

# Project Information

## Johnson Residence

1333 State Street

New Orleans, Louisiana 70115

Architect:

Laura M. Goodson, A.I.A.  
Good/Son Residential  
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Structural Engineer:

Address:  
Telephone:

General Contractor:

Address:  
Telephone:

### List of Drawings

Drawings:	Sheet No.	Date	Revised Date
Title Sheet, Floor Plans	A-01	10-19-21	06-22-22
Interior Elevations	A-02	10-19-21	06-22-22
Electrical and Mechanical Plan	E-01	10-19-21	06-21-22

### CONSTRUCTION NOTATIONS

General Conditions of the Contract for Construction: AIA Document A201, shall be considered part of the Construction Documents for this project.

General Contractor is required to obtain final approval from Owners and Architect for all exterior locations and mounting heights of electrical & mechanical boxes, meters, and/or equipment prior to installation.

Treated Wood: Provide LP-22 for all wood indicated as treated. P.T. is an abbreviation for pressure treated.

Glazing: Contractor shall be responsible to supply tempered glass per local, state, and federal code requirements. Save all doors and windows for possible reuse. Supply antique glass in restored units to match existing where possible.

Exterior Painting: All exterior wood trim to be back primed and all cut edges primed.

Sheetmetal: All sheetmetal work shall be in accordance with construction details of NRCA Roofing and Waterproofing Manual and SMACNA Architectural Sheet Metal Manual.

Waterproofing: All windows shall be installed in accordance with manufacturer's recommended installations instructions, provide all installation fins and moisture barrier wrapped into framed opening to provide a waterproof installation. Provide all hardware and screens for operating units. Caulk at perimeter of windows per manufacturers instructions.

Wall Board: Use screw fasteners to secure gypsum board to wood supports. Match sheetrock finish to adjacent.

Moisture Barriers at Windows and Doors: Wrap moisture barrier into all framed openings at the jamb, head and sill of each exterior opening to protect framing and sheathing and prevent water intrusion into the stud wall cavity.

Masonry Stucco: Provide Portland Cement Plaster (Stucco). Comply w/ all applicable requirements of the Southeast Lathing and Plastering Bureau, Incorporated Standards. Stucco to have integral color. Verify color with Owner and Architect prior to commencing work. Texture to match existing. Where new stucco structures are shown, the texture shall be smooth.

Stucco Trim Accessories: NO PVC stucco trim accessories will be allowed. Caulk all ends, joints, and corners of stucco trim accessories to prevent water intrusion. Refer to project Specifications Document for additional instructions.

Mortar Joints: Match existing stone, joint size and mortar color.

Cabinets: All cabinet suppliers shall measure existing/as-built conditions on site prior to ordering cabinets. Orders can not be placed based on dimensioned plans.

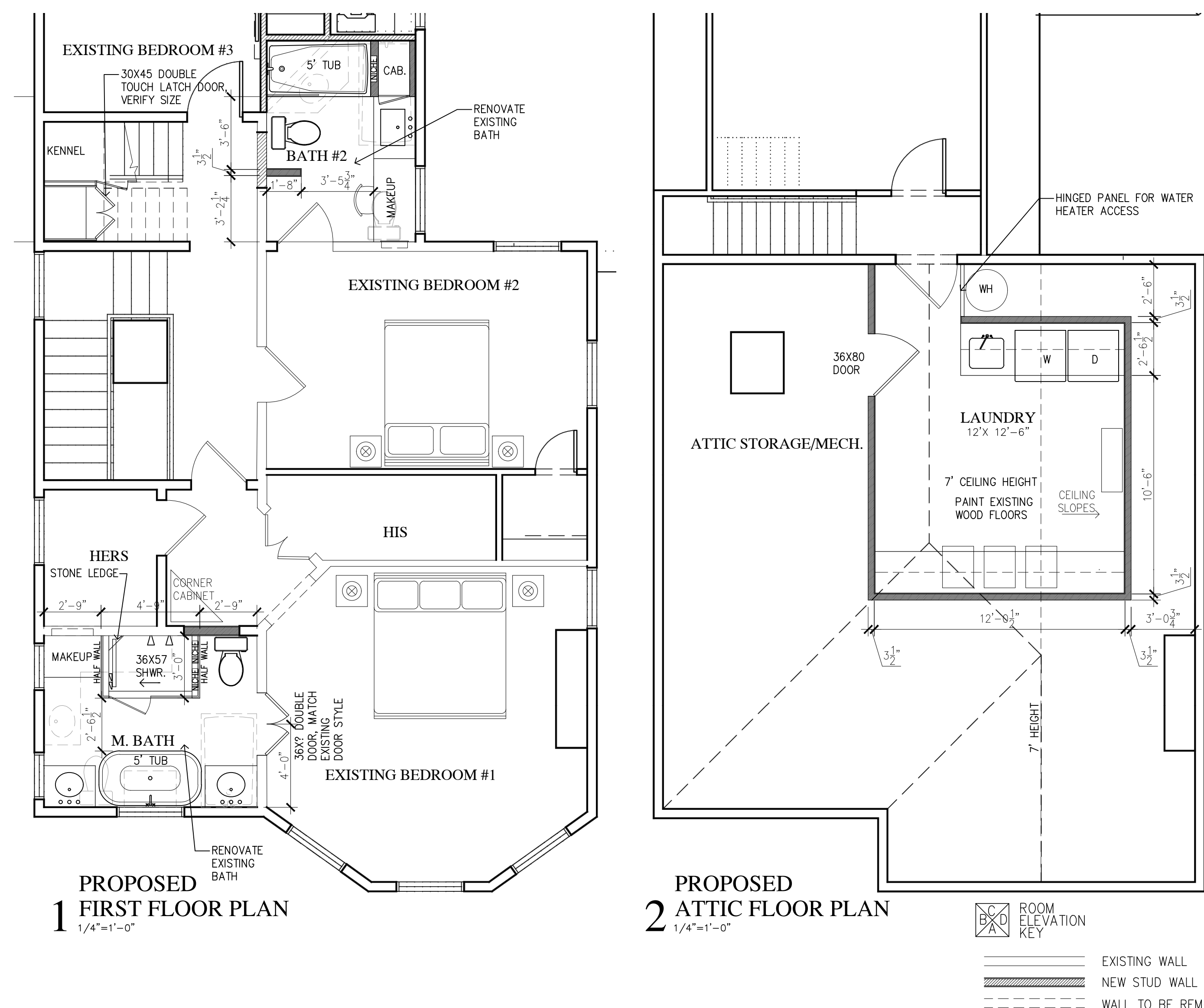
Allowances: Include tax (for material only). All labor including cutting and polishing of stone and installation shall be included in contractor's bid.

