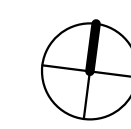


1 SITE PLAN - ENLARGED
1/8" = 1'-0"



SITE KEYNOTE LEGEND:

- S.01 EXISTING RECTORY BUILDING
- S.02 EXISTING COVERED WALKWAY TO SANCTUARY; REPAIR CONCRETE AS NEEDED
- S.03 EXISTING CONCRETE CURB; REMOVE VEGETATION AND CLEAN
- S.04 NEW PERVIOUS DRIVEWAY; SEE CIVIL AND LANDSCAPE PLANS
- S.05 NEW CONCRETE CURB PER CIVIL AND LANDSCAPE PLANS
- S.06 NEW PERVIOUS PAVERS; PER CIVIL AND LANDSCAPE PLANS
- S.08 NEW CONCRETE SIDEWALK AND PLANTER BOX; PER CIVIL AND LANDSCAPE PLANS
- S.09 NEW WOODEN FENCE; SEE SITE DETAILS
- S.10 NEW WROUGHT IRON FENCE AND GATE; SEE SITE DETAILS
- S.11 NEW TWO PANEL TELESCOPIC ELECTRIC SLIDING GATE; BASIS OF DESIGN: GRANT'S AUTOMATION, AUTOMATIC TWO PANEL TELESCOPIC GATE
- S.14 OUTDOOR KITCHEN; PROVIDE WATER, GAS AND ELECTRICAL; SEE MEP FOR MORE INFORMATION
- S.15 NEW CONCRETE SLAB; WORK SLAB TO MATCH BOTTOM TREAD OF EXISTING STAIR AND 1/2" BELOW FINISH FIRST FLOOR AT ENTRY. SLOPE A MAX OF 1/8" PER FT AWAY FROM BUILDING TOWARDS NEW DRIVEWAY.
- S.16 NEW CONCRETE WALKWAY; PER CIVIL AND LANDSCAPE DRAWINGS
- S.17 APPLY CEMENTITIOUS STUCCO TO MATCH EXISTING
- S.18 EXISTING MECHANICAL EQUIPMENT TO BE REUSED; SEE MEP DRAWINGS FOR MORE INFORMATION
- S.19 INSTALL NEW STEEL SECURITY GRILL IN EXISTING OPENINGS; MATCH EXISTING STEEL GRILLS IN SANCTUARY BUILDING
- S.20 GAS GENERATOR PER CIVIL AND MEP
- S.21 ORNAMENTAL FENCE
- S.22 7' TALL STEEL & WOOD SITE FENCE; SEE DETAILS SHEETS AND PROJECT SPECIFICATIONS
- S.23 STEEL AND WOOD FENCE SWING GATE; SEE PROJECT SPECIFICATIONS
- S.25 BIKE RACKS; URBAN ACCESSORIES - CURVES BICYCLE RACK
- S.26 EV CHARGER LOCATION; SEE CIVIL AND ELECTRICAL FOR MORE INFORMATION
- S.27 STEEL CANOPY ABOVE; SEE ADI2

ZONING ANALYSIS:

CITY ZONING AND/OR PLANNING DISTRICTS:
 ZONING DISTRICT: H-11 (HISTORIC NEIGHBORHOOD MIXED USE)
 FUTURE LAND USE DESIGNATION: MULL (MIXED-USE LOWER DENSITY)
 OVERLAY AND INTERIM ZONING DISTRICTS: AC-2 ARTS AND CULTURE DISTRICT DIVERSITY
 LOCAL HISTORIC DISTRICTS: UPTOWN (MCS 27233) NDHOLC PARTIAL CONTROL
 NATIONAL REGISTRAR OF HISTORIC PLACES: UPTOWN NEW ORLEANS HISTORIC DISTRICT

BULK & YARD REGULATIONS:
 MAXIMUM BUILDING HEIGHT: PERMITTED: 40' & NO MORE THAN 3 STORIES; NO CHANGE FROM EXISTING
 MINIMUM PERMEABLE OPEN SPACE: REQUIRED: 10% OF LOT AREA (9,630 SF 10% = 963 SF MIN); PROPOSED: 4,790 SF
 MINIMUM FRONT YARD: REQUIRED: NONE, EXCEPT WHERE ADJACENT AVERAGE IS GREATER THAN 5'; PROPOSED: 11'-0" NO CHANGE FROM EXISTING
 MINIMUM INTERIOR SIDE YARD: REQUIRED: NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT THEN 3'-0"; PROPOSED: 10'-0" NO CHANGE FROM EXISTING
 MINIMUM CORNER SIDE YARD: REQUIRED: NONE WITH A MAX OF 5'; PROPOSED: NO CHANGE FROM EXISTING
 MINIMUM REAR YARD: REQUIRED: NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT THEN 5'; PROPOSED: 10'-0" NO CHANGE FROM EXISTING

OFF-STREET VEHICLE AND BICYCLE PARKING REQUIREMENTS:
 MINIMUM REQUIRED VEHICLE SPACES, PER ONE (1) SPACE FOR EACH FIVE HUNDRED (500) SQUARE FEET OF GROSS FLOOR AREA
 TOTAL SITE - 7 PARKING SPACES REQUIRED; 5 OFF-STREET AND 2 ON-STREET PARKING SPACES PROVIDED

SITE HATCH LEGEND:

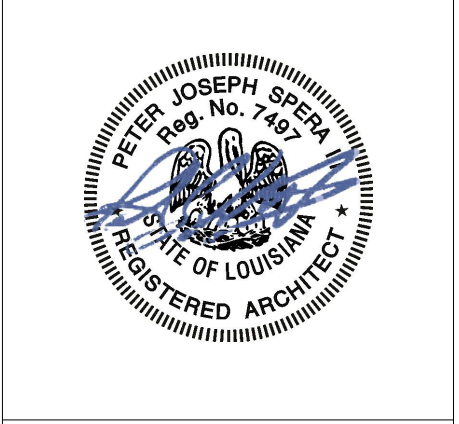
	CONCRETE WALKWAYS: 4" MIN. MESH REINFORCED CONCRETE WALKWAYS; MIN. 3000 PSI; SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION		PERVIOUS PAVERS: ECO-LINE PERMEABLE PAVERS; UNLOCK; SEE PROJECT SPECIFICATIONS
	PLANTED LANDSCAPE AREAS: SEE LANDSCAPE SHEETS FOR ADDITIONAL INFORMATION		GRAVEL FILL: 3/4" DIA. GRAVEL AGGREGATE, WASHED

GOATstudio LLC
 900 Camp Street, Ste B14
 New Orleans, LA 70130
 504.400.7976
 www.nolaGOAT.com
 @nolaGOAstudio



BELWETHER TECHNOLOGY
 BELLWETHER HQ
 4423 LASALLE STREET
 NEW ORLEANS, LA 70115

PROJECT NUMBER	21015
DATE	2022.06.10
SHEET VERSION	REVISION 1 (ASI ID)
SCALE	As indicated



ARCHITECTURAL
 SITE PLAN

A011