



# Louisiana Division of Historic Preservation

## Louisiana Historic Rehabilitation Commercial Tax Credit Application

State Office Use Only  
Project No.

### PART 1 – CERTIFICATION OF CONTRIBUTING STATUS

**Instructions:** Read the instructions carefully before completing application. No certifications will be made unless a completed application form has been received. Type or print clearly in black or blue ink. If additional space is needed, use a continuation sheet or attach blank sheets. Additional information, including photographs documenting the condition of the entire building are required. Please refer to the program guidelines for further information.

1. **Name of Property:** 4423 Lasalle Street  
 Address of Property: Street 4423 Lasalle Street  
 City New Orleans Parish Orleans State Louisiana Zip 70115  
 Name of Cultural District: Freret Claiborne Cultural District  
 Name of Downtown Development District: \_\_\_\_\_

2. **Check nature of request:**

- Determination that the building contributes to the significance of the above-named Downtown Development District.  
 Determination that the building contributes to the significance of the above-named Cultural District.

3. **Project contact:**

Name Sarah Hammant, Roth Law Firm LLC  
 Street 2727 Prytania St., Suite 14 City New Orleans  
 State LA Zip 70130 Phone No. 504-525-7792 Email shammant@rothtaxlaw.com

4. **Owned by:**  Individual  Corporation or Partnership

I hereby certify that the information I have provided is, to the best of my knowledge, correct and that I am either the owner of the property or the duly authorized representative of the owning organization.

Name Lynes R. Sloss Signature *Lynes R. Sloss* Date June 13, 2022  
 Organization Bellwether Realty, LLC  
 Social Security or Taxpayer Identification Number 88-2512506  
 Street 1804 State Street City New Orleans  
 State LA Zip 70118 Phone No. 504-717-3535 Email psloss@belltec.com

**State Office Use Only**

The Division of Historic Preservation has reviewed the "Part 1 – Certification of Contributing Status" for the above-named property and hereby determines that the property:

- Contributes to the historic significance of the Downtown Development District.  
 Contributes to the historic significance of the Cultural District.  
 Does not contribute to the historic significance above-named district.

**The approval issued by DHP is for the purpose of State Commercial Tax Credits only. The approval does not take the place of any local, state or federal requirements and does not constitute a National Register determination of eligibility.**

Date

Authorized Signature: Director of Louisiana Division of Historic  
Preservation

(225) 342-8160

Office Telephone No.

See Attachments

**This line must print on Page 1, otherwise the application will be returned.**



## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 – EVALUATION OF SIGNIFICANCE

<b>Instructions:</b> This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.	<b>NPS Project Number</b>
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1. **Historic Property Name** 4423 Lasalle Street  
Street 4423 Lasalle Street  
City New Orleans County Orleans State LA Zip 70115  
Name of Historic District or National Register property Uptown New Orleans Historic District  
 National Register district     certified state or local district     potential district     National Register property

2. **Nature of Request** (check only one box)  
 certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.  
 certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.  
 certification that the building does not contribute to the significance of the above-named district or National Register property.  
 preliminary determination for individual listing in the National Register.  
 preliminary determination that a building located within a potential historic district contributes to the significance of the district.  
 preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. **Project Contact** (if different from applicant)  
Name Sarah Hammant Company Roth Law Firm LLC  
Street 2727 Prytania Street, Suite 14 City New Orleans State LA  
Zip 70130 Telephone (504) 525-7792 Email Address shammant@rothtaxlaw.com

4. **Applicant**  
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that (check one or both boxes, as applicable):  
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or  
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).  
For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.  
Name Lynes R. Sloss Signature (Sign in ink) [Signature] Date June 13, 2022  
Applicant Entity Bellwether Realty, LLC SSN \_\_\_\_\_ or TIN 88-2512506  
Street 1804 State Street City New Orleans State LA  
Zip 70118 Telephone 504-717-3535 Email Address psloss@belltec.com

**NPS Official Use Only**  
The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:  
 contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.  
 contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.  
 does not contribute to the significance of the above-named district or National Register property.  
Preliminary Determinations:  
 appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.  
 does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.  
 appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.  
 appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.  
 does not appear to qualify as a certified historic structure.

Date \_\_\_\_\_ National Park Service Authorized Signature (Sign in ink) \_\_\_\_\_  
 NPS Comments Attached

4423 Lasalle St.  
New Orleans, LA  
Part 1 Federal & State HTC Applications

Description:

4423 Lasalle St. was historically the rectory (or priests' residence) for Our Lady of Lourdes Catholic Church at 2400 Napoleon Ave. In 2016 it was awarded Part 1 status (NPS 34401, under address of 2400 Napoleon Ave.) as part of a larger application that included the sanctuary. Although some work was done on the rectory, the overall project did not move forward. The rectory is now under separate ownership from the sanctuary. It is linked to the sanctuary via a modest covered walkway with a diminutive arcade of brick and very rough stucco. The old Part 1 indicates that this arcade is not original to the property, but it does not give a date or any other documentation. Per current research, linkage between the rectory and sanctuary is shown on the 1951 Sanborn map (see attached).

The new property line runs through the center archway of the three-arch arcade. The National Park Service and the National Register have long recognized cutting through covered walkways as a legitimate and fully acceptable means of dividing and setting separate buildings apart.