Ceiling Joist Framing: Refer to electrical plans and reflected ceiling plans to verify locations of all decorative beams and recessed ceiling fixtures prior to laying out of ceiling joists or rafters. Adjust spacing to allow correct placement of beams and lighting.

Wood Flooring: Match existing wood flooring. Comply with wood flooring manufacturer's instructions and recommendations for preparation of substrates to receive wood flooring, including application of primers, vapor barriers, moisture barriers and adhesives.

Showers: Provide a copper or alternate pan material, approved by the Architect, below each bathroom shower.

Sound Insulation: Provide sound insulation in all walls between bathroom area and bedrooms.



### Construction Proposals:

In no case shall proposals by the General Contractor supersede these Drawings and Specifications unless specifically identified in the Construction Contract or by Change Order, Addendum or correspondence from the Architect.

### Required Shop Drawings:

Contractor is required to furnish for Architect approval all Shop Drawings including but not limited to the following:

- |                      |               |                                |
|----------------------|---------------|--------------------------------|
| 1. Doors and Windows | 4. Millwork   | 7. Other Specialized Equipment |
| 2. Cabinets          | 5. Ironwork   |                                |
| 3. Mouldings         | 6. Stone work |                                |

NOTE: Do Not fabricate any of the above noted items without prior approval of Shop Drawings by the Architect. Failure to provide Shop Drawings or working without approved Shop Drawings will result in assumption of responsibility for corrective work. All cabinet suppliers shall measure existing conditions on site prior to ordering cabinets. Orders can not be placed based on dimensioned plans.

### Product Data and Samples:

Contractor is required to furnish for approval by Architects, and/or Owner, Product Data and Samples including but not limited to the following items:

- |                    |                             |                           |
|--------------------|-----------------------------|---------------------------|
| 1. Paint           | 5. Hardware                 | 9. Tile & Stone           |
| 2. Light Fixtures  | 6. Appliances               | 10. Crown Moulding & Trim |
| 3. HVAC Systems    | 7. Plumbing Fixtures & Trim | 11. Iron Work             |
| 4. Security System | 8. Carpet                   | 12. Special Electronics   |

### Manufactured Cabinets:

Any recommendations for modification to cabinet layouts illustrated in these drawings shall be coordinated through the Architect. Cabinet suppliers modifying the configuration of cabinet design layouts without first providing notification and receiving approval by the Architect shall be disqualified from the bidding.

### Change Orders:

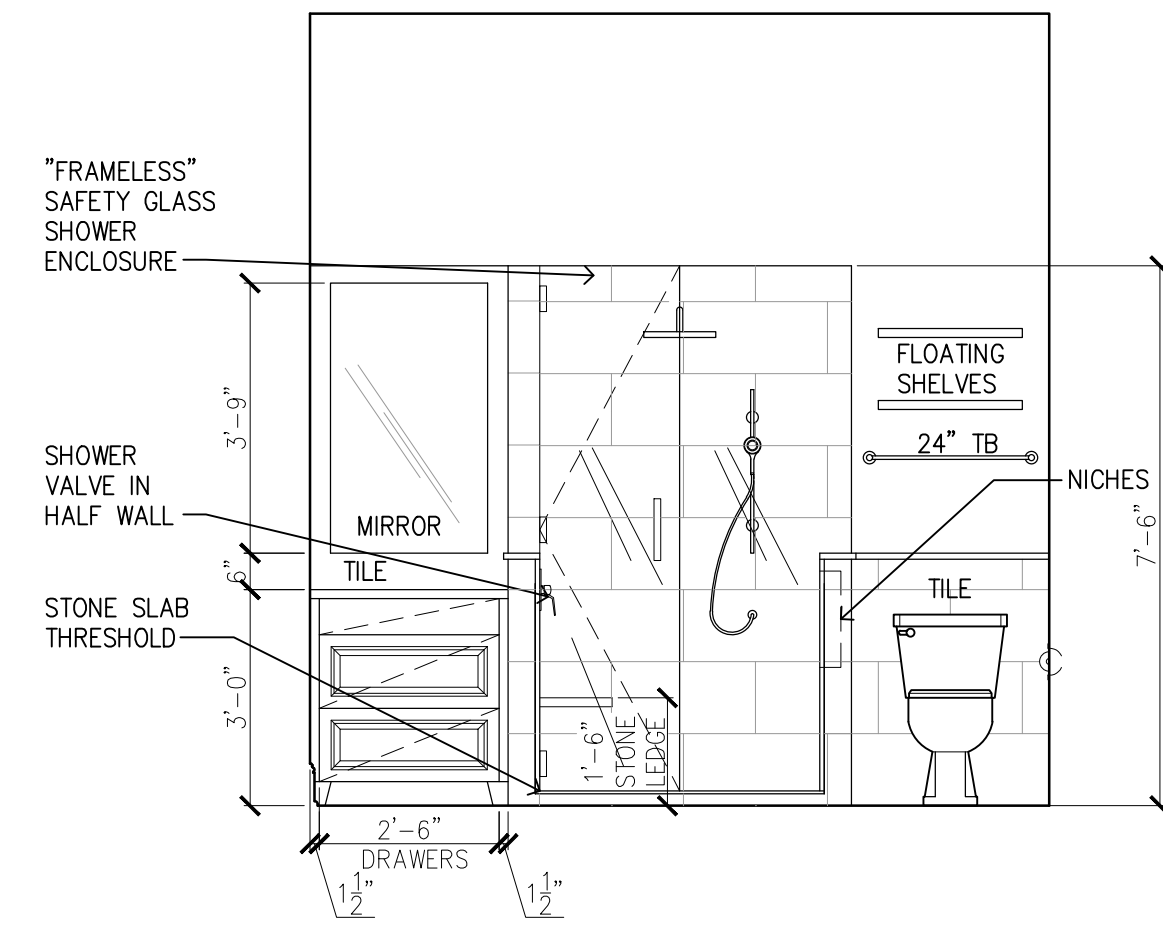
Owner shall not be responsible to pay additional costs for changes in the work unless specifically authorized by Owner and Architect in writing prior to commencement of the intended work.

