

GENERAL GRADING NOTES

ALL AREAS AFFECTED BY CONSTRUCTION SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE TOWARD STREET.

ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE SEEDED AND FERTILIZED. WATER AREA IMMEDIATELY.

CONTRACTOR SHALL REGRADE ALL AREAS AFFECTED BY CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE. WORK SHALL BE IN A WORKMAN LIKE MANNER AND IN ACCORDANCE WITH A/E REQUIREMENTS. IF CONTRACTOR DETERMINES THAT ANY AREAS AFFECTED BY CONSTRUCTION CANNOT BE REGRADED TO DRAIN, CONTRACTOR SHALL DOCUMENT (I.E. TAKE ELEVATIONS, PICTURES, ETC.) EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

PAVING

CONTRACTOR SHALL GIVE THOSE AFFECTED BY CONSTRUCTION 24 HOURS NOTICE PRIOR TO DISRUPTION OF DRIVEWAYS. DRIVEWAYS AND STREETS SHALL NOT REMAIN CLOSED OVERNIGHT.

CONTRACTOR SHALL AT ALL TIMES CONDUCT HIS OPERATIONS AS TO INSURE THE LEAST INCONVENIENCE TO THE GENERAL PUBLIC AND ADJACENT PROPERTY OWNERS.

CONTRACTOR SHALL PROVIDE ACCESS TO RESIDENTIAL PROPERTIES AT ALL TIMES. VEHICULAR ACCESS SHALL BE PROVIDED AS DIRECTED BY A/E. UPON APPROVAL BY A/E, VEHICULAR ACCESS MAY BE LIMITED DURING PAVING OF DRIVEWAYS. CONTRACTOR SHALL CONTACT AND ADVISE ALL AFFECTED PROPERTY OWNERS.