Like the sanctuary, the rectory was built in 1925. It is a three story brick structure with a textured stucco finish on the exterior. The wood frame interior features lathe and plaster walls and ceilings. The façade has a pronounced, asymmetrical composition reminiscent of a villa. The first story, while fully above ground, functions in much the manner of a basement.

The second floor is the building's primary story. The off-center main entrance is reached via a monumental run of steps, faced in red tile, leading to a platform landing. The entrance portal takes the form of a massive arch flanked by pairs of boldly formed pilasters, each with a pronounced scroll bracket capital. These are surmounted by a heavy entablature with a parapet. On the third story the composition culminates with a niche flanked by windows, a modified hood mold, and a moderately pitched gable. The entrance portal features ornamental wrought iron (looking) gates. Beyond the gates, another flight of tile covered steps ascends to the second story main entrance. The entrance double doors are of plate glass with a decorative wrought iron effect. The façade's only other styled feature is an ornamental balcony, with small bracket supports, set in the left most bay of the third story.

The rectory's rolled steel casement windows are historic, but not original. Within each opening are remnants of a wood sash mounted system.

On the left hand elevation is an open gallery. Said gallery appears on the 1951 Sanborn map. Evidently it was being extensively repaired as part of the above referenced 2016 work. At some point work ceased, leaving the gallery with its present open, skeletal, unfinished look.

The main entrance opens to a transverse corridor accessing the second story rooms. Chief among these is a central public room that features a doubled framed exposed beam effect, now painted

over. This is the only space to feature any kind of architectural treatment (other than a plain arched opening in the second story hallway marking the entrance vestibule). All other spaces are much altered (per old Part 1), functional, and more-or-less feature-less.

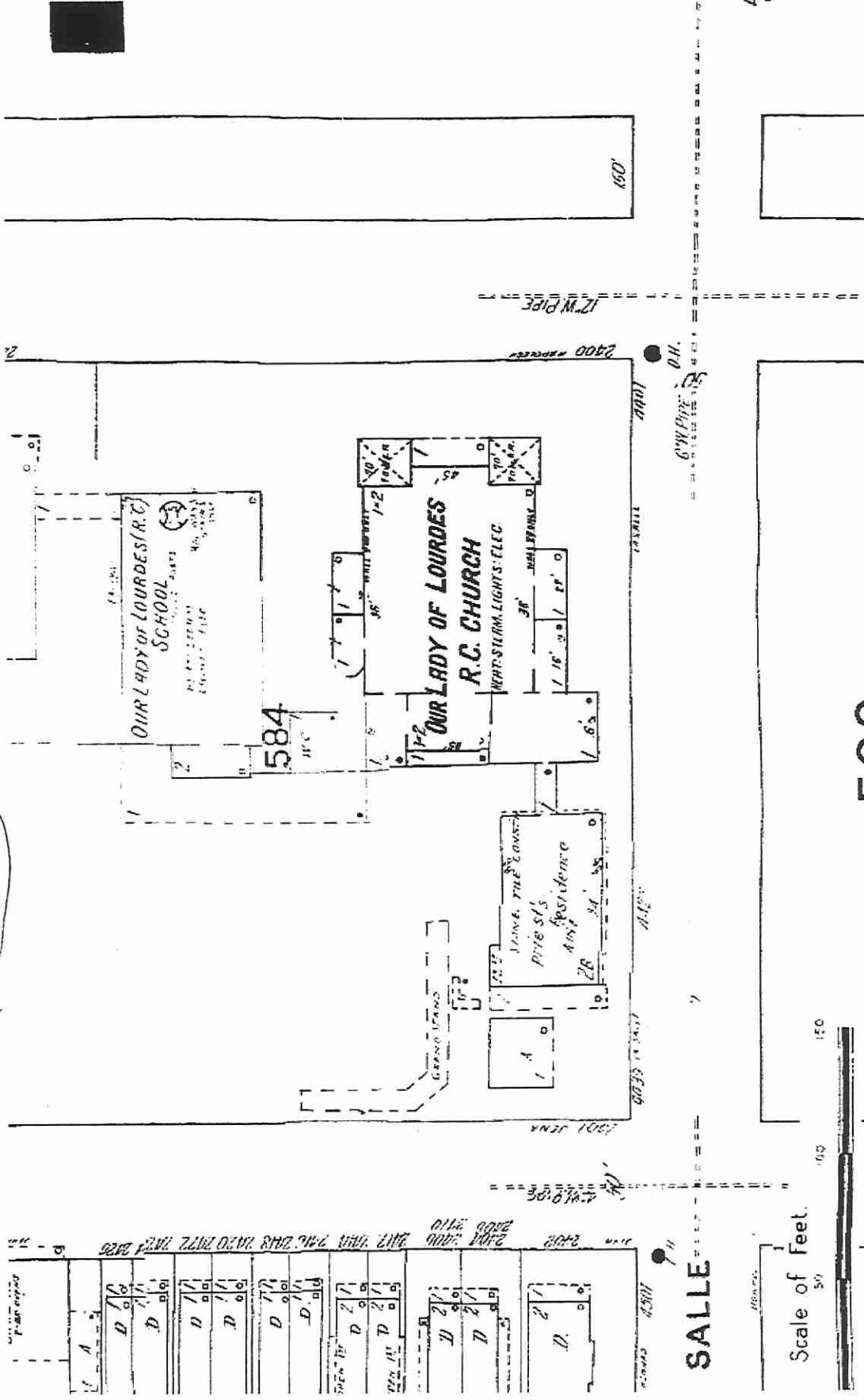
The old Part 1 includes a summary (with dates) of the most important alterations to the rectory. The most important of these is the addition of a large garage at the back of the first floor. This has since been converted into a finished room.

