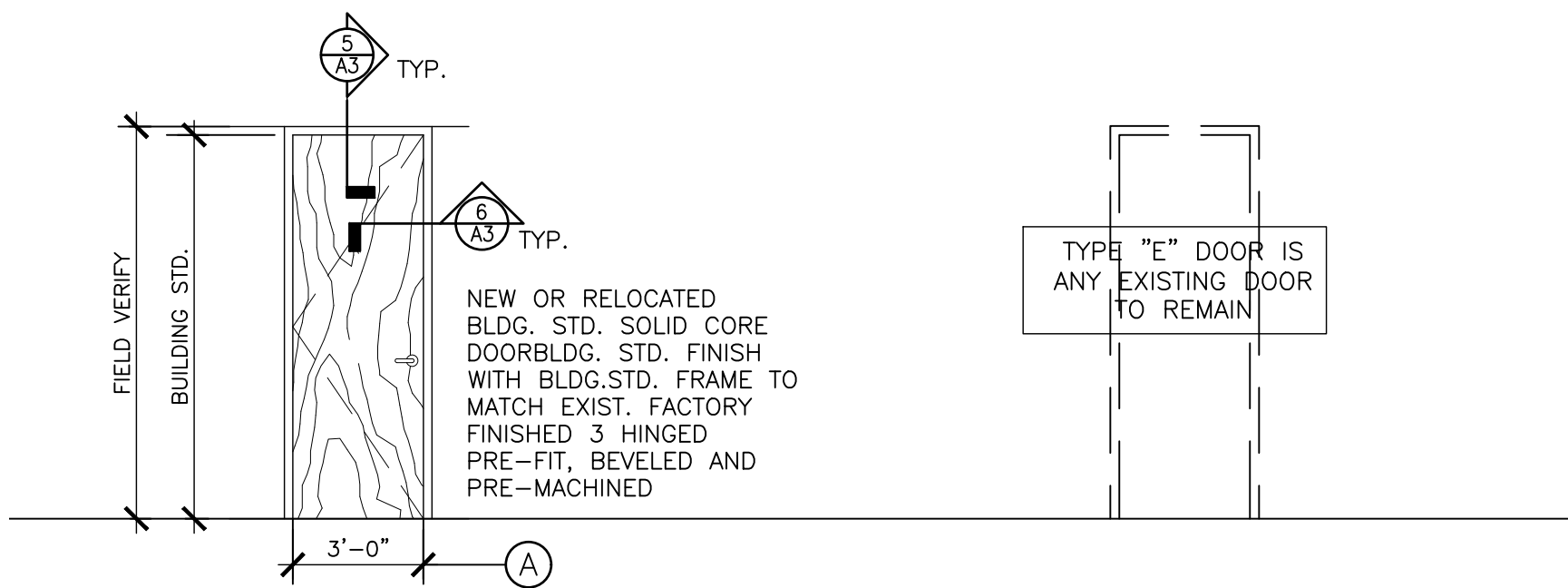
BLDG. STD. PARTITION WITH INSULATION ABOVE (P2)  
SCALE: 3"=1'-0"
- 3  
A3

BLDG. STD. ADAPTED DEMISING PARTITION (P3)  
SCALE: 3"=1'-0" WITH PONY WALL AS REQUIRED

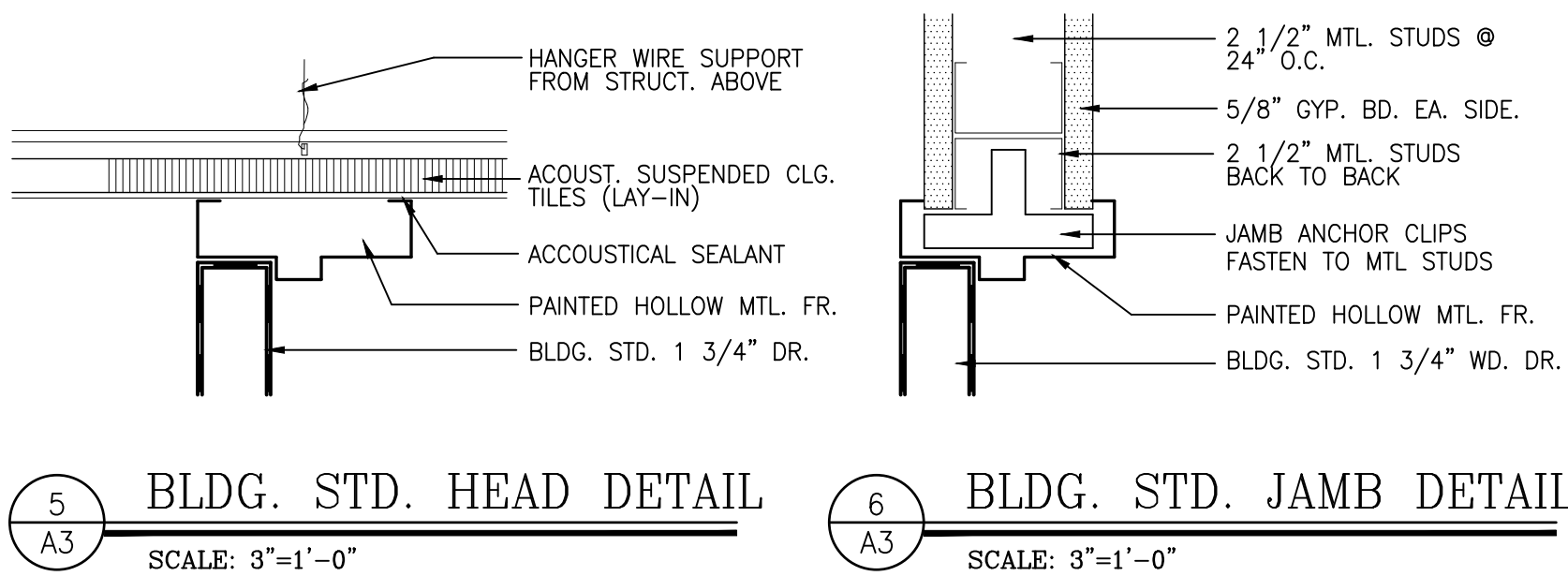
HARDWARE SCHEDULE

NOTE: "C" INDICATES USE OF BUILDING STANDARD CLOSER.		
SET NO. 1 BLDG. STD. PASSAGE SET FLOOR MOUNTED DOOR STOP SILENCERS	SET NO. 2 BLDG. STD. LOCKSET FLOOR MOUNTED DOOR STOP SILENCERS	SET NO. 3 VACANCY LOCKSET FLOOR MOUNTED DOOR STOP SILENCERS
SET NO. 4 ELECTRIC STRIKE CARD READER FLOOR MOUNTED DOOR STOP SILENCERS ADJUSTABLE CLOSER	SET NO. 5 EXISTING HARDWARE TO REMAIN	