GENERAL SITE NOTES

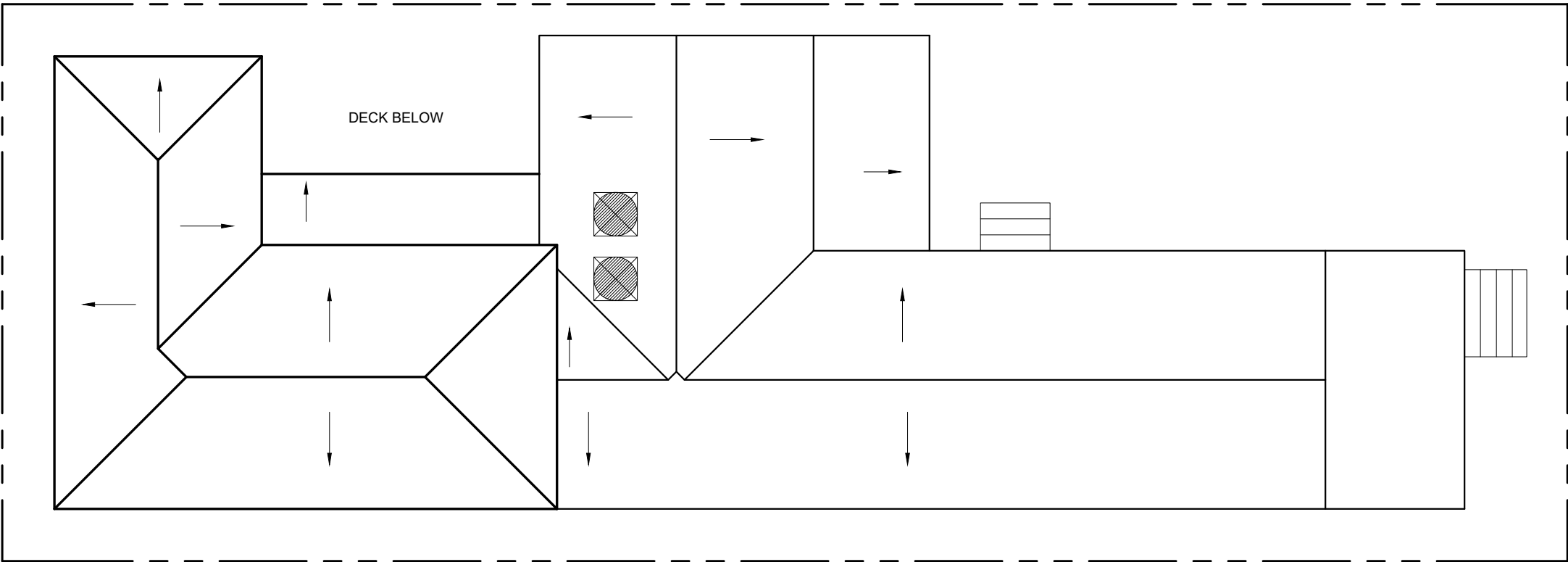
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTY AND IMPROVEMENTS FROM DAMAGE AND REPLACE ANY PORTIONS DAMAGED THROUGH HIS OPERATION AT HIS OWN COST. ALL REPAIR WORK SHALL BE SUBJECT TO THE APPROVAL OF THE A/E.
- CONTRACTOR SHALL NOT DAMAGE TREES. IF DAMAGED, CONTRACTOR SHALL REPLACE AT HIS OWN COST. CONTRACTOR SHALL USE A CHAIN SAW TO CUT ROOTS OF TREES EXPOSED DURING EXCAVATION. CONTRACTOR SHALL NOT BREAK ROOTS BY PULLING THEM WITH DIGGING MACHINES. ROOT AND BRANCH PROTECTANT SHALL BE SPRAYED OR PAINTED ON BRANCHES OR ROOTS WHICH HAVE BEEN CUT.
- PROTECT ALL EXISTING TREES, PLANTING AND LAWNS FROM DAMAGE. ALL STREET SIGNS, FENCES, SHRUBBERY, ETC. RELOCATED DURING CONSTRUCTION SHALL BE RETURNED TO THEIR ORIGINAL LOCATION AND IN ORIGINAL CONDITIONS.
- PROPERTY LINE, RIGHT OF WAY AND/OR SERVITUDES SHOWN ARE THE LIMIT OF CONSTRUCTION, UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT EXISTING UTILITIES WHEN EXCAVATING IN AREAS OF CONSTRUCTION SO AS NOT TO DAMAGE OR DISRUPT UTILITIES. CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO EXCAVATION.
- PRIOR TO DISTURBING LANDSCAPING AND/OR CUTTING OR REMOVING TREES, CONTRACTOR SHALL CONTACT ARCHITECT.
- CONTRACTOR TO PROVIDE TEMPORARY FIRE PROTECTION, TRASH REMOVAL, SECURITY, ELECTRICAL AND WATER SERVICES AND PORTABLE TOILET FACILITIES.

UTILITIES

- CONTRACTOR SHALL COORDINATE AND PAY FOR THE DE-ENERGIZING AND RE-ENERGIZING OF POWER LINES FOR CONSTRUCTION PURPOSES AS REQUIRED BY LOCAL, STATE, AND FEDERAL AGENCIES.
- CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES OR CITY DEPARTMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THERE ARE ANY OTHER UTILITIES IN THE AREA AND TO CONTACT THE APPROPRIATE UTILITIES.
- CONTRACTOR SHALL NOTIFY THOSE AFFECTED BY CONSTRUCTION 24 HOURS PRIOR TO DISRUPTION OF WATER, SEWER OR OTHER UTILITY SERVICE. UTILITY SERVICES SHALL BE PROMPTLY REPAIRED AND NOT REMAIN OUT OF SERVICE OVERNIGHT.
- CONTRACTOR SHALL NOTIFY ENTERGY, AT LEAST THREE (3) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION OR DEMOLITION.
- CONTRACTOR SHALL BRACE ALL UTILITY POLES ADJACENT TO EXCAVATION. BRACING SHALL REMAIN IN PLACE AFTER BACKFILLING UNTIL COMPACTION STANDARDS HAVE BEEN MET. COMPLETE WORK PROMPTLY ONCE EXCAVATION HAS BEGUN ADJACENT TO POLES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE DIRECTLY WITH THE APPROPRIATE UTILITY COMPANIES TO HAVE THE UTILITIES RELOCATED.