Much in evidence is unfinished sheetrock from the previous abandoned rehabilitation project. Documents for said rehabilitation also include demolition plans for all three stories. Close inspection reveals that almost all of the proposed demolition took place. The exception is shown in Photo 36 (left hand side). These plans have been amended, as needed, to portray current conditions. They will serve as the photo key for the Part 1 photo coverage.

Note: The first story plan shows the main entrance approach steps and the small entrance vestibule. It does not show the stairs accessing the second story. These are shown on the second story plan.

#### Statement of Significance:

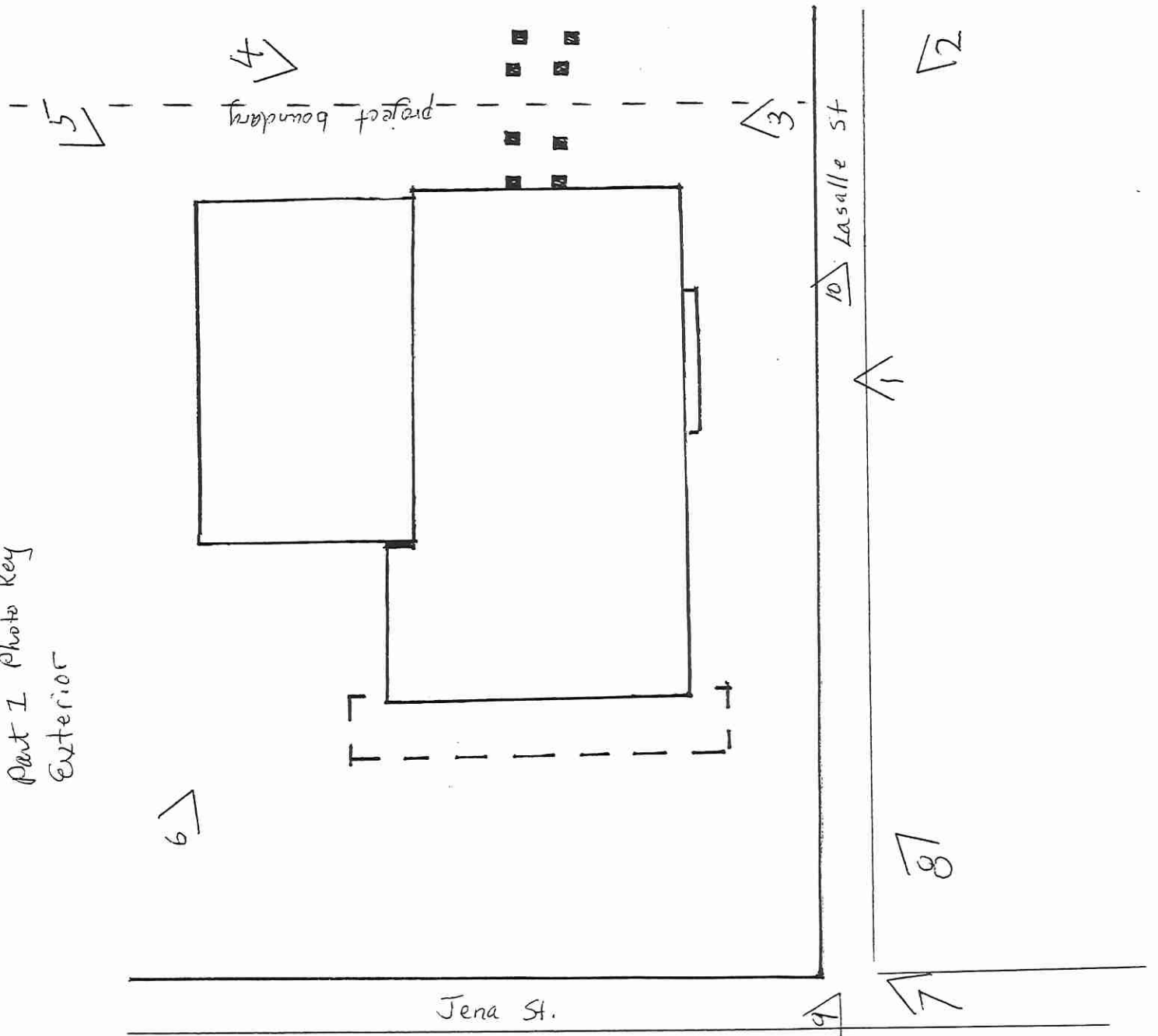
Evocative of a Mediterranean villa, the former rectory represents the historic eclecticism much in evidence in the Uptown National Register Historic District (listed on NR in 1985). The nomination form refers to this body of architecture as "20th century eclectic" and defines it as "the general body of revival styles fashionable in the first 35 years of this [20th] century." The nomination also notes that Uptown features various institutional buildings, most of which are in the eclectic revival style genre, such as 4423 Lasalle.