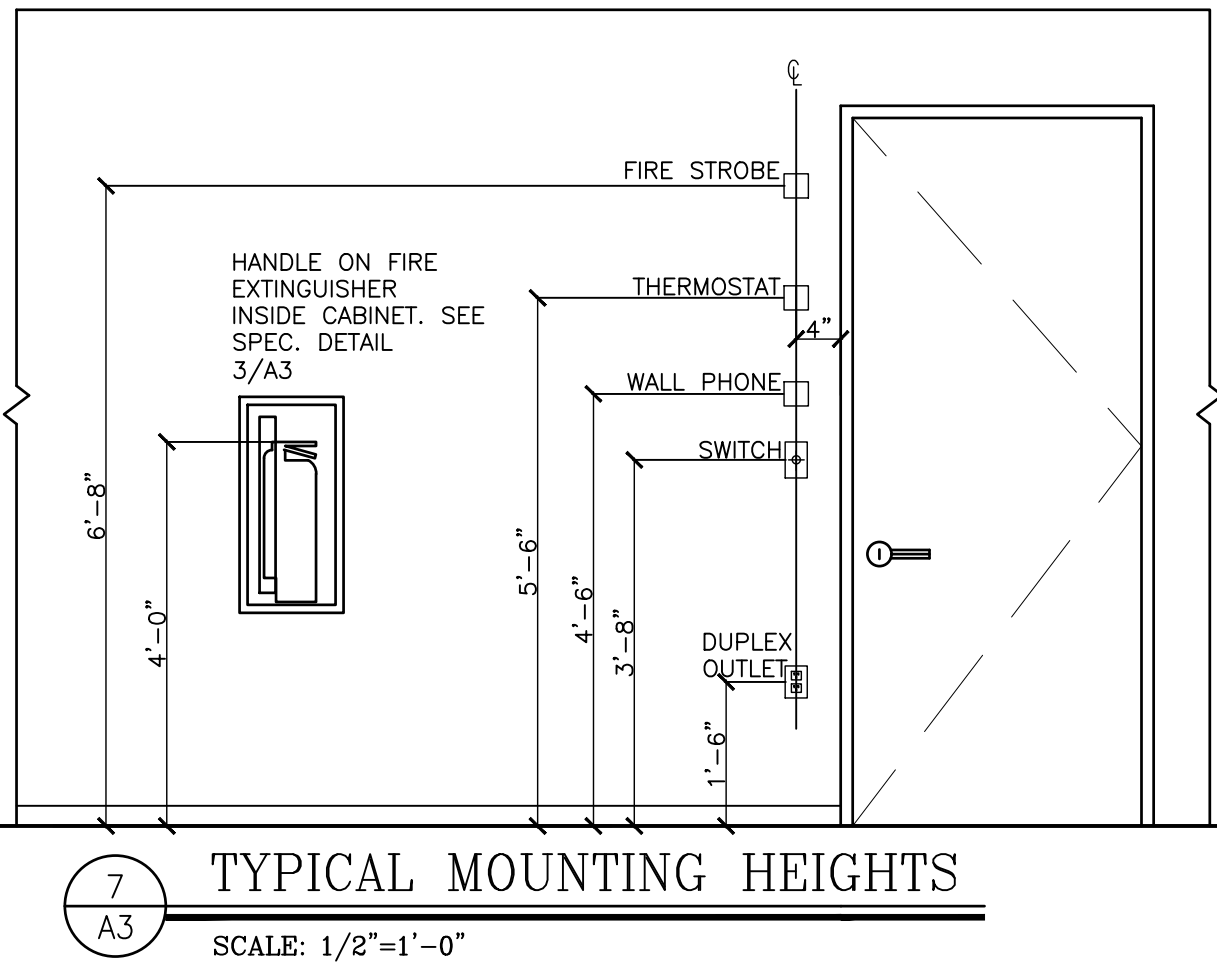
ELEVATIONS STANDARD DOOR TYPES



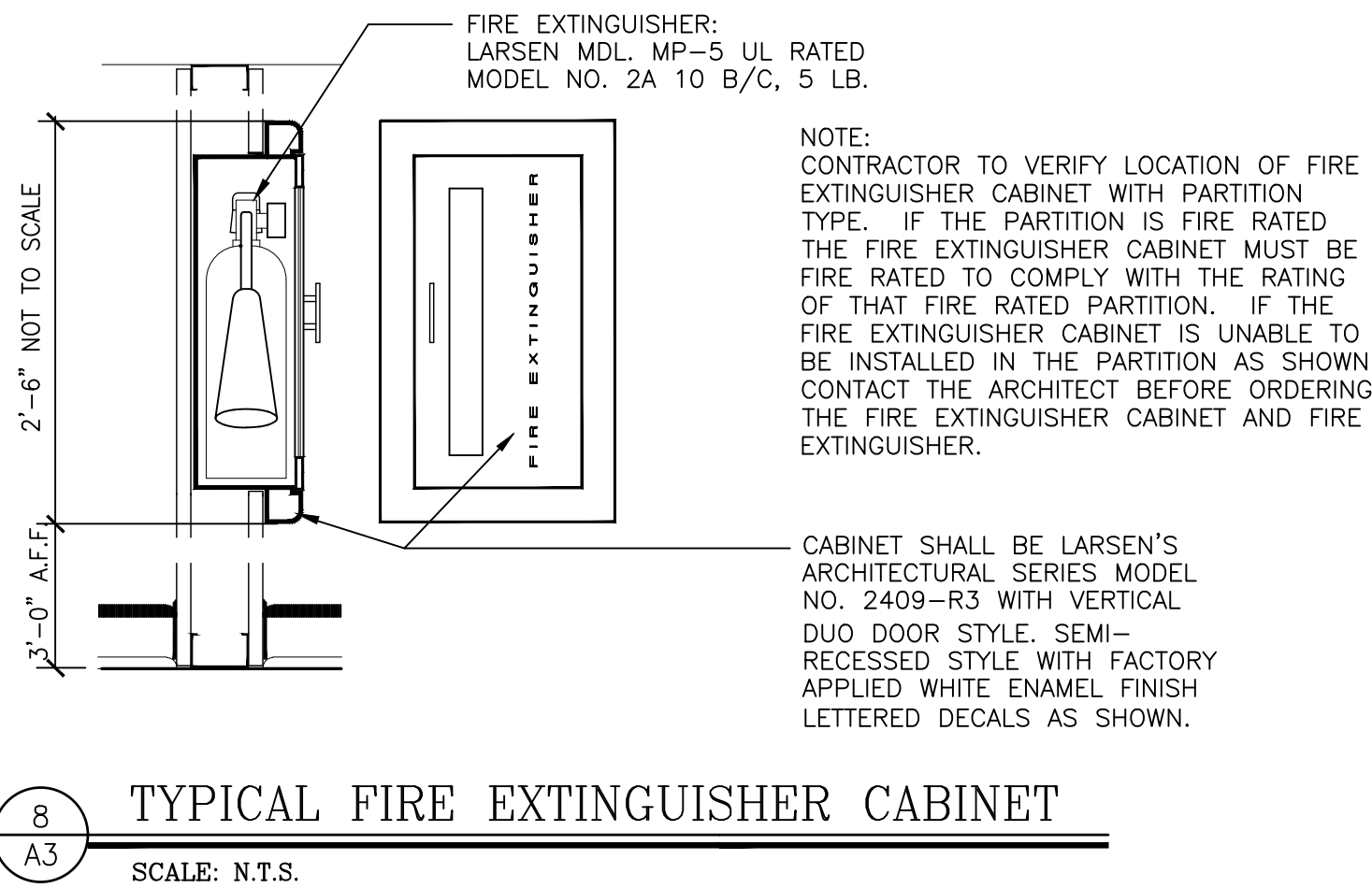
DETAILS STANDARD DOOR TYPES



TYPICAL MOUNTING HEIGHTS



FIRE EXTINGUISHER



STANDARDS DETAILS AND FINISHES

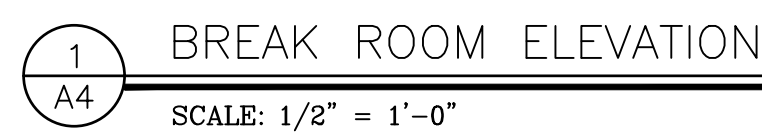
OBES  
ORLEANS TOWER  
1340 POYDRAS SR  
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100% SET	05-27-22