### Conflicts in the Drawings:

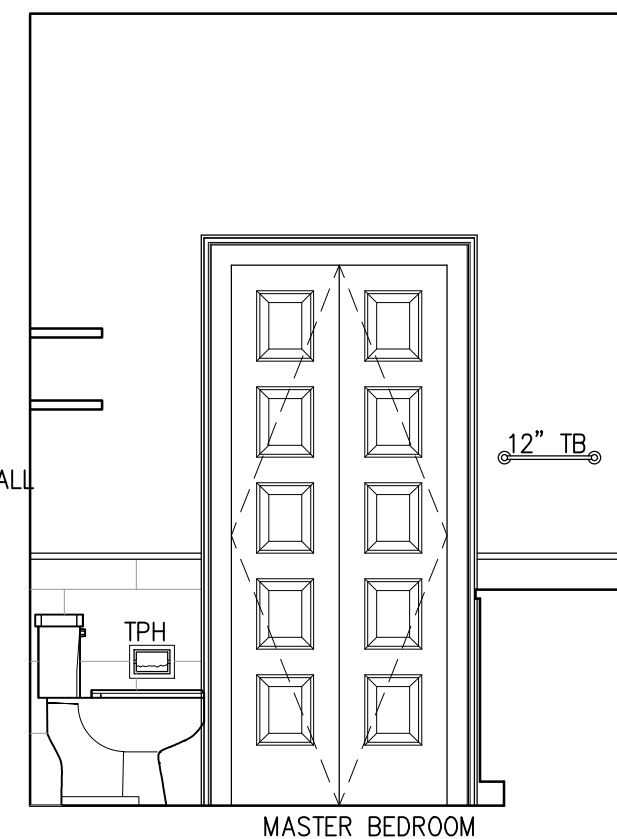
In the event that a conflict or dimensional discrepancy in the Drawings is discovered by the General Contractor, Subcontractors, Engineer, Consultant, or a Supplier, said party shall immediately notify the Architect and suspend all associated work until such time that a proper determination has been made by the Architect, with appropriate instructions for resolution of the issue. Failure to report known discrepancies and continuing with the work without notifying the Architect shall result in an assumption of responsibility for corrective work to achieve the intended design.

### Copyright:

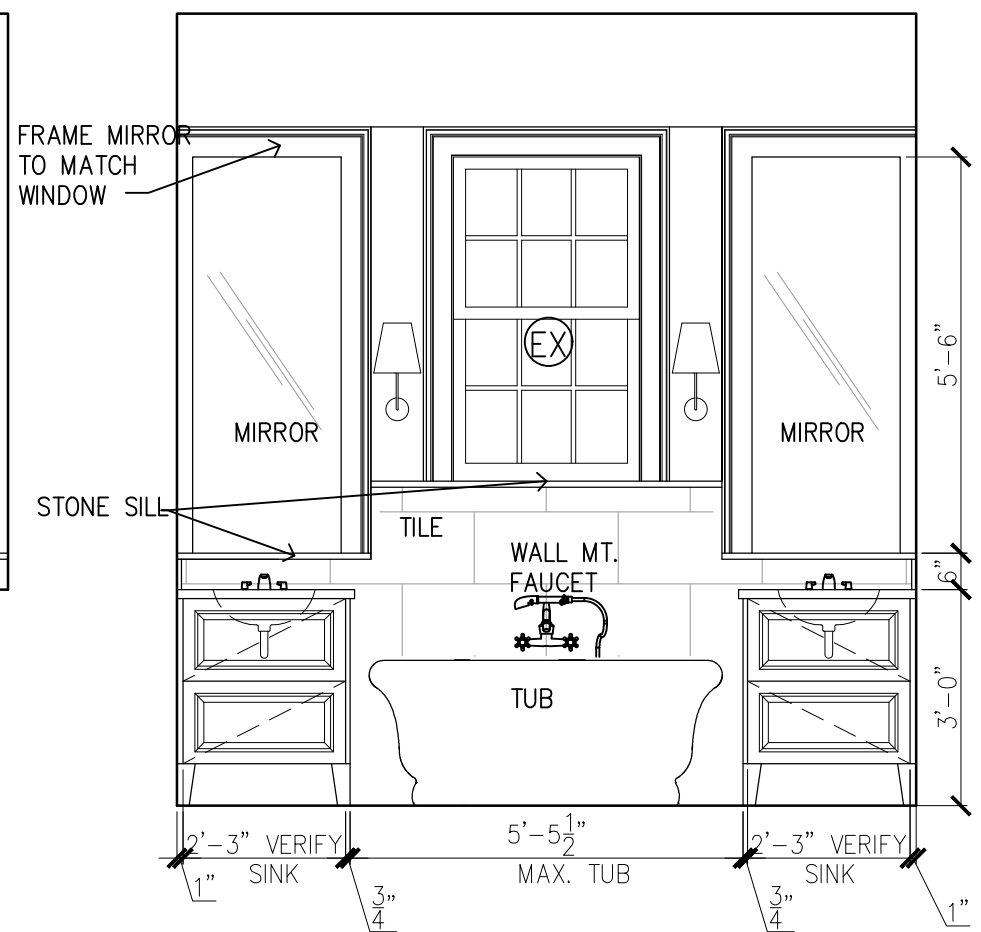
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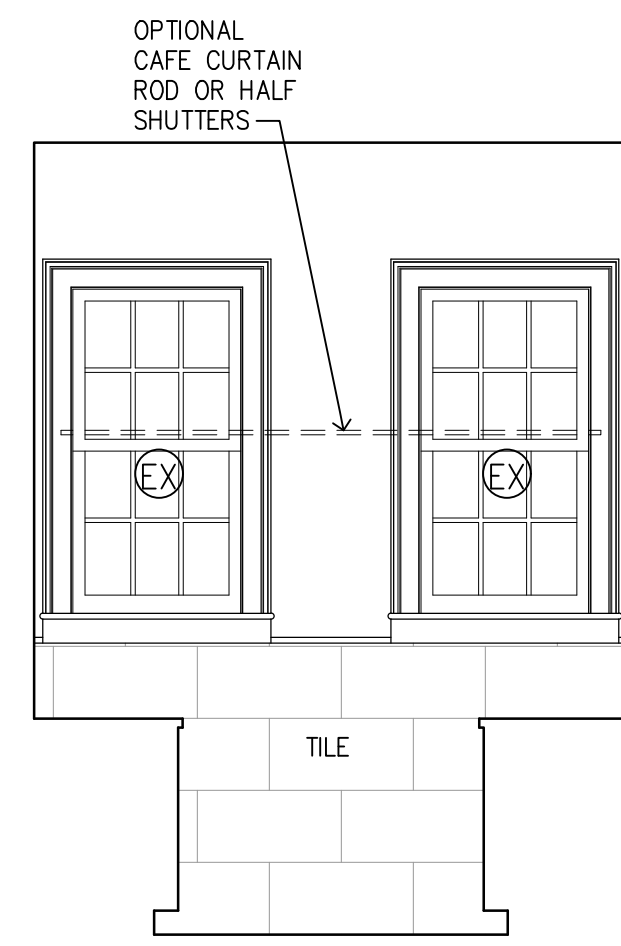
MASTER BATH ————— A