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4423 Lasalle St.  
New Orleans, LA  
Part 1 Photo Key  
Exterior





ARCHITECTURAL  
DEMAND PLAN

A110

PROJECT NO.	21015
DATE	2022.02.11
DATE REVISION	
PERMIT	
SCALE	1/4" = 1'-0"

BELLETTER TECHNOLOGY  
BELLETTER HQ  
4423 LASALLE STREET  
NEW ORLEANS, LA 70115

# GOAT!

GOATstudio LLC  
900 Camp Street, Ste 314  
New Orleans, LA 70130  
504.400.7375  
www.goatstudio.com  
@goatstudio

**SPECIAL NOTES:**

1. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND PROPOSED WALLS, DOORS, WINDOWS, AND OTHER FEATURES ON THE EXISTING FLOOR PLAN.
2. PROVIDE ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND PROPOSED WALLS, DOORS, WINDOWS, AND OTHER FEATURES ON THE EXISTING FLOOR PLAN.
3. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND PROPOSED WALLS, DOORS, WINDOWS, AND OTHER FEATURES ON THE EXISTING FLOOR PLAN.
4. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND PROPOSED WALLS, DOORS, WINDOWS, AND OTHER FEATURES ON THE EXISTING FLOOR PLAN.
5. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND PROPOSED WALLS, DOORS, WINDOWS, AND OTHER FEATURES ON THE EXISTING FLOOR PLAN.
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7. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND PROPOSED WALLS, DOORS, WINDOWS, AND OTHER FEATURES ON THE EXISTING FLOOR PLAN.