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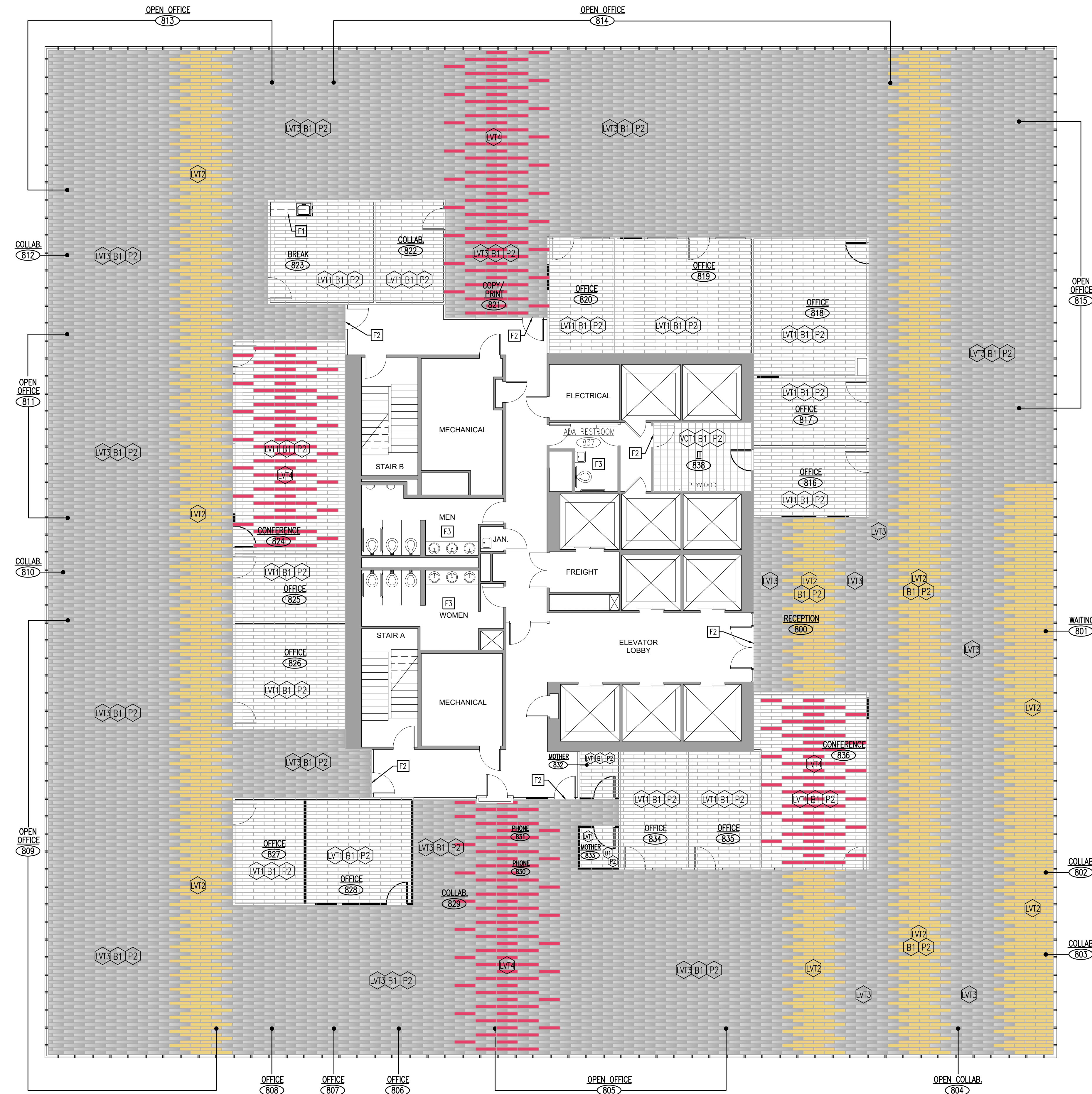
PROJECT NO. 10012	DRAWN BY MMH CHECKED BY RR
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A3

SHEET 7 OF 11







1  
A5  
FINISH PLAN  
SCALE: 1/8" = 1'-0"  
PLAN NORTH

## GENERAL FINISH NOTES

MATCH EXISTING TEXTURE ON ALL PAINTED SURFACES.

CONTRACTOR SHALL CLEAN, FILL AND LEVEL FLOOR PRIOR TO INSTALLATION OF ALL FLOOR COVERING.

CONTRACTOR SHALL REMOVE ALL SWITCH PLATES AND OUTLET PLATES, ALL SURFACE HARDWARE ETC. PRIOR TO PAINTING. HE SHALL REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPATTERED ON SURFACES.

CONTRACTOR TO PATCH AND REPAIR CEILING AND FLOOR WHERE AFFECTED BY DEMOLITION/ CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO PATCHING SCREW HOLES IN CEILING GRID.