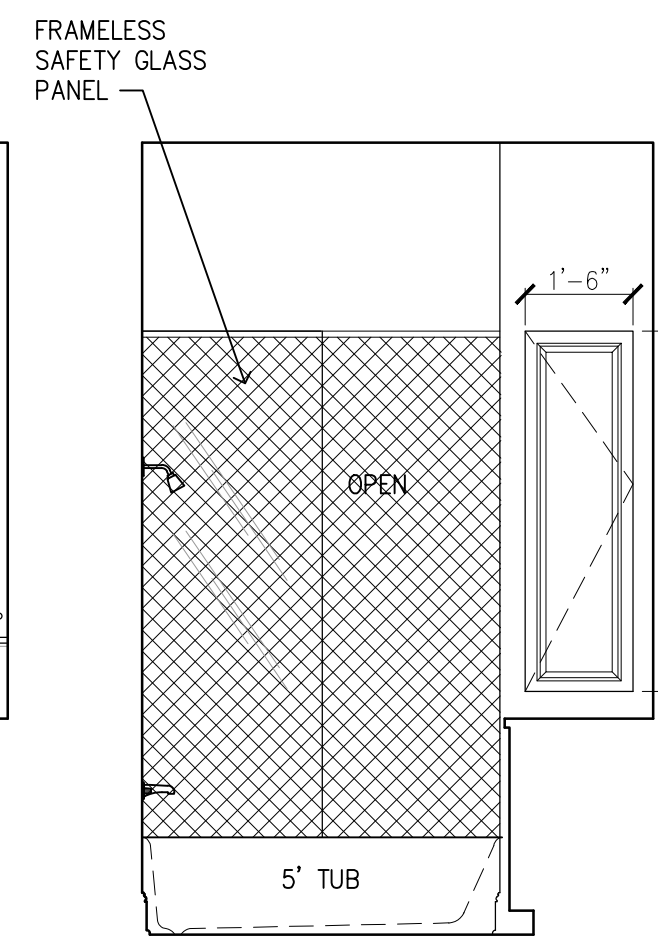
MASTER BATH ————— B



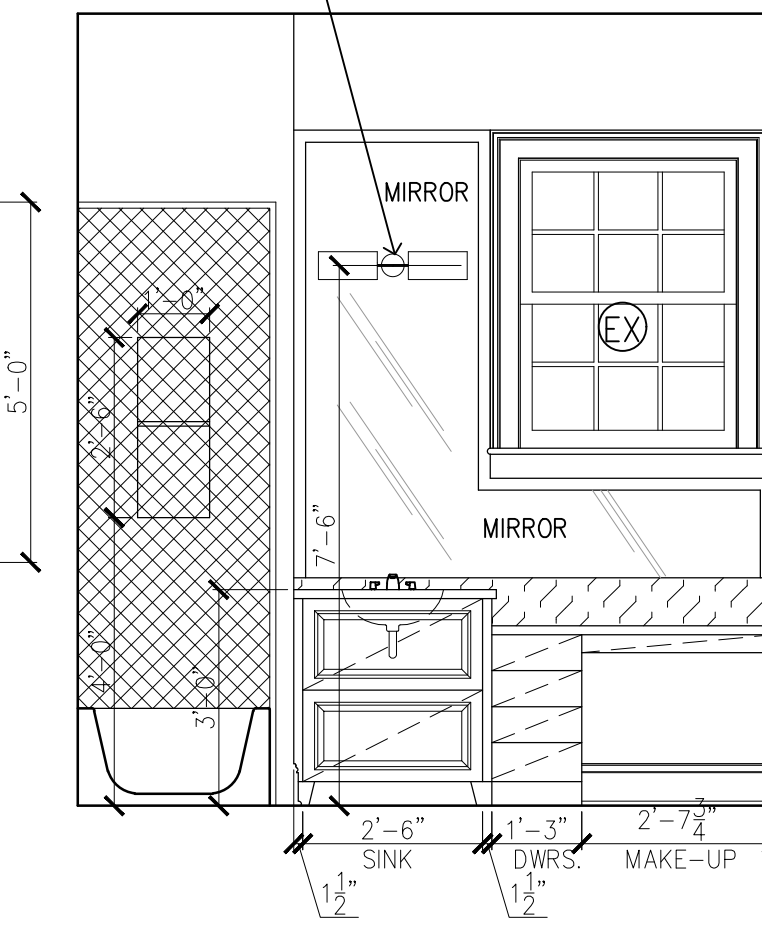
MASTER BATH ————— C



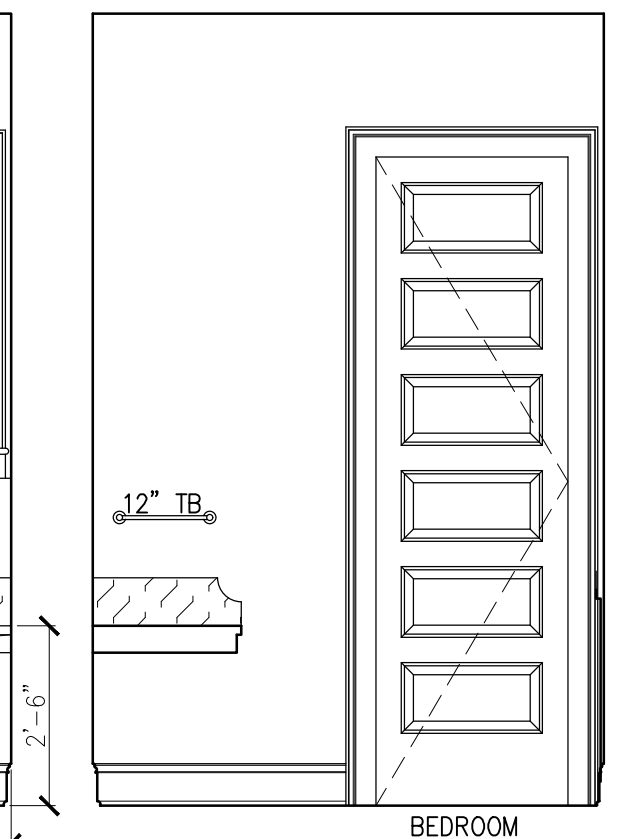
MASTER BATH ————— D



BATH #2 ————— A

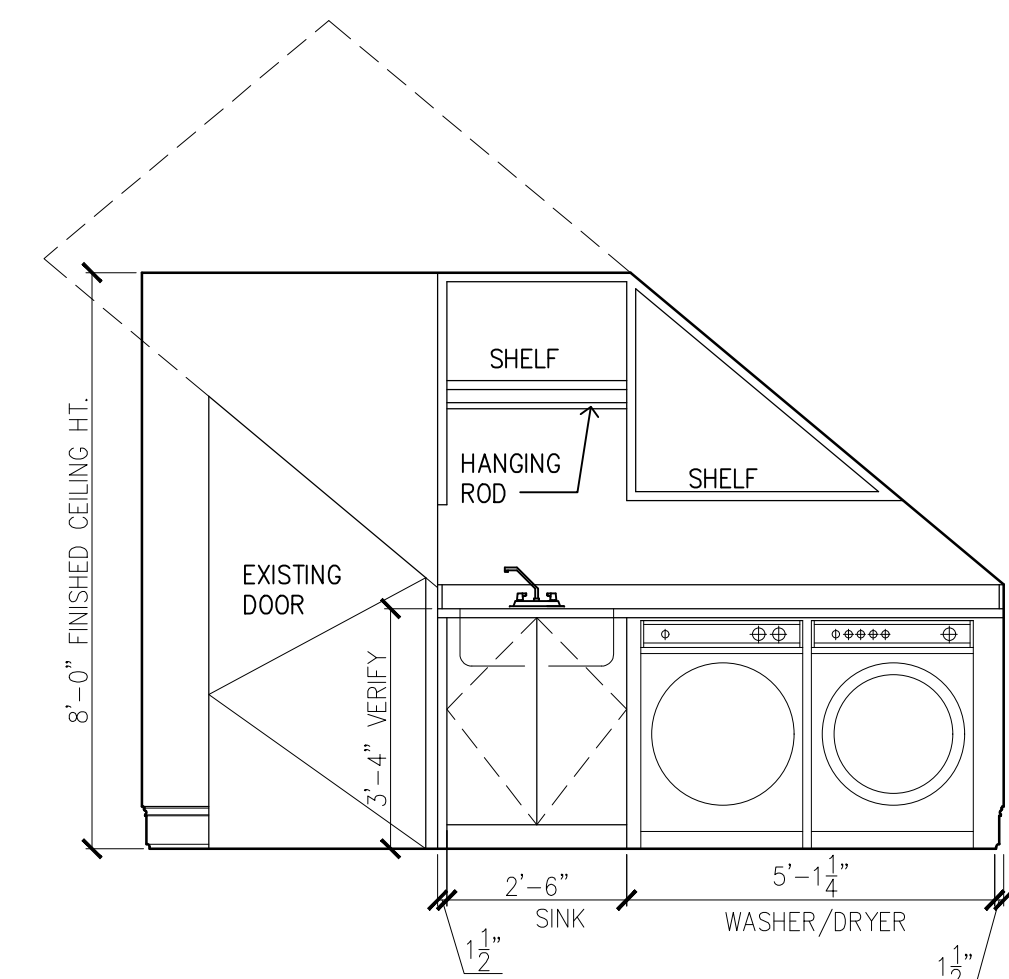


BATH #2 ————— B

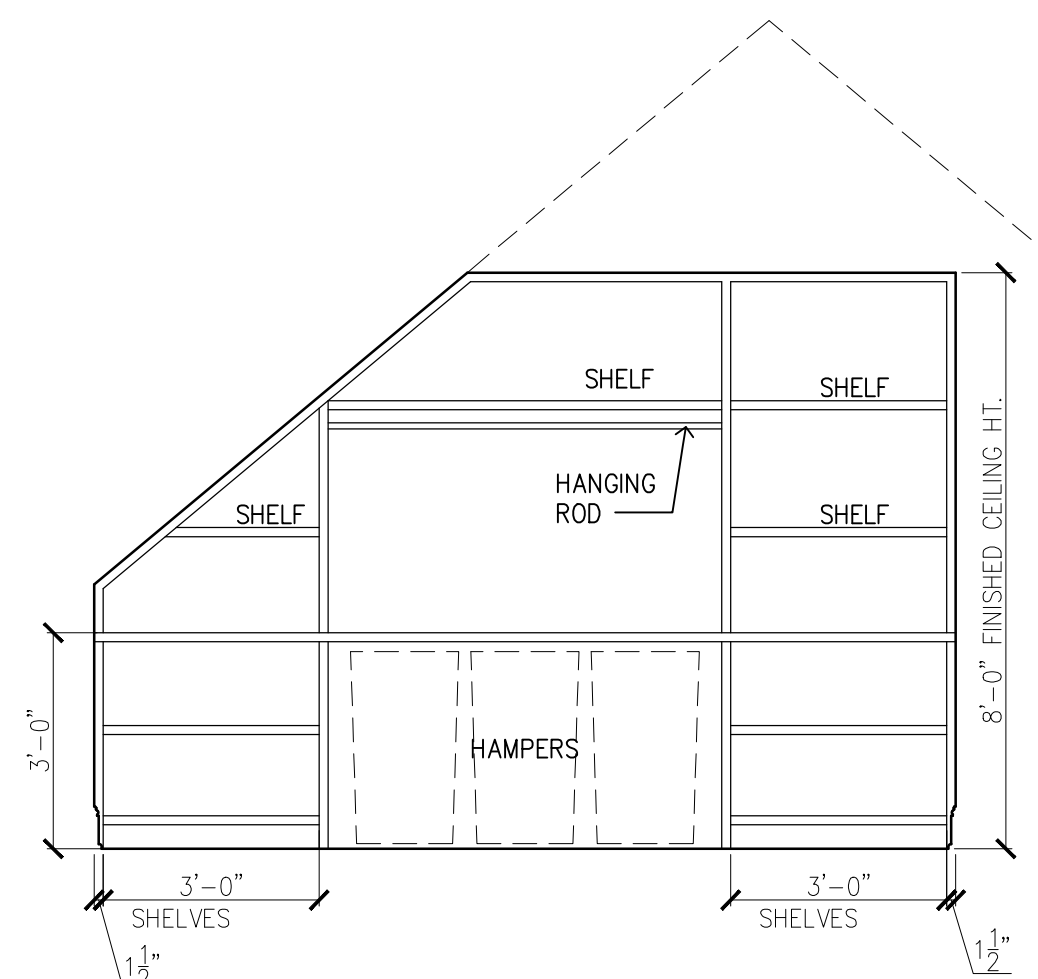


BATH #2 ————— D

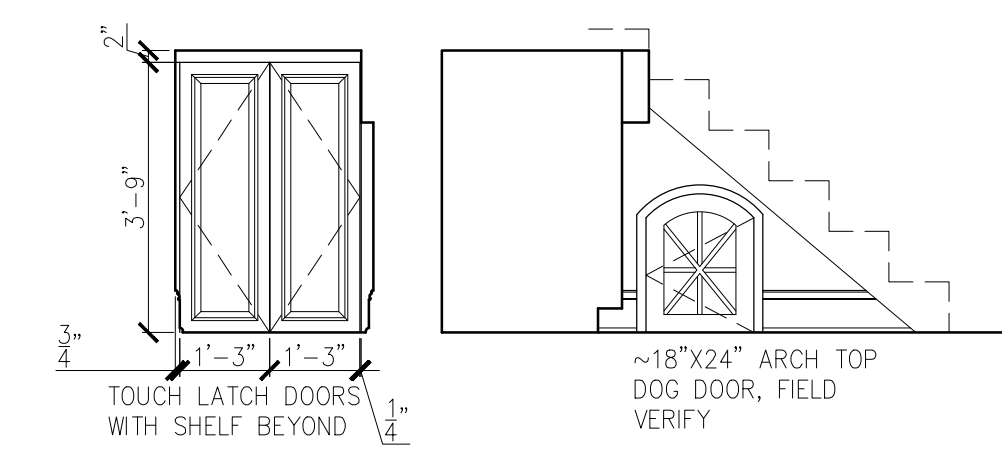
\*MEASUREMENTS ARE FOR SPACE PLANNING PURPOSES AND SHOULD BE FIELD VERIFIED PRIOR TO ORDERING CABINETS



3RD FLOOR LAUNDRY ————— A



3RD FLOOR LAUNDRY ————— C



UNDER STAIR STORAGE

REVISED: 06-15-22, 06-22-22

**ELECTRICAL NOTATIONS**

Electrical Switches & Receptacles: Standard specification for all electrical switches & receptacles shall be Leviton (unless otherwise noted). Color to be selected by Owner or Interior Designer. Provide Decora switches, outlets, & dimmers (unless otherwise noted).