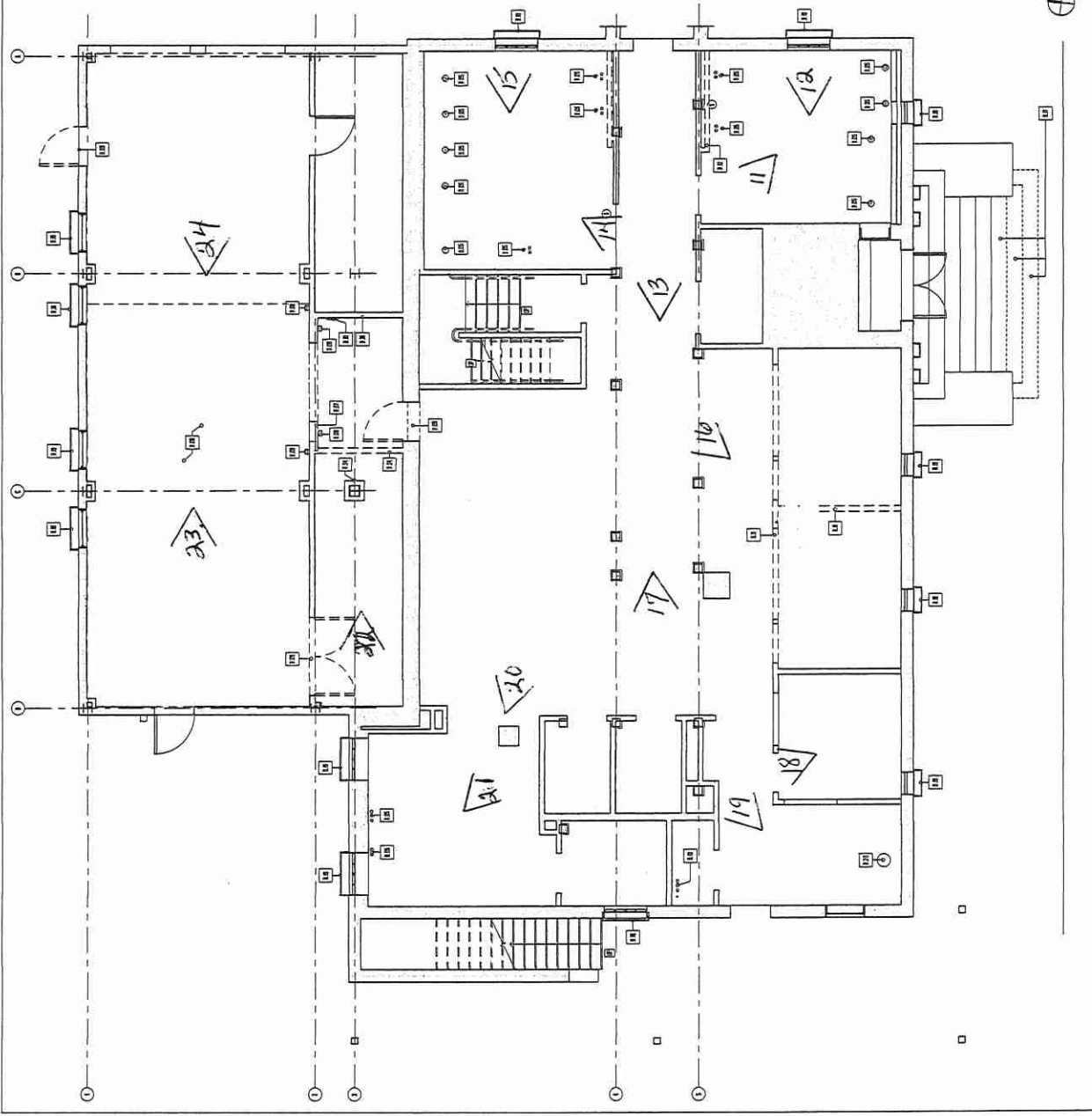
**LEGEND:**

- 1. 1/4" THICK CONCRETE FLOOR
- 2. 1/2" THICK CONCRETE FLOOR
- 3. 3/4" THICK CONCRETE FLOOR
- 4. 1" THICK CONCRETE FLOOR
- 5. 1 1/2" THICK CONCRETE FLOOR
- 6. 2" THICK CONCRETE FLOOR
- 7. 3" THICK CONCRETE FLOOR
- 8. 4" THICK CONCRETE FLOOR
- 9. 6" THICK CONCRETE FLOOR
- 10. 8" THICK CONCRETE FLOOR
- 11. 10" THICK CONCRETE FLOOR
- 12. 12" THICK CONCRETE FLOOR
- 13. 14" THICK CONCRETE FLOOR
- 14. 16" THICK CONCRETE FLOOR
- 15. 18" THICK CONCRETE FLOOR
- 16. 20" THICK CONCRETE FLOOR
- 17. 22" THICK CONCRETE FLOOR
- 18. 24" THICK CONCRETE FLOOR
- 19. 26" THICK CONCRETE FLOOR
- 20. 28" THICK CONCRETE FLOOR
- 21. 30" THICK CONCRETE FLOOR
- 22. 32" THICK CONCRETE FLOOR
- 23. 34" THICK CONCRETE FLOOR
- 24. 36" THICK CONCRETE FLOOR
- 25. 38" THICK CONCRETE FLOOR
- 26. 40" THICK CONCRETE FLOOR
- 27. 42" THICK CONCRETE FLOOR
- 28. 44" THICK CONCRETE FLOOR
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- 30. 48" THICK CONCRETE FLOOR
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- 32. 52" THICK CONCRETE FLOOR
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- 34. 56" THICK CONCRETE FLOOR
- 35. 58" THICK CONCRETE FLOOR
- 36. 60" THICK CONCRETE FLOOR
- 37. 62" THICK CONCRETE FLOOR
- 38. 64" THICK CONCRETE FLOOR
- 39. 66" THICK CONCRETE FLOOR
- 40. 68" THICK CONCRETE FLOOR
- 41. 70" THICK CONCRETE FLOOR
- 42. 72" THICK CONCRETE FLOOR
- 43. 74" THICK CONCRETE FLOOR
- 44. 76" THICK CONCRETE FLOOR
- 45. 78" THICK CONCRETE FLOOR
- 46. 80" THICK CONCRETE FLOOR
- 47. 82" THICK CONCRETE FLOOR
- 48. 84" THICK CONCRETE FLOOR
- 49. 86" THICK CONCRETE FLOOR
- 50. 88" THICK CONCRETE FLOOR
- 51. 90" THICK CONCRETE FLOOR
- 52. 92" THICK CONCRETE FLOOR
- 53. 94" THICK CONCRETE FLOOR
- 54. 96" THICK CONCRETE FLOOR
- 55. 98" THICK CONCRETE FLOOR
- 56. 100" THICK CONCRETE FLOOR

4423 Lasalle St.  
New Orleans, LA  
1st floor photo key

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	
2	ISSUED FOR PERMIT	
3	ISSUED FOR PERMIT	
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49	ISSUED FOR PERMIT	
50	ISSUED FOR PERMIT	