UNDERSIDE OF SOFFITS (WHERE OCCURS) TO RECEIVE A FINISH TO MATCH CEILING U.N.O.

CONTRACTOR RESPONSIBLE FOR ALLOWING DELIVERY LEAD TIMES ON ALL FINISHES WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED AND ANY EXCESSIVE LEAD TIMES BROUGHT TO THE ARCHITECT'S ATTENTION.

PAINT IS DEFINED AS ONE PRIMER COAT AND 2 FINISH COATS.

APPLY WALLCOVERING SO WALL IS DIVIDED WITH A MIN. NUMBER OF SEAMS, AND WITH EQUAL WIDTH PANELS. U.N.O.

PROVIDE RUBBER TRANSITION STRIPS AT FLOOR FINISH INTERSECTIONS UNDER CENTER OF DOOR. REFER TO FINISH SCHEDULE FOR SPECIFICATION.

CONTRACTOR TO SUBMIT SEAMING DIAGRAM TO ARCHITECT FOR LARGE PROJECTS, OR WHERE THE CHANGING OF PATTERN DIRECTION MUST OCCUR DUE TO BLDG. SHAPE.

## FINISH KEY NOTES

- F1 PLASTIC LAMINATE FACED BASE CABINETS, OVERHEAD CABINETS, & COUNTERTOP.
- F2 PROVIDE NEW FLOORING TRANSITION.
- F3 REFER TO ALT#4 FOR RESTROOM RENOVATION.

## FINISH LEGEND

### CEILING

- CE1 EXISTING CEILING GRID AND TILES

### FLOORS

- LVT1 LUXURY VINYL TILE - INTERIOR ROOMS  
MANF.: ARMSTRONG FLOORING - DIAMOND 10  
COLLECTION: EXCHANGE  
STYLE: STATIC  
COLOR: TBD  
SIZE: 6" X 36"  
INSTALL: ASHLAR PATTERN
- LVT2 LUXURY VINYL TILE - ACCENT COLOR  
MANF.: ARMSTRONG FLOORING - DIAMOND 10  
COLLECTION: EXCHANGE  
STYLE: TBD  
COLOR: TBD  
SIZE: 6" X 36"  
INSTALL: ASHLAR PATTERN
- LVT3 LUXURY VINYL TILE - OPEN OFFICE  
MANF.: ARMSTRONG FLOORING - DIAMOND 10  
COLLECTION: EXCHANGE  
STYLE: SYSTEM GRADIENT  
COLOR: TBD  
SIZE: 6" X 36"  
INSTALL: ASHLAR PATTERN
- LVT4 LUXURY VINYL TILE - ACCENT COLOR  
MANF.: ARMSTRONG FLOORING - DIAMOND 10  
COLLECTION: EXCHANGE  
STYLE: SYSTEM GRADIENT  
COLOR: TBD  
SIZE: 6" X 36"  
INSTALL: ASHLAR PATTERN
- VCT1 VINYL COMPOSITE TILE - IT ROOM  
MANF.: ARMSTRONG FLOORING  
COLLECTION: EXCELON SDT (STATIC DISSIPATIVE TILE)  
COLOR: PEARL WHITE #51953  
SIZE: 12" X 12"  
INSTALL: GRID PATTERN

### BASE

- B1 ROPPE  
2 1/2" H SOLID VINYL BASE  
COLOR: TBD

### DOORS, FRAMES, TRIM

- P1 ALL DOORS, WOOD TRIM, AND FRAMES TO BE PAINTED  
MANF.: SHERWIN WILLIAMS  
COLOR: TBD  
FINISH: SEMI-GLOSS

### WALLS

- P2 WALL PAINT - THROUGHOUT  
MANF.: SHERWIN WILLIAMS  
COLOR: TBD  
FINISH: LATEX ENAMEL, WASHABLE AND SCRUBABLE, LOW LUSTER FINISH
- P3 WALL PAINT - ACCENT WALL  
MANF.: SHERWIN WILLIAMS  
COLOR: TBD  
FINISH: LATEX ENAMEL, WASHABLE AND SCRUBABLE, LOW LUSTER FINISH
- P4 WALL PAINT - ACCENT WALL  
MANF.: SHERWIN WILLIAMS  
COLOR: TBD  
FINISH: LATEX ENAMEL, WASHABLE AND SCRUBABLE, LOW LUSTER FINISH

### MILLWORK

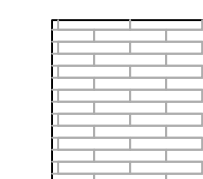
- PL1 PLASTIC LAMINATE - CABINETS  
MANF.: WILSONART, STANDARD LAMINATE  
COLOR: TBD
- PL2 PLASTIC LAMINATE - COUNTERTOPS  
MANF.: WILSONART, STANDARD LAMINATE  
COLOR: TBD

## FINISH KEY

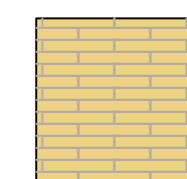
NOTE: MATCH AND EXTEND ALL BUILDING STANDARD FINISHES AT PUBLIC CORRIDOR AS REQUIRED DUE TO CONSTRUCTION.