Gang Switches: Where three or less switches are ganged, they shall be placed in one box. Where four or more switches are located together, they shall be stacked in groups of two or three.

Switch & Outlet Locations: Switches shall be placed at 54" to center line above floor or 44" above floor at counter(s); match existing wall receptacle height (coordinate location with Architect) or 44" above floor at counter(s) (unless otherwise noted).

Electrical Grounding: All receptacles & switches shall be grounded. All wiring devices, fixtures, etc., provided with ground circuit screws mount in or to a grounded steel junction box.

Electrical Details: The Electrical subcontractor is required to interface electrical installation with architectural details shown on the Architectural & Structural Plans.

Smoke Detectors: Per CABO, One & Two Family Dwelling Code, 316.1 - Smoke Detectors Required - detectors shall be installed in each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms & on each additional story of the dwelling, including basements & cellars but not including crawl spaces & uninhabitable attics. Smoke alarms shall be ceiling or wall mounted. Detectors shall meet UL Standard 268, & shall be wired to a 110v. branch circuit.

Lighting: Confirm lighting locations & fixtures with Owner and/or Architects prior to installation of fixtures.

Contractor shall install all work to meet existing conditions as found at the building site & to accommodate the work of other trades. The Contractor shall be held responsible for the timely placement of conduits in floor slabs before same are poured. Switch & outlet boxed shall be installed in walls & partitions while same are under construction.