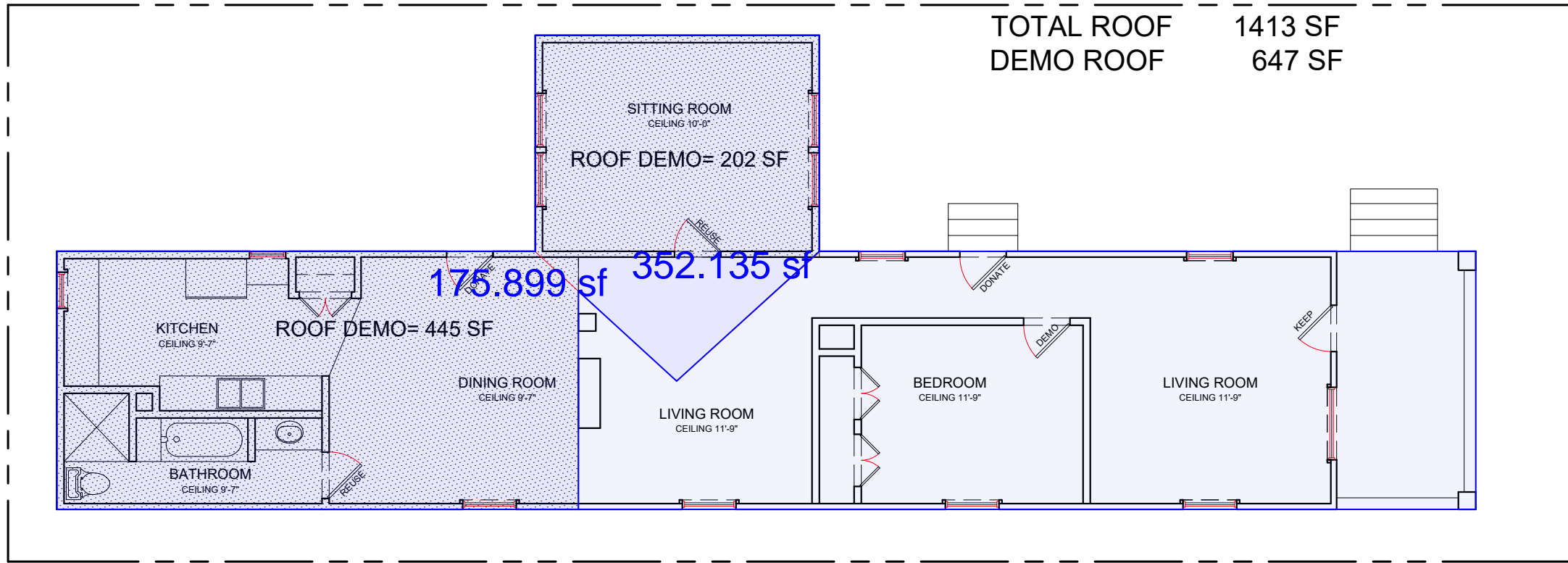
GENERAL EXCAVATION NOTES

- CAVITIES OR TRENCHES LEFT BY REMOVAL WORK SHALL BE BACKFILLED TO THE LEVEL OF SURROUNDING GROUND WITH GRANULAR MATERIAL.
- DRAIN STRUCTURES SHALL BE REMOVED AND REPLACED IF THEY INTERFERE WITH CONSTRUCTION. IF DAMAGED, CONTRACTOR SHALL REPLACE DRAIN STRUCTURES USING LIKE MATERIALS. DRAINAGE STRUCTURES SHALL BE RELOCATED TO PROVIDE POSITIVE DRAINAGE. CONTRACTOR TO OBTAIN ELEVATIONS AND DOCUMENT (I.E., PHOTOS, VIDEO, ETC.) PRIOR TO REMOVAL. (NO DIRECT PAYMENT).
- FLOW LINES TO BE ADJUSTED BY CONTRACTOR UPON APPROVAL OF A/E IF PROPOSED FLOW LINES CONFLICT WITH EXISTING UTILITIES (AT NO EXTRA COST TO OWNER).
- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN SERVICES, SUPPLYING MATERIALS, AND LABOR NECESSARY TO PROVIDE SHEETING, SHORING AND BRACING OR SUPPORTS AS REQUIRED TO PROVIDE A SAFE WORKING CONDITION FOR CONTRACTOR'S PERSONNEL AND TO PROVIDE FOR PROTECTION OF UTILITIES, BUILDINGS, LEVEES, AND STRUCTURES. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THESE REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATE SYSTEM TO WITHSTAND LATERAL PRESSURE.
- EXISTING SHEETING MAY BE IN PLACE ADJACENT TO EXISTING UTILITY STRUCTURES. CONTRACTOR SHALL REMOVE EXISTING SHEETING IF SHEETING CONFLICTS WITH NEW WORK. (NO DIRECT PAYMENT).