**A120**

**ARCHITECTURAL  
DEMO PLAN**



DATE	1/4" = 1'-0"
PERMIT	
DATE	2022.02.11
NO.	2105
PROJECT	

BELWETHER TECHNOLOGY  
 BELWETHER HQ  
 4423 LASALLE STREET  
 NEW ORLEANS, LA 70115

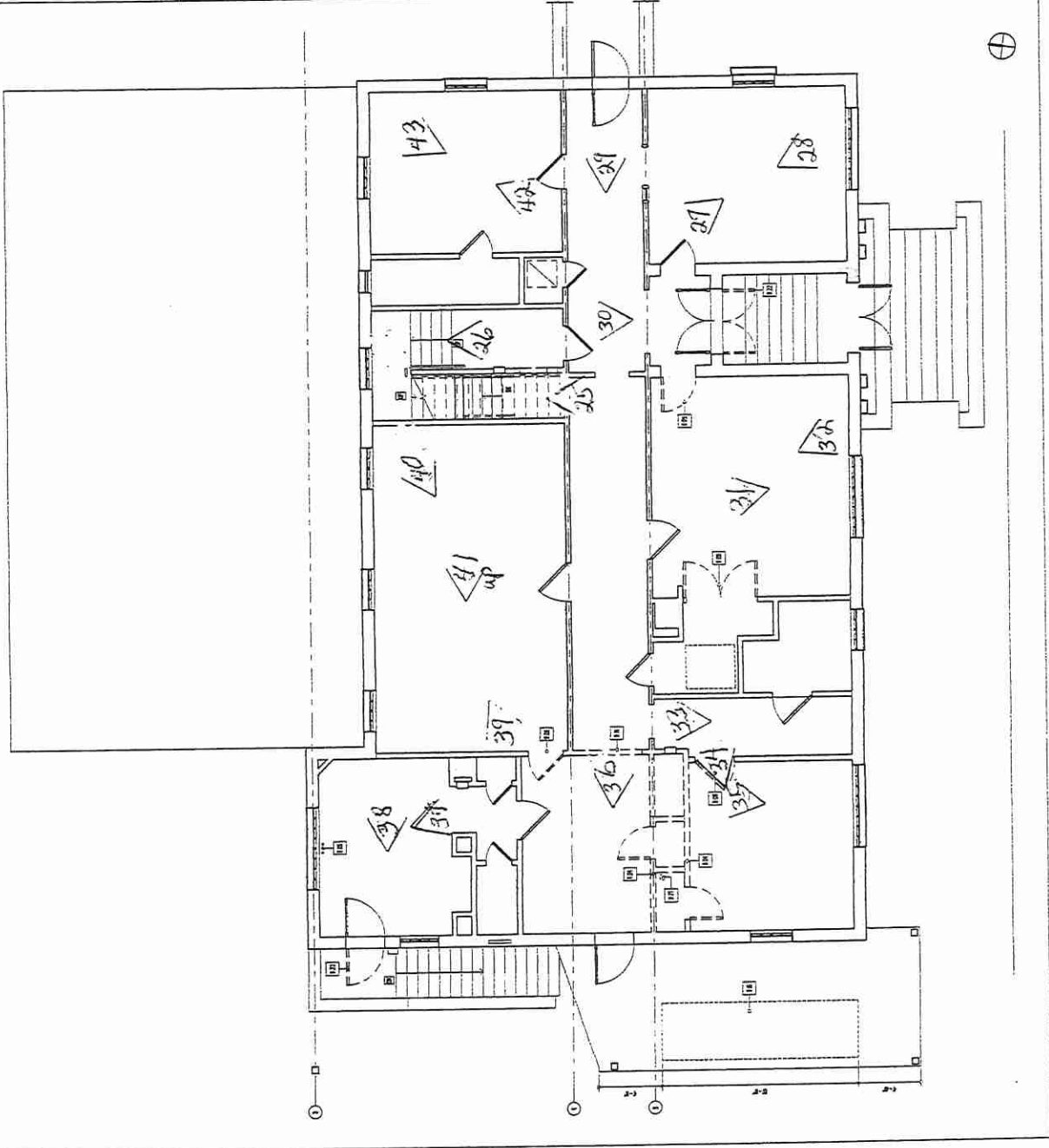
**GOAT**

GOAT Studio LLC  
 500 Camp Street, Ste 314  
 New Orleans, LA 70130  
 504.600.7878  
 www.goatstudio.com  
 info@goatstudio.com

EXISTING WALL TO REMAIN	EXISTING WALL TO BE DEMOLISHED
EXISTING DOOR TO REMAIN	EXISTING DOOR TO BE DEMOLISHED
NEW DOOR	

1423 LaSalle St.  
 New Orleans, LA  
 Part I Photo Key  
 2nd floor

- GENERAL NOTES:**
1. REFER TO THE GENERAL NOTES TO THE ARCHITECTURAL DEMO PLAN FOR THE PROJECT AND THE DEMO PLAN FOR THE PROJECT.
  2. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ORDINANCE 10-100 AND THE STATE OF LOUISIANA REGULATIONS.
  3. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ORDINANCE 10-100 AND THE STATE OF LOUISIANA REGULATIONS.
  4. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ORDINANCE 10-100 AND THE STATE OF LOUISIANA REGULATIONS.
  5. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ORDINANCE 10-100 AND THE STATE OF LOUISIANA REGULATIONS.
  6. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ORDINANCE 10-100 AND THE STATE OF LOUISIANA REGULATIONS.
  7. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ORDINANCE 10-100 AND THE STATE OF LOUISIANA REGULATIONS.
  8. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ORDINANCE 10-100 AND THE STATE OF LOUISIANA REGULATIONS.
  9. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ORDINANCE 10-100 AND THE STATE OF LOUISIANA REGULATIONS.
  10. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ORDINANCE 10-100 AND THE STATE OF LOUISIANA REGULATIONS.





A130

ARCHITECTURAL  
DEMO PLAN



DATE	2/16/2022
PROJECT	4423 LASALLE STREET
PERMIT	NEW ORLEANS, LA 70115
SCALE	1/4" = 1'-0"

