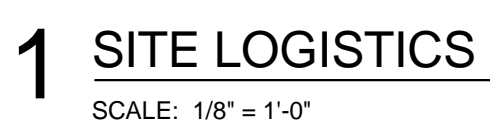


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WAX CONDOS REMEDATION

917 CONTI STREET
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DATE ISSUED: 05/04/2022

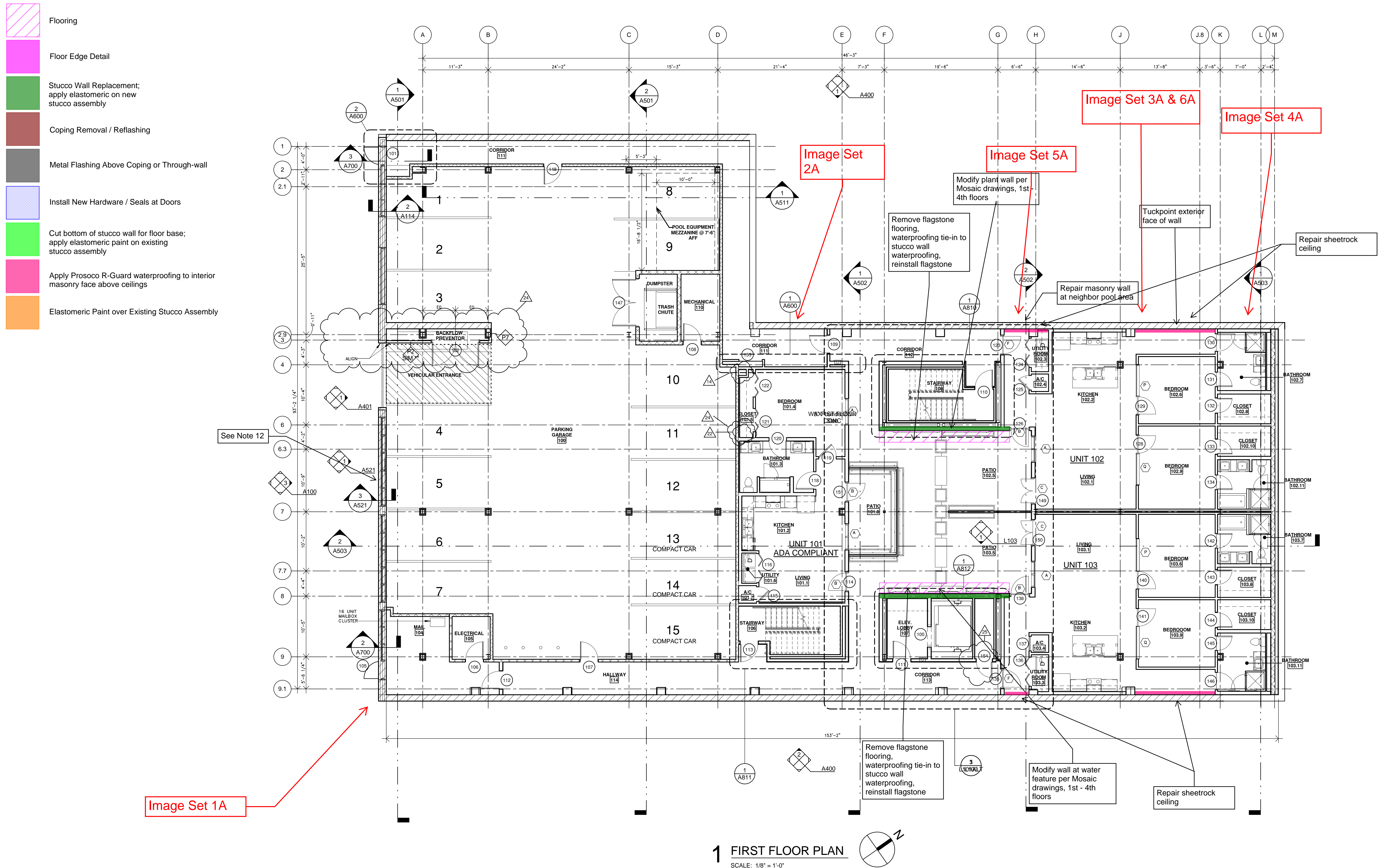


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Architectural Remediation First
Floor Plan