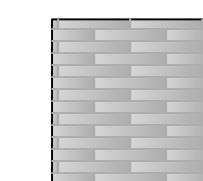
ACCENT WALL



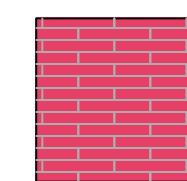
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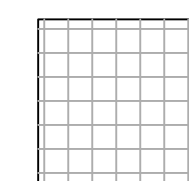
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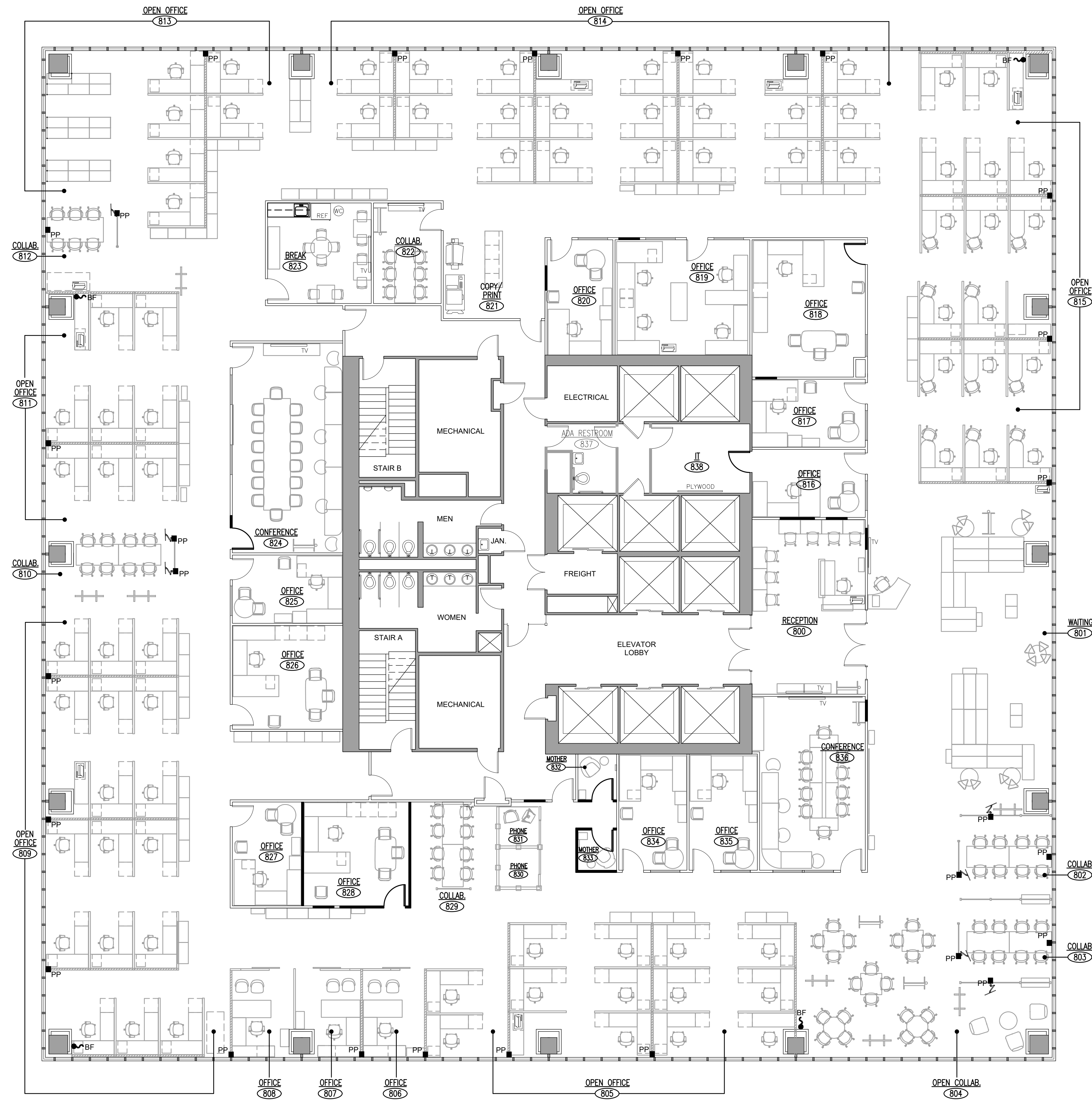


LVT4



VCT1





1  
A6

# FURNITURE PLAN – FOR REFERENCE

SCALE: 1/8" = 1'-0"