**ELECTRICAL LEGEND**

	UNDER CABINET LIGHT		CEILING FAN		DUPLEX OUTLET
	FLUORESCENT LIGHT, 12x48" FIXTURE		CEILING FAN (W/ LIGHT)		DUPLEX OUTLET, SWITCH OPERATED
	FLUORESCENT LIGHT, 24x48" FIXTURE		STRIP LIGHTS		DUPLEX OUTLET, GROUND FAULT INTERRUPT
	DROP CORD FIXTURE (CHANDELIER)		VENT, LIGHT		DUPLEX OUTLET, EXTERIOR, GROUND FAULT INTERRUPT
	DROP CORD FIXTURE (LANTERN)		HEAT, VENT, LIGHT		QUADPLEX OUTLET
	PENDANT FIXTURE		VENT, WALL MOUNTED		RECESSED FLOOR DUPLEX OUTLET
	SURFACE MOUNTED FIXTURE		GARAGE DOOR OPENER		RECESSED FLOOR DUPLEX OUTLET, SWITCH OPERATED
	SURFACE MOUNTED MONOPOINT FIXTURE		110 VOLT SMOKE DETECTOR & CARBON MONOXIDE ALARM		220 VOLT OUTLET
	RECESSED FIXTURE, TYPE 1		LIGHT SWITCH		SPECIAL FUNCTION OUTLET
	RECESSED ADJUSTABLE FIXTURE, TYPE 1		LIGHT SWITCH, 3 WAY		TELEPHONE JACK
	RECESSED PIN FIXTURE, INTERIOR		LIGHT SWITCH, 4 WAY		RECESSED FLOOR TELEPHONE JACK
	RECESSED PIN FIXTURE, INTERIOR ADJUSTABLE		LIGHT SWITCH, DIMMER		DATA OUTLET, PHONE/COMPUTER JACK
	RECESSED PIN FIXTURE, EXTERIOR		LIGHT SWITCH, DOOR ACTIVATED		DATA JACK, PHONE/COMPUTER JACK
	RECESSED PIN FIXTURE, EXTERIOR ADJUSTABLE		DISCONNECT SWITCH		T.V. JACK, PHONE/CABLE JACK
	RECESSED FIXTURE, WATER PROOF		METER		SATELLITE T.V. JACK, PHONE/CABLE JACK
	WALL MOUNT FIXTURE		ELECTRIC PANEL, FLUSH MOUNTED		SECURITY ALARM CENTRAL PANEL
	EXTERIOR DIRECTIONAL LIGHT, HALOGEN (W/ PHOTO CELL)		ELECTRIC PANEL, SURFACE MOUNTED		SECURITY ALARM KEY PAD
	EXTERIOR DIRECTIONAL LIGHT (W/ PHOTO CELL)		GARBAGE DISPOSAL		SECURITY ALARM CAMERA
	CONCEALED IN-GRADE RECESSED FIXTURE, WATER PROOF		DOOR BELL, PUSH BUTTON		SECURITY MONITOR
	RECESSED STEP LIGHT, EXTERIOR		DOOR CHIMES		UNDERWATER ADJUSTABLE SPOT FIXTURE
	PATH LIGHT		AUDIO/STEREO SYSTEM		UNDER WATER WALL MOUNT FIXTURE
	SPOT LIGHT - UP		SPEAKERS, CEILING MOUNTED		
	SPOT LIGHT - DOWN		SPEAKERS, WALL MOUNTED		
			AUDIO VOLUME CONTROL		
			EXTERIOR ADJUSTABLE LANDSCAPE LIGHTING (ON TIMER)		
			POOL CONTROLS/ EXTERIOR LIGHTING KEY PAD		

**MECHANICAL NOTATIONS**

HVAC Grill(s): Registers & grill(s) shall be paint finished to match walls, ceilings, doors, etc., where they occur. Wall register(s) above doors or other openings **MUST BE CENTERED** (or install grill(s) centered above unit of more than one, i.e. grouping of windows or doors) above said opening. Consult Reflected Ceiling Plans, if provided, prior to rough-in for locations of registers & grill(s).

Plumbing Drain Lines (Interior Soil, Waste, & Vent Piping): All soil & waste pipe draining from second floor or any additional stacked spaces, shall be cast iron. All other waste & vent piping can be PVC as allowed by code(s).

Water Heaters: Provide high recovery hot water heaters at locations indicated on plans. Provide pan & overflow drain below each water heater.

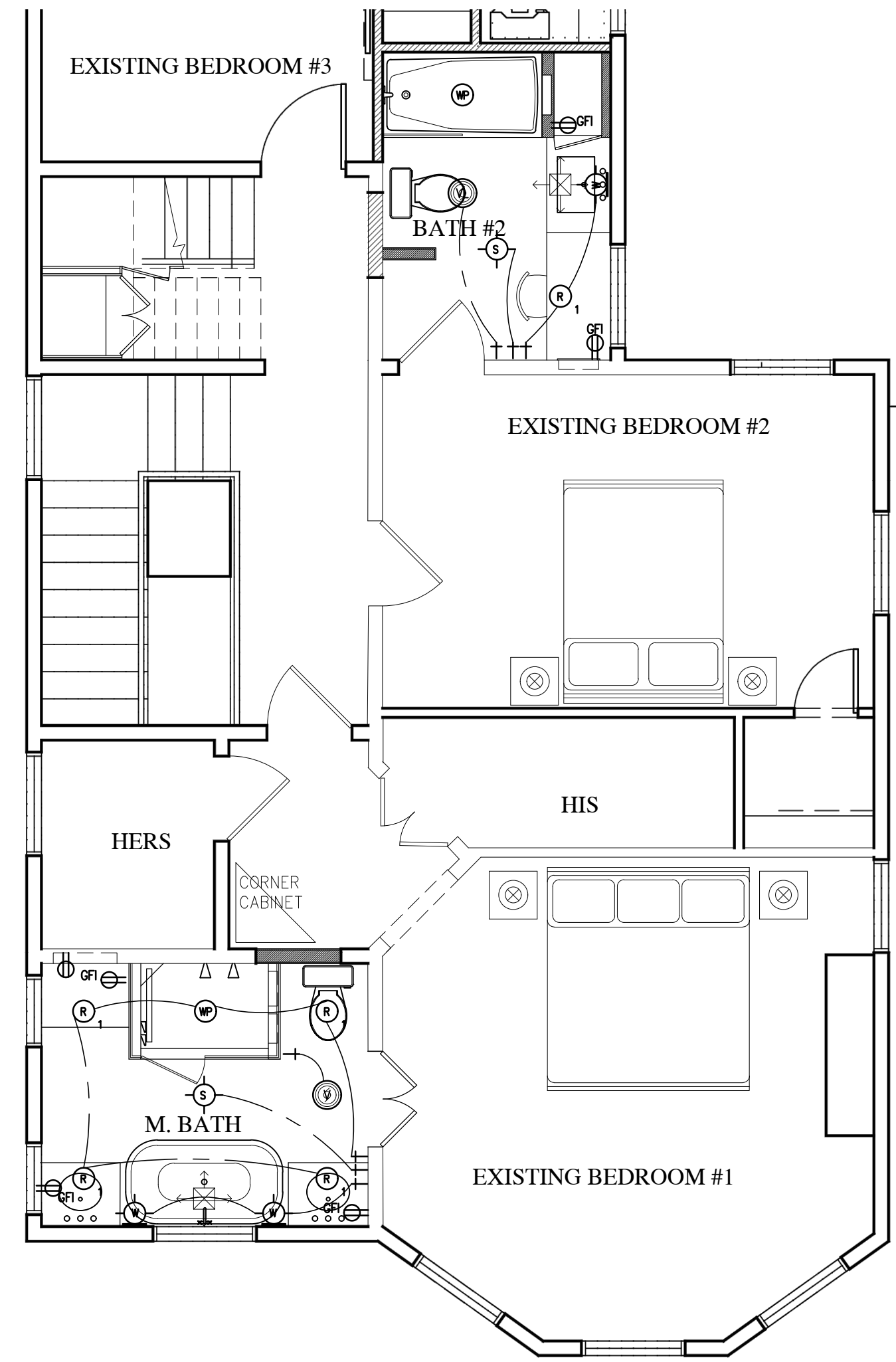
Attic Mounted Air Handling Units: All attic mounted HVAC equipment shall be set on vibration reduction pads over fire proof barrier, and be equipped with an overflow pan with drain and float switch to turn off the HVAC system in order to prevent flooding should the condensate drains become constricted.