AR-101



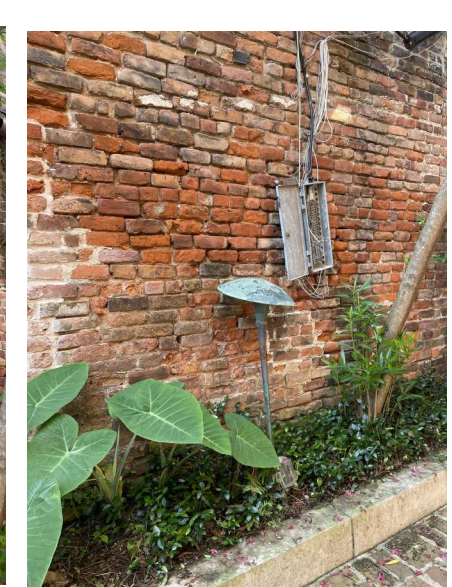
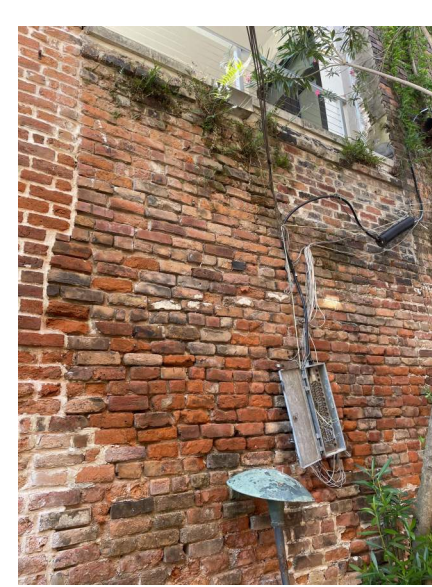
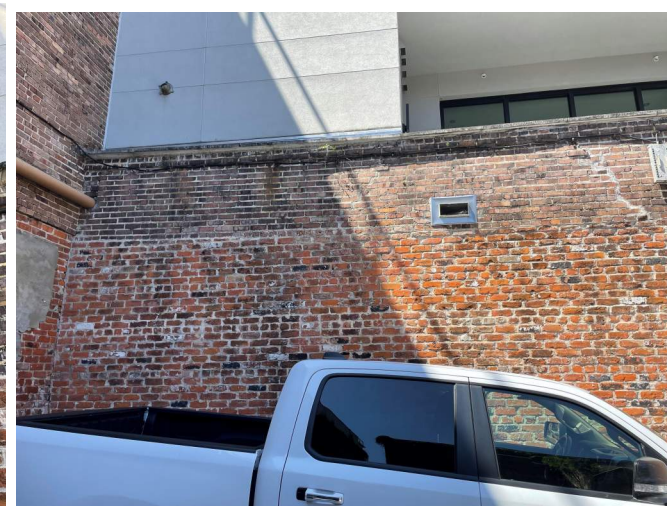
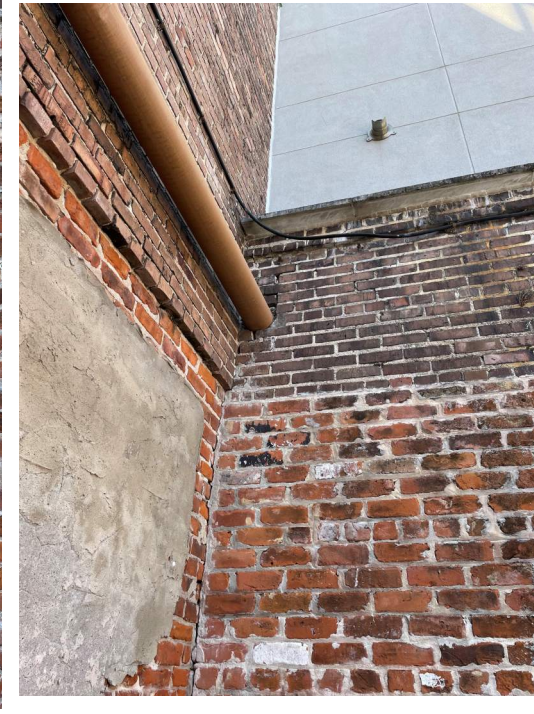
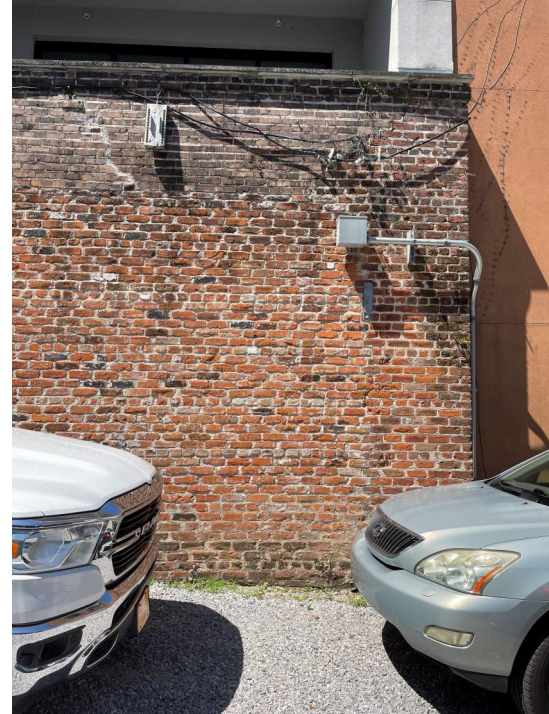