FURNITURE PLAN

OBES

ORLEANS TOWER  
1340 POYDRAS SR  
NEW ORLEANS, LA

100% SET	05-27-22
90% SET	04-22-22
TO ENGINEERS	03-22-22
REVISION	03-16-22

PROJECT NO.	DRAWN BY
10012	MMH
	CHECKED BY
	RR

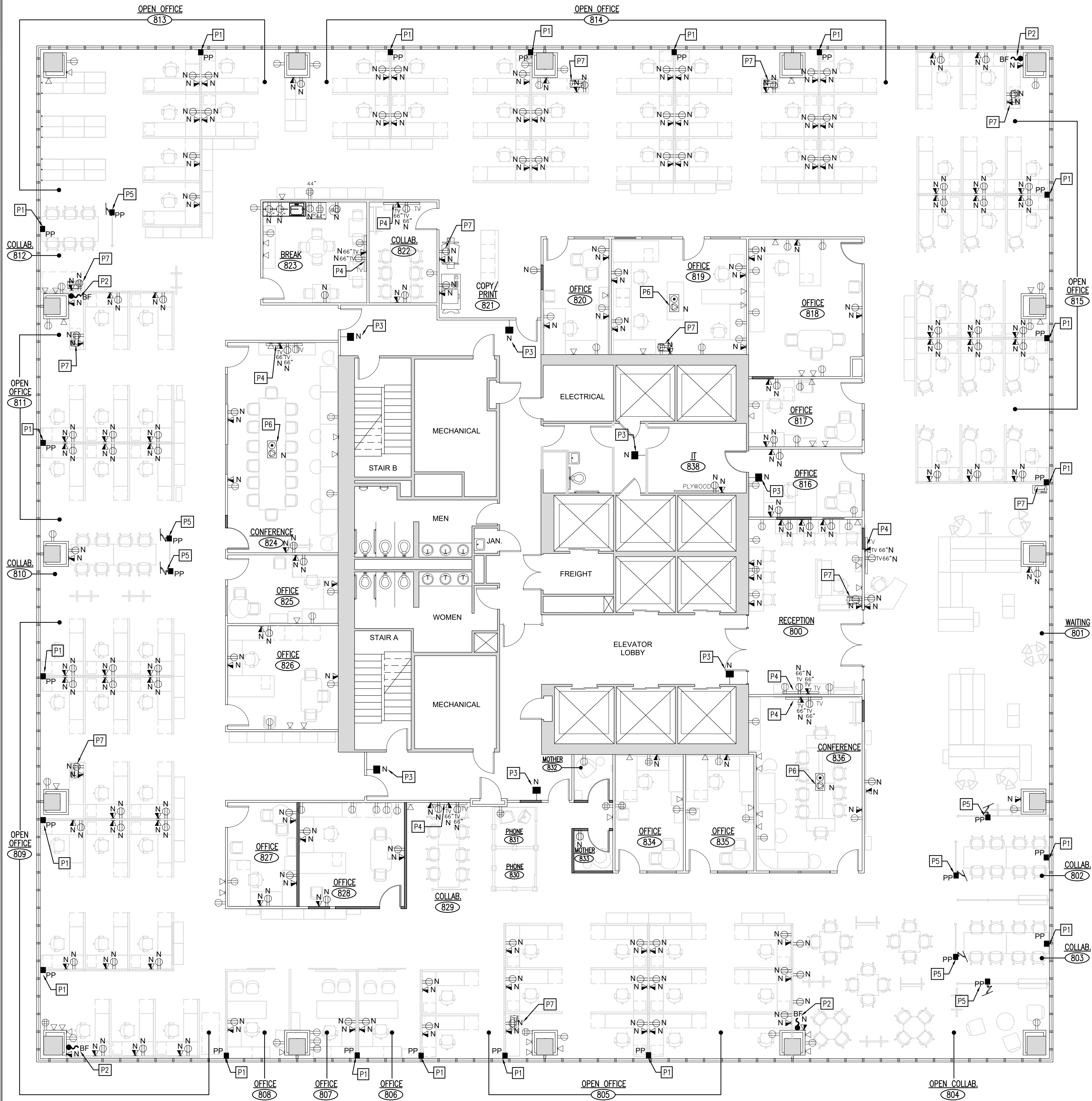
A6

SHEET 10 OF 11



AGL  
COMMERCIAL INTERIORS  
433 METairie ROAD  
SUITE 206  
METairie, LA 70005  
504.888.9077





## GENERAL POWER PLAN NOTES

SURVEY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK. CONTRACTOR RESPONSIBLE FOR REMEDIES TO EXISTING ELECTRICAL CODE VIOLATIONS. ALL MATERIALS AND WORK SHALL CONFORM TO GOVERNING CODES.

THE WIRING LAYOUT AND INSTALLATIONS SHALL BE IN COMPLIANCE WITH ALL LAWS APPLICABLE AND ENFORCED BY GOVERNING AUTHORITIES.

OUTLETS SHOW BACK TO BACK ON PARTITIONS SHALL BE OFFSET 1'-0" MAX.

CONFIRM OUTLET AND SWITCH COVERPLATES FINISH AND STYLE WITH TENANT. INSTALLATION OF COVERPLATES TO BE AFTER ALL PAINTING AND OR WALLCOVERING IS COMPLETED.

FURNITURE, IF IS FOR REFERENCE ONLY AND IS NOT IN CONTRACT, U.N.O.