BELWETHER TECHNOLOGY  
 BELWETHER HQ  
 4423 LASALLE STREET  
 NEW ORLEANS, LA 70115

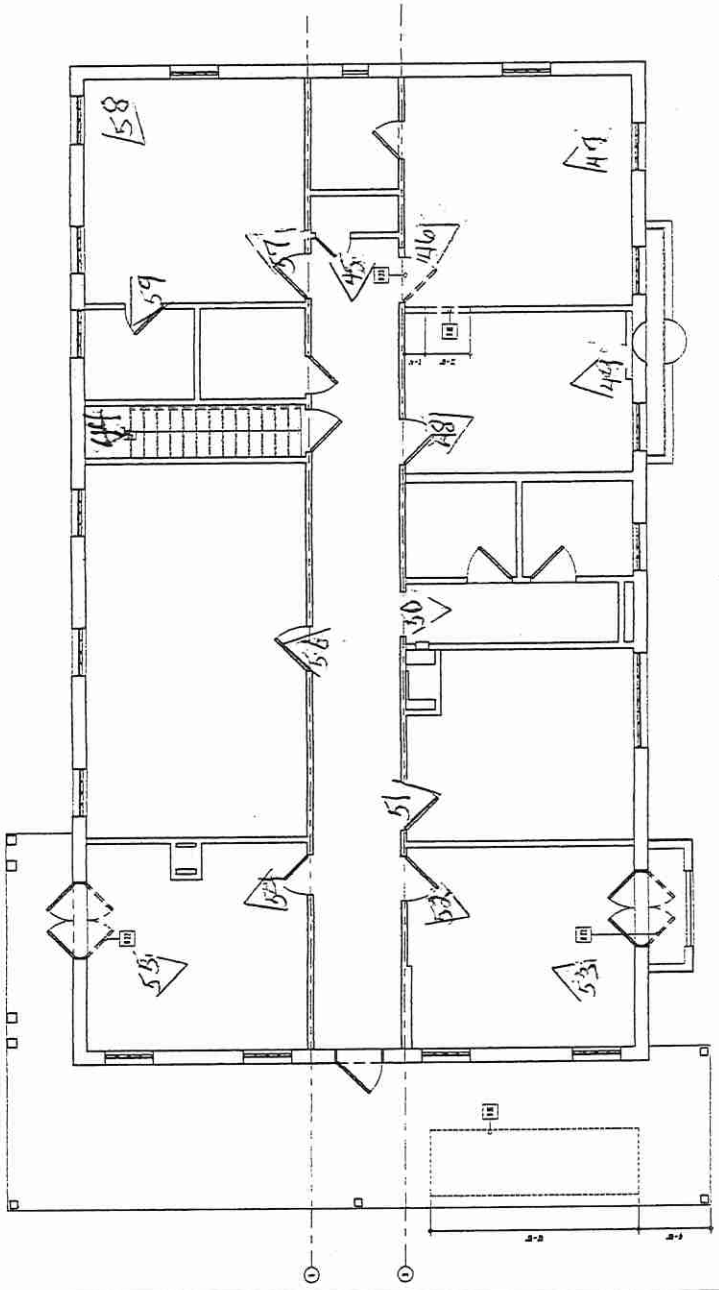
# GOAT!

GOAT! Studios LLC  
 900 Camp Street, Ste 314  
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 504.480.7975  
 www.goatstudios.com

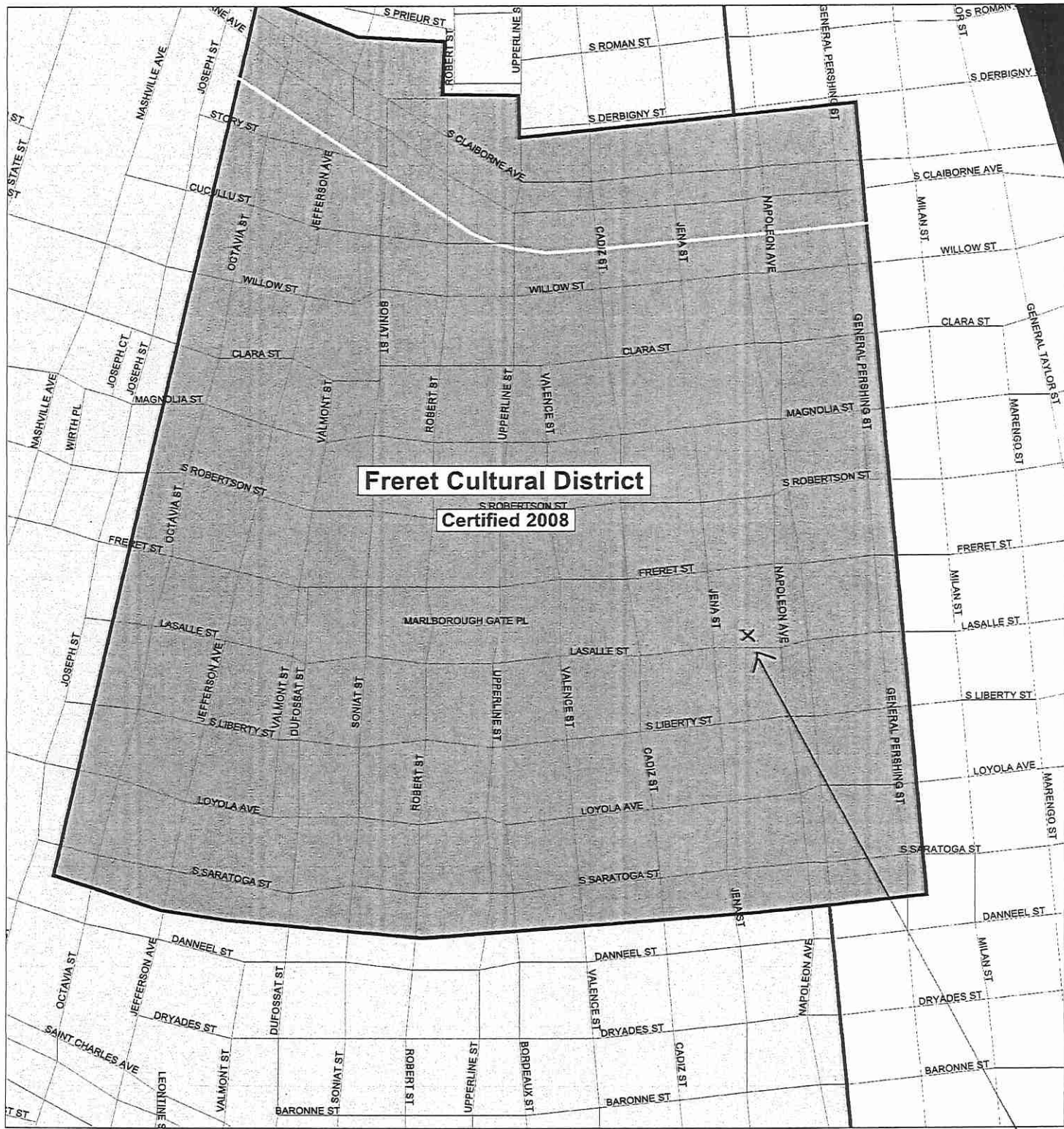
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4423 LaSalle St.  
 New Orleans, LA  
 Part I Photo Key  
 3rd floor