Image Set 4A



Image Set 2A



Image Set 3A

Image Set 1A

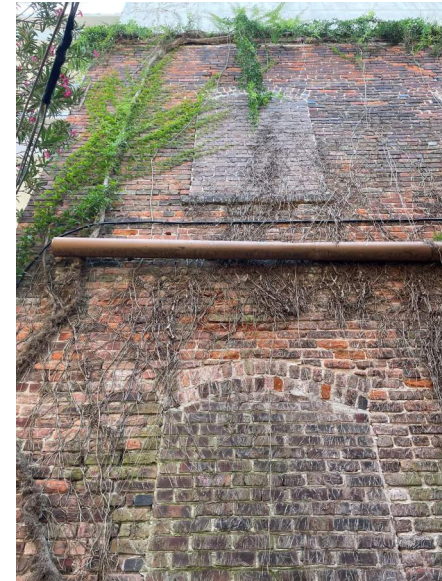
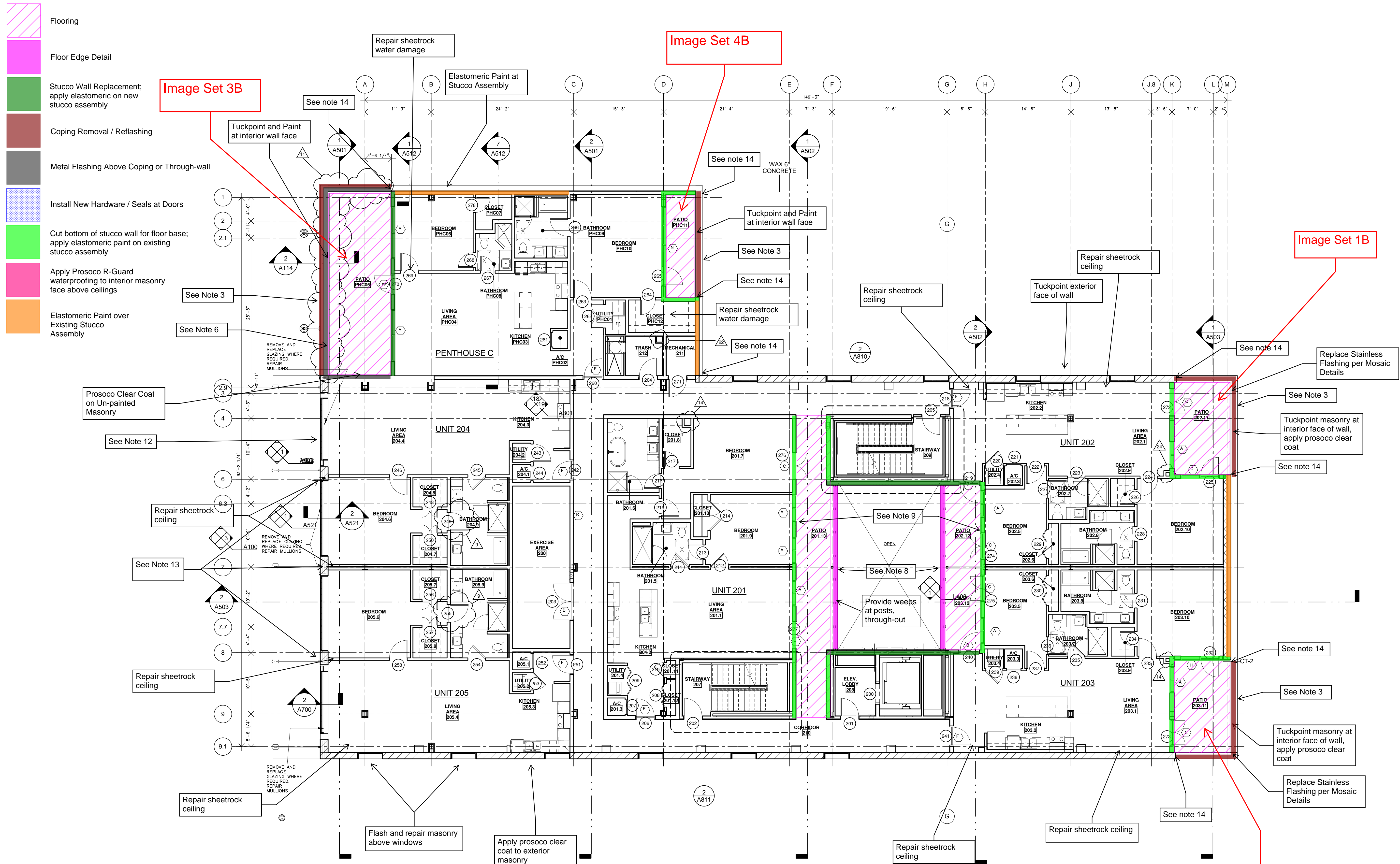