CONTRACTOR SHALL CONFIRM MANUFACTURER ELECTRICAL REQUIREMENTS, FOR ALL APPLIANCES AND EQUIPMENT SPECIFIED. IF ELECTRICAL REQUIREMENTS CONTAINED IN THE

CONTRACT DOCUMENTS ARE IN CONFLICT WITH THE MANUF.'S REQUIREMENTS, CONTACT THE ARCHITECT PRIOR TO INSTALLATION.

ELECTRICAL PANELS TO BE NUMBERED AND LABELED PRIOR TO SUBSTANTIAL COMPLETION.

EXISTING OUTLETS TO REMAIN U.N.O.

FIRE SAFE ALL PENETRATIONS AT FLOOR OUTLETS WITH NON COMBUSTIBLE FIRE SAFING MATERIAL TO MEET OR EXCEED THE FIRE RATING OF THE SURROUNDING MATERIAL.

DIMENSIONS FOR FLOOR OUTLETS AND OTHER SPECIFIC OUTLET LOCATIONS TO BE PROVIDED BY ARCHITECT.

ALL EXISTING AND NEW FLOOR SLAB PENETRATIONS FOR CONDUIT OR PLUMBING LINES SHALL BE FULLY PACKED & SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.

## PROJECT POWER PLAN NOTES

- EXISTING POWER TO REMAIN UNLESS THE POWER CONFLICTS WITH ANY NEW CONSTRUCTION.
- COORDINATE ALL PHONE AND DATA REQUIREMENTS WITH TENANT AND TENANT'S NETWORKING REPRESENTATIVE
- RECEPTACLES INDICATED FOR SERVERS, COPIERS, AND MICROWAVES SHALL BE ON DEDICATED CIRCUITS.
- VERIFY SERVER ROOM AND TELEPHONE/DATA SYSTEM POWER REQUIREMENTS WITH TENANT. BE SURE TO ACCOMMODATE FOR NEW LOADS (LIFT)
- ALL, EXISTING AND OLD OUTLETS, SWITCH, POWER, AND DATA PLATES ARE TO BE REPLACED WITH NEW AND ARE TO BE WHITE IN COLOR.

## POWER PLAN KEY NOTES

- P1** NEW FURNITURE POWER POLE (MANF.: KNOLL; SERIES: DIVIDENDS) FURNISHED AND INSTALLED BY FURNITURE VENDOR
- P2** NEW BASE POWER/DATA FEED FOR FURNITURE SYSTEM
- P3** NEW CARD READER
- P4** NEW WALL MOUNTED TV
- P5** NEW FURNITURE POWER POLE (MANF.: KNOLL; SERIES: INTERPOLE) FURNISHED AND INSTALLED BY FURNITURE VENDOR. PROVIDE (1) ELECTRICAL DUPLEX OUTLET AND (1) COMMUNICATION OUTLET FOR TV MONITOR.
- P6** ELECTRICAL AND COMMUNICATION RAISED FLOOR OUTLET. PROVIDE CONNECTRAC OR SIMILAR
- P7** PRINTER/PLOTTER

## ELECTRICAL LEGEND

NOTE: LEGEND IS TYPICAL, SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT.  
AN "X" OVER ANY SYMBOL INDICATES THAT ITEM TO BE REMOVED.  
AN "N" ON ANY SYMBOL INDICATES THAT ITEM TO BE NEW.  
AN "R" ON ANY SYMBOL INDICATES THAT ITEM TO BE RELOCATED.

- |                                   |  |   |
|-----------------------------------|--|---|
| DEMO DUPLEX OUTLET                | DEMO BLANK                                 | NEW JUNCTION BOX FOR POWER              |
| EXISTING DUPLEX OUTLET            | EXISTING POWER POLE                        | NEW JUNCTION BOX FOR TELEPHONE AND DATA |
| NEW DUPLEX OUTLET                 | NEW POWER POLE                             | DEMO TELEPHONE AND/OR DATA OUTLET       |
| EXISTING DUPLEX OUTLET- DEDICATED | DEMO SWITCH                                | EXISTING TELEPHONE AND/OR DATA OUTLET   |
| NEW DUPLEX OUTLET- DEDICATED      | EXIST SWITCH                               | NEW TELEPHONE AND/OR DATA OUTLET        |
| EXISTING QUAD OUTLET              | NEW SWITCH                                 | NEW RECESSED TELEVISION OUTLET          |
| NEW QUAD OUTLET                   | EXISTING CARD READER                       | NEW AUDIOVISUAL OUTLET                  |
| EXISTING GFI DUPLEX OUTLET        | NEW CARD READER                            | NEW BASE POWER FEED                     |
| NEW GFI DUPLEX OUTLET             | DEMO FLOOR DUPLEX AND TELE/DATA OUTLET     | NEW POWERED FURNITURE PANEL             |
| EXISTING 220 V OUTLET             | EXISTING FLOOR DUPLEX AND TELE/DATA OUTLET |   |
| NEW 220 V OUTLET                  | NEW FLOOR DUPLEX AND TELE/DATA OUTLET      |   |
| NEW RECESSED DUPLEX OUTLET        | NEW FLOOR DUPLEX AND TELE/DATA OUTLET      |   |