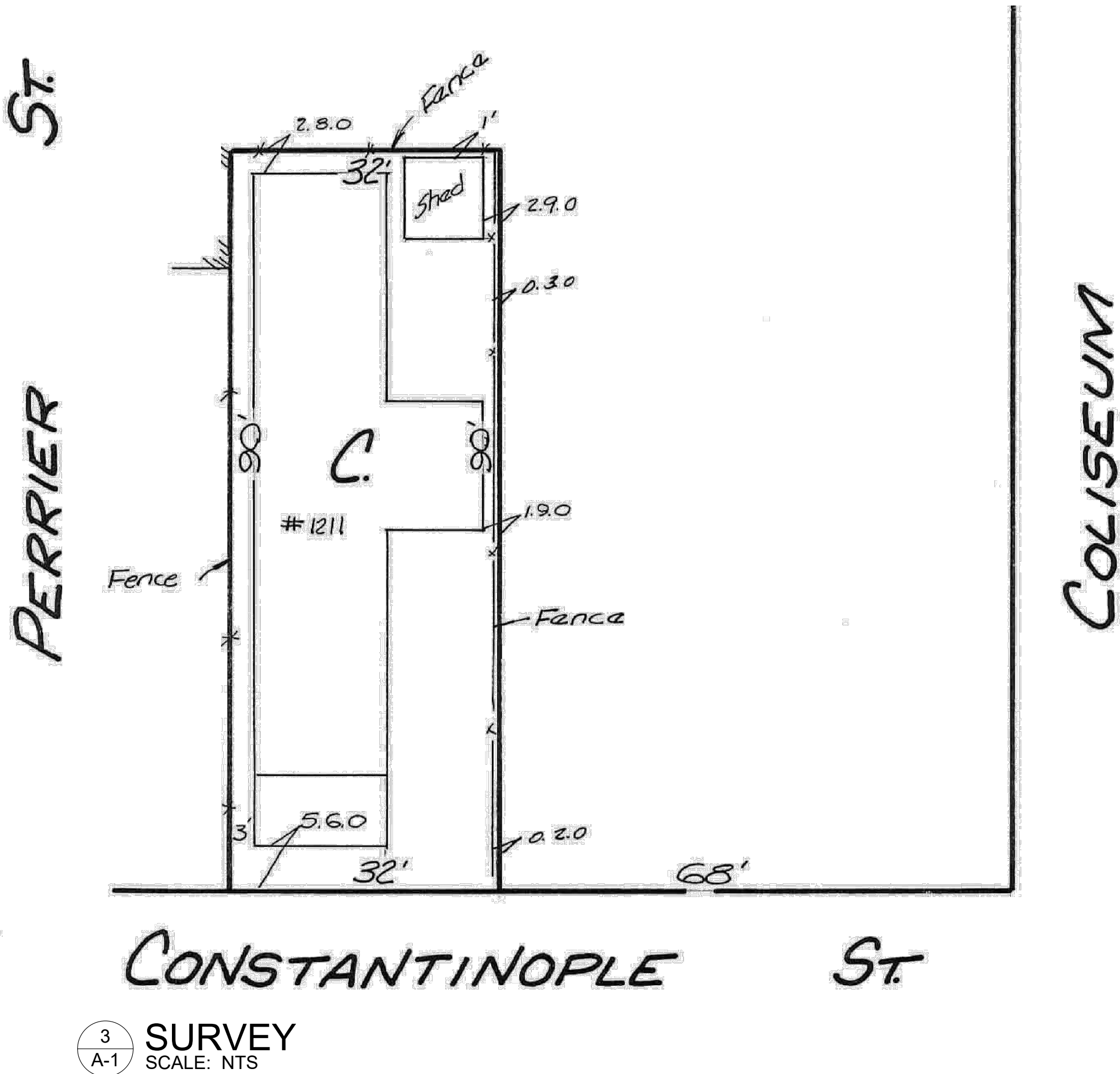


1 SITE PLAN
A-1 SCALE: 1/8" = 1'-0" NORTH

HDLC Roof Demolition Calculations:
Total Roof Area = 352.135 SF
Total Roof Area Demolished = 175.899 SF = **49.9%**



2 HDLC ROOF DEMO PERCENTAGE = 45.8%
A-1 SCALE: 1/8" = 1'-0" NORTH



3 SURVEY
A-1 SCALE: NTS

The Knudsen's

1211 Constantinople

Second Floor Addition

New Orleans, LA

ISSUED DATE: 05/30/2022

PROJECT SUMMARY

THE PROPOSED DRAWINGS OF 1211 CONSTANTINOPLE STREET ARE A RENOVATION PER THE CLIENT'S SUGGESTIONS. THESE SUGGESTIONS ARE AS FOLLOWS:

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CODE INFORMATION

THESE DRAWINGS HAVE BEEN DESIGNED TO MEET OR EXCEED THE GUIDELINE SET FORTH IN THE 2015 INTERNATIONAL RESIDENTIAL CODE & SOUTHERN BUILDING CODE CONGRESS INTERNATIONAL STANDARD FOR HURRICANE RESISTANT RESIDENTIAL CONSTRUCTION (SSTD 10). (ANTICIPATED DESIGN WINDLOAD OF 130 MPH MAX.)

PROJECT INFORMATION

EXISTING 1ST FLOOR:	FIRST FLOOR EXISTING:	1413 SF
1ST FLOOR:	FIRST FLOOR DEMO ROOF:	647 SF
2ND FLOOR:	SECOND FLOOR ADDITION:	632 SF
TOTAL FIRST AND SECOND:		1336 SF GROSS
OCCUPANCY:	RESIDENTIAL	