Image Set 5A



Image
Set 6A





- Notes:
- 1) Stucco Assembly Replacement; Per Mosaic drawings
 - 2) Remove and re-flash coping above stucco assembly; see 3/A500
 - 3) Remove and re-flash coping above masonry wall; see A503
 - 4) Demo flooring, install waterproofing and flooring system per Mosaic drawings
 - 5) Tuck-point masonry
 - 6) Install through-wall flashing; see A501, A502
 - 7) Install Prosoco R-Guard to masonry face above drywall ceilings
 - 8) Scrape and paint bent plate, install metal flashing at floor edge to cover slab bent plate
 - 9) Cut bottom of stucco wall to allow waterproofing/flooring base installation
 - 10) Install new door seals and hardware, install new 3" drains in front of doors, install flashing/pan below doors
 - 11) Remove coping strip lighting, caulk coping to stucco wall, cut/caulk joints at coping, apply sealant to coping
 - 12) Tuckpoint and paint front facade
 - 13) Seal cow tongue drains at front facade
 - 14) Install vertical through-wall flashing at masonry / stucco transitions

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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Architectural Remediation
Second Floor Plan

AR-102



Image Set 3B



Image Set 4B



Image Set 1B



Image Set 2B



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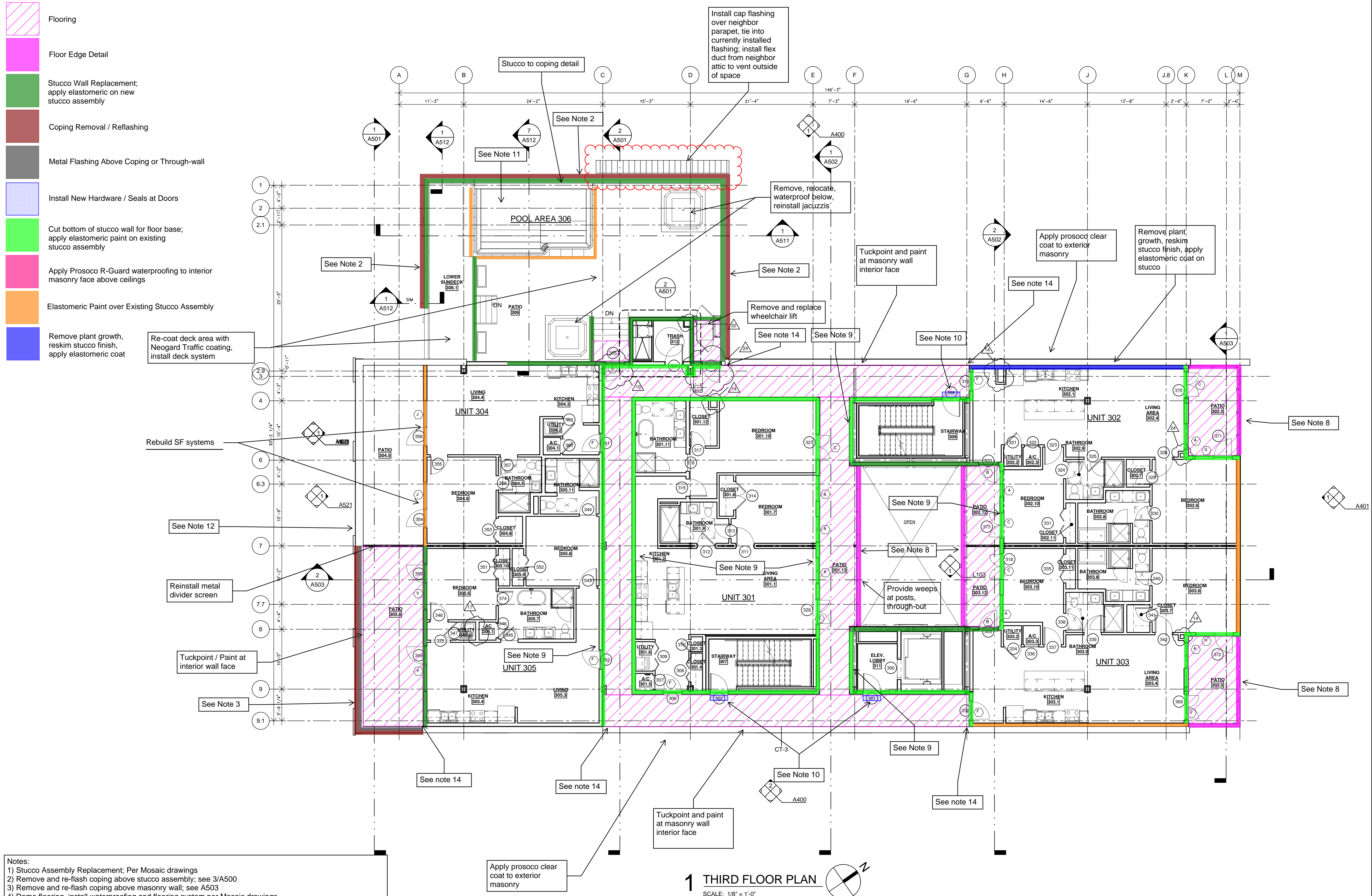