HVAC Sound Baffle(s): Provide a sound baffle in return air chamber of each HVAC system to acoustically insulate sound of equipment & provide silent operation.

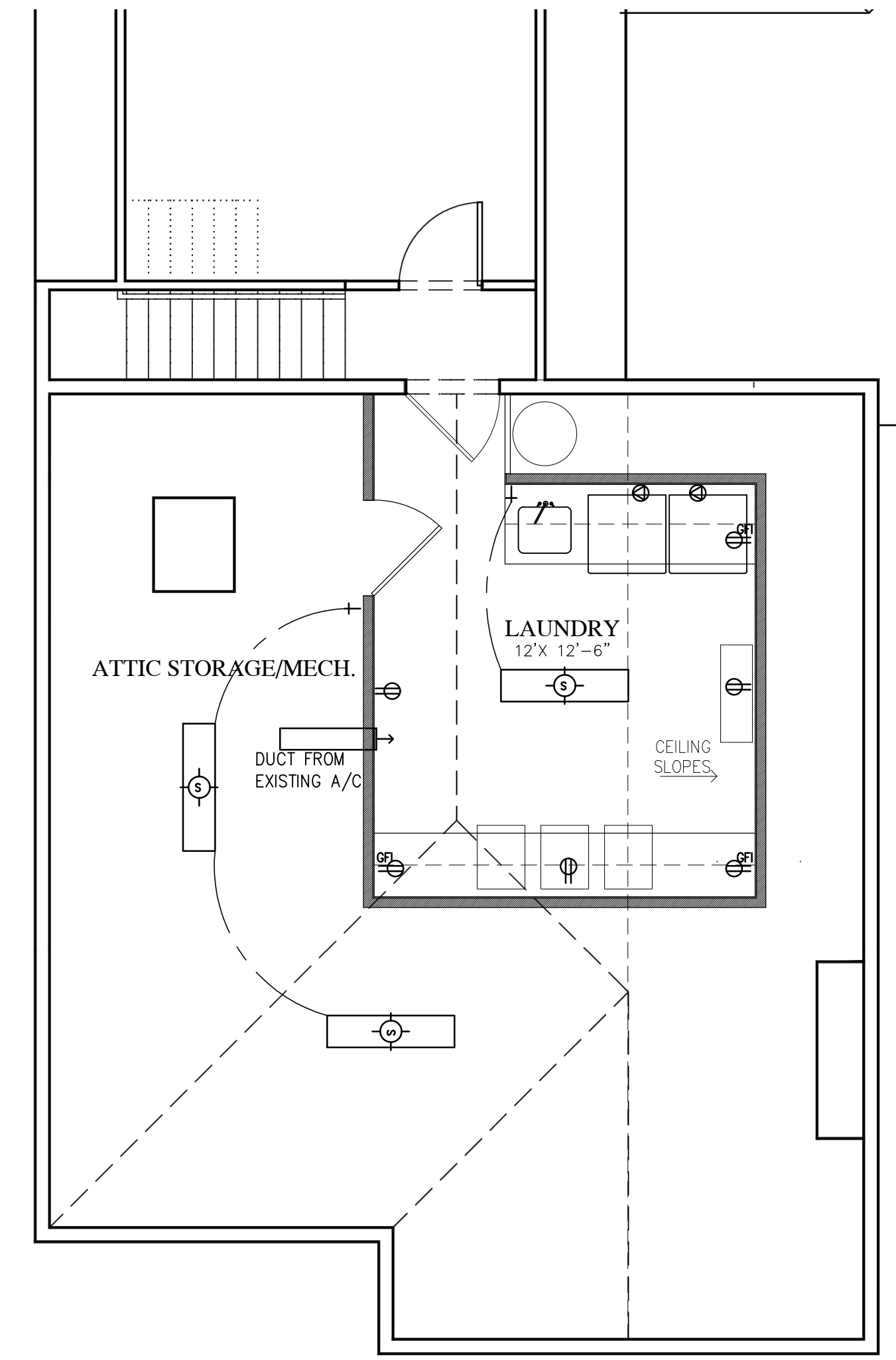
Specification: Mechanical subcontractor shall be responsible for acquiring a Specification Document (when provided for project). Subcontractor shall become familiar with all aspects of mechanical specifications to provide a complete project & comply with all code(s) requirements.

**MECHANICAL LEGEND**

	AHU #1	AIR HANDLER		REGISTER - CEILING
	RETURN AIR DUCT			REGISTER - WALL
	SUPPLY AIR DUCT			CONDENSING UNIT
	DUCT TO ABOVE			THERMOSTAT CONTROLS
				REGISTER - FLOOR



**1 ELECTRICAL AND MECHANICAL SECOND FLOOR PLAN**  
1/4"=1'-0"



**2 ELECTRICAL AND MECHANICAL THIRD FLOOR PLAN**  
1/4"=1'-0"

ARCHITECT  
**LAURA M. GOODSON, A.I.A.**  
GOODSON RESIDENTIAL

**JOHNSON RESIDENCE**  
1333 STATE STREET NEW ORLEANS, LOUISIANA

SCALE: 1/4"=1'-0"  
DATE: 10-19-21  
FOLIO:  
DRAWING: JOH\_PLAN  
DRAWN: LMG  
PROJECT: JOH

**E - 01**

REVISED: 06-21-22