CONSTRUCTION TYPE:	TYPE V	
BLOCK NO.:		
LOT NO.:		
ZONING CLASSIFICATION:	HU-RD2	
PROJECT LOCATION:		
APPLICABLE CODE:	2015 INTERNATIONAL RESIDENTIAL CODE	

INDEX OF DRAWINGS

- A-1 TITLE / SITE PLAN
- A-2 FOUNDATION
- A-3 FLOOR PLAN
- A-3.1 FLOOR PLAN
- A-5 ELEVATIONS
- A-6 ELEVATIONS AND BUILDING SECTION
- A-7 ROOF FRAMING
- S-1 STRUCTURAL DETAILS
- S-2 STRUCTURAL DETAILS

ARCHITECTURAL LEGEND

NOTE: LEGEND IS TYPICAL. SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT.

ROOM NAME	ROOM NAME		
ELEVATION NO.	ELEVATION NO.	HOSE BIB	
SHEET NO.	SHEET NO.	CENTERLINE	
DOOR NUMBER	DOOR NUMBER	REVISION NUMBER	
NORTH ARROW	NORTH ARROW		

CONSTRUCTION DOCUMENTS



GunsModern.com
4519 S. Claiborne Avenue
New Orleans, LA 70125
504 810 2221

EXISTING / NEW SITE / FOUNDATION / ROOF

Knudsen Residence
1211 Constantinople Street
New Orleans, LA

Owner

Seth and Sarah +1
5114 Coliseum
New Orleans, LA

Contractor

Civil / Structural Engineer

Grieshaber Consulting LLC
4600 Lake Villa Drive
Metairie, La 70002
504.455.7994

REVISIONS

PROJECT NUMBER: 22-KNU
DRAWN BY: GPG
ISSUE DATE: 05/30/2022

A-1