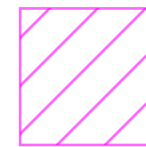









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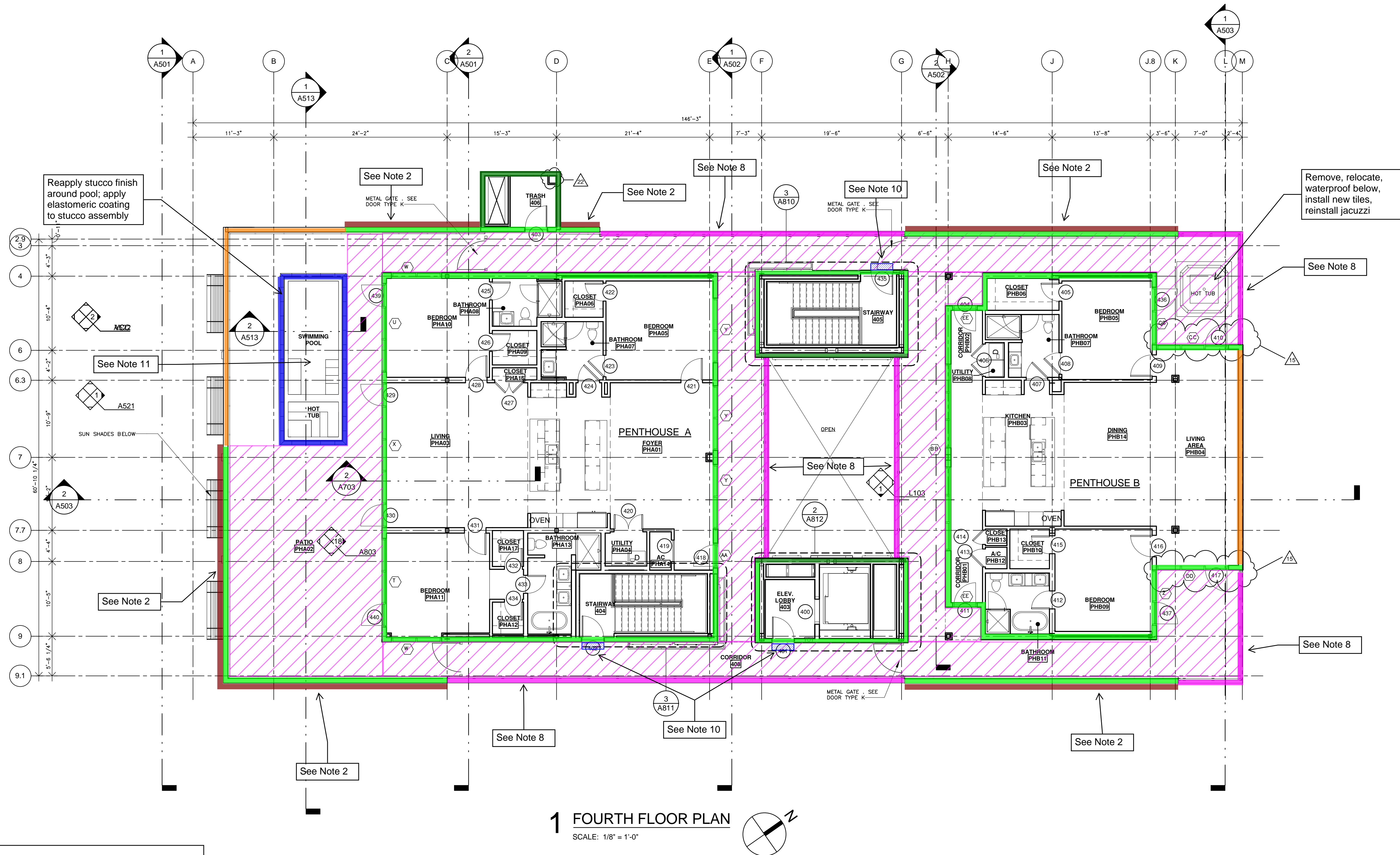
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Architectural Remediation Third
Floor Plan

AR-103



-  Flooring
-  Floor Edge Detail
-  Stucco Wall Replacement; apply elastomeric on new stucco assembly
-  Coping Removal / Reflashing
-  Metal Flashing Above Coping or Through-wall
-  Install New Hardware / Seals at Doors
-  Cut bottom of stucco wall for floor base; apply elastomeric paint on existing stucco assembly
-  Apply Prosoco R-Guard waterproofing to interior masonry face above ceilings
-  Elastomeric Paint over Existing Stucco Assembly
-  Remove plant growth, reskim stucco finish



- Notes:
- 1) Stucco Assembly Replacement; Per Mosaic drawings
 - 2) Remove and re-flash coping above stucco assembly; see 3/A500
 - 3) Remove and re-flash coping above masonry wall; see A503
 - 4) Demo flooring, install waterproofing and flooring system per Mosaic drawings
 - 5) Tuck-point masonry
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NEW ORLEANS, LA.