- GENERAL NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
  2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
  3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
  4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
  5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODES AND ALL APPLICABLE LOCAL ORDINANCES.
  6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE AND ALARM CODES AND ALL APPLICABLE LOCAL ORDINANCES.
  7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
  8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CONSTRUCTION DOCUMENTS AND ALL APPLICABLE LOCAL ORDINANCES.
  9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CONTRACT DOCUMENTS AND ALL APPLICABLE LOCAL ORDINANCES.
  10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SPECIFICATIONS AND ALL APPLICABLE LOCAL ORDINANCES.



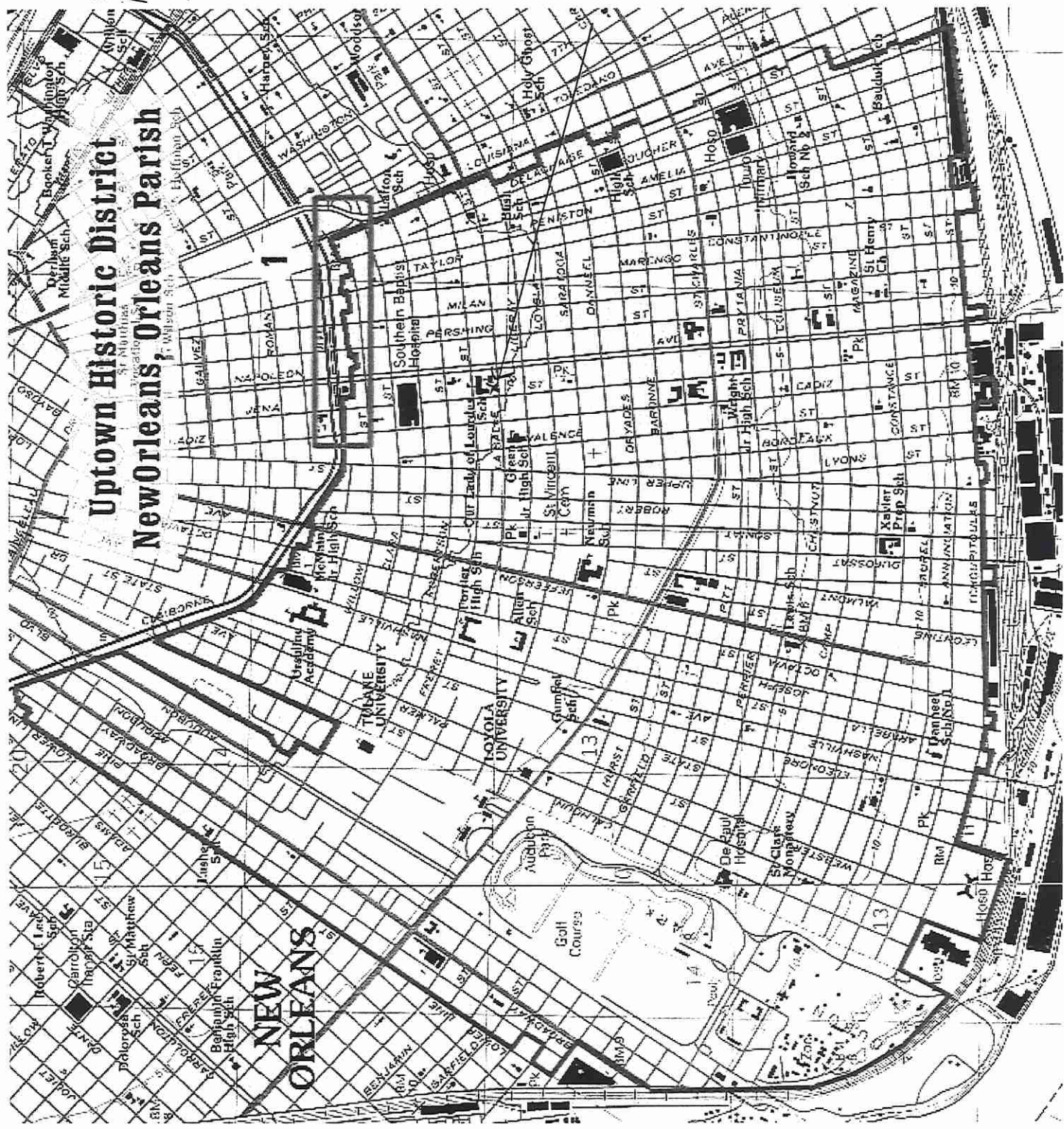
# Louisiana Cultural District Map



4423 Lasalle St.  
New Orleans, LA

Nat'l  
Register  
Map

4723 LaSalle St



1. Boundary not precise in this area.

Confirm property status with Tax Act Staff