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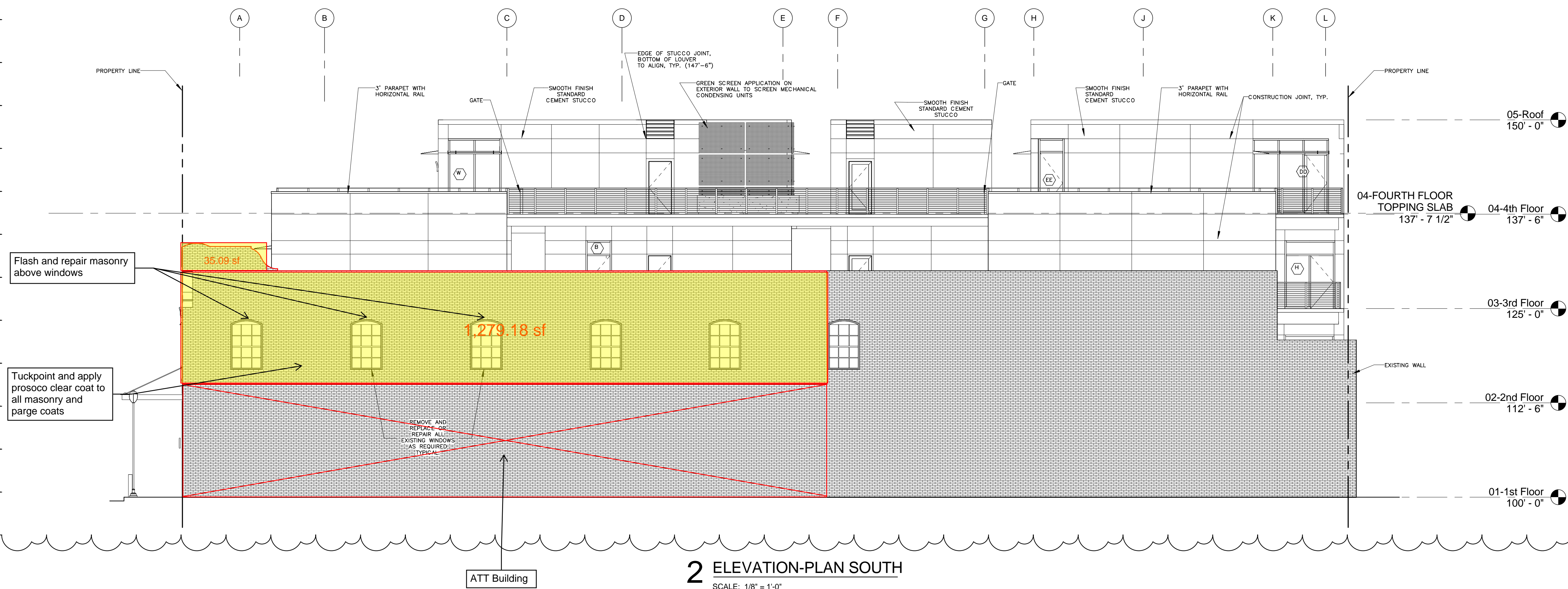
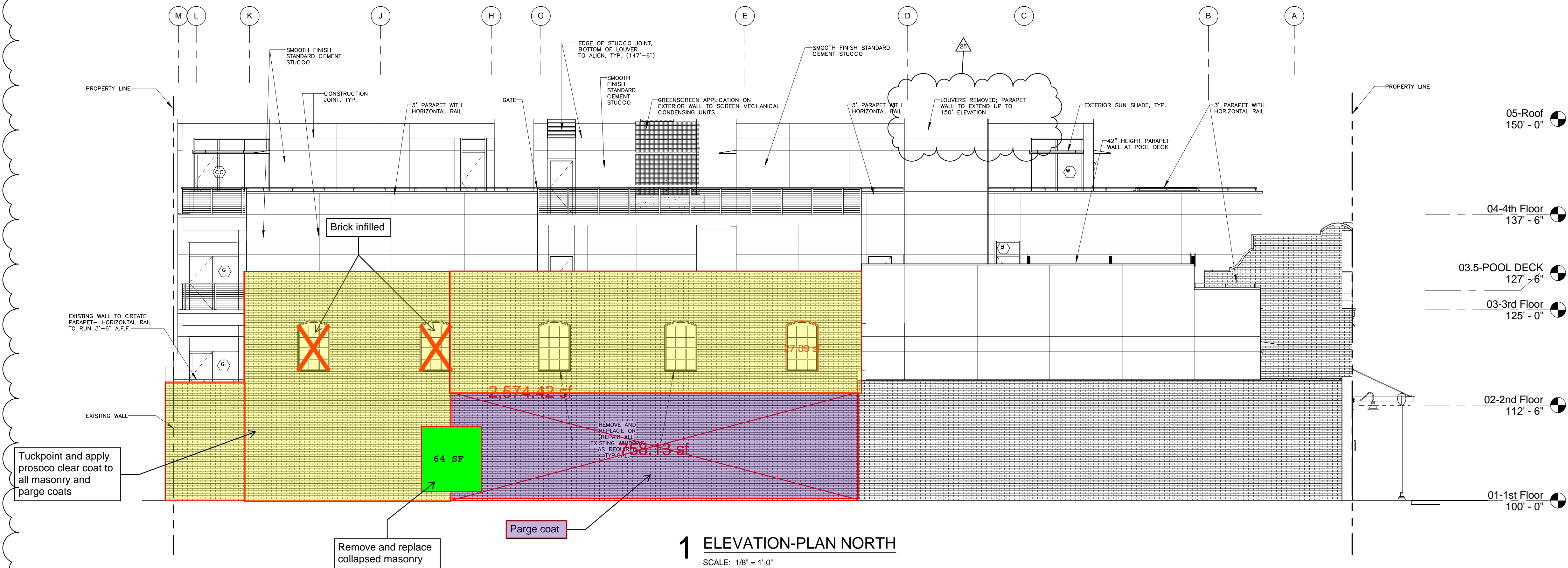


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Architectural Remediation
Fourth Floor Plan

AR-104



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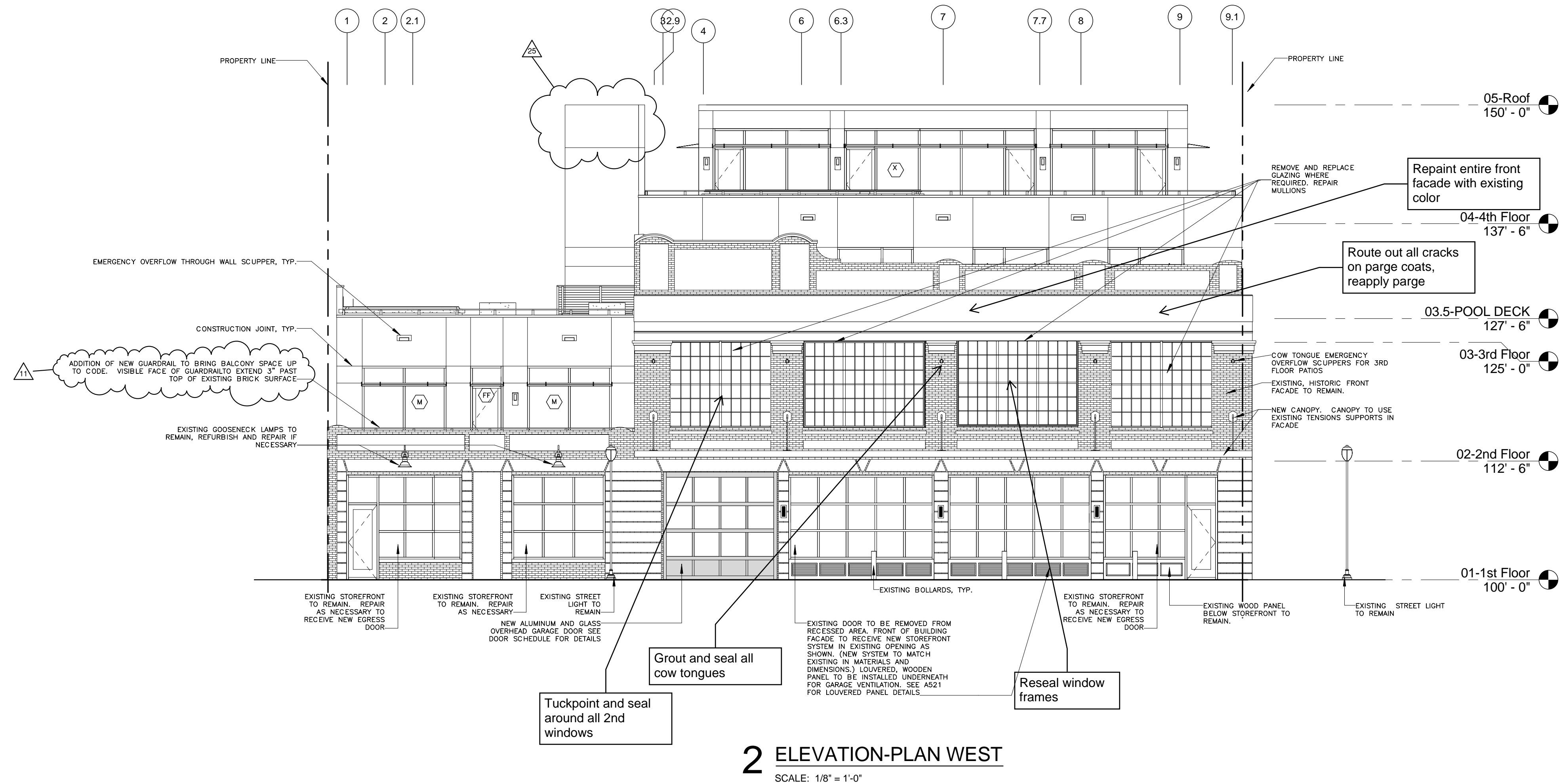
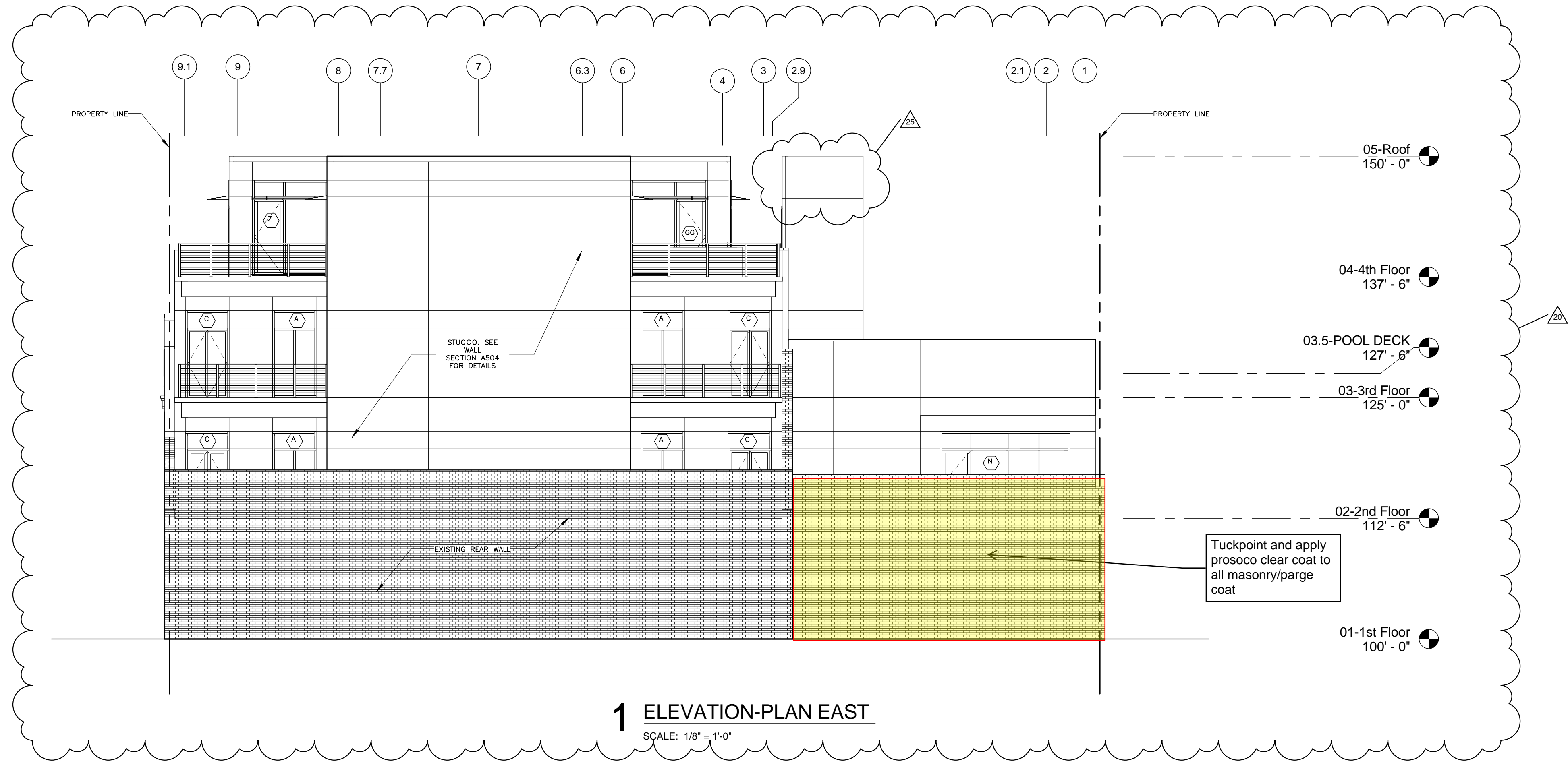


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Architectural Remediation
Exterior Elevations

AR-105



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Architectural Remediation
Exterior Elevations

AR-106