



August 7, 2021

Central Claims Service
3212 16th Street
Metairie, LA
Attn: Dave Costa

Ref: 2815 Frenchmen LLC
2815 Frenchmen St.
New Orleans, LA
Claim # MU00179
VECO# 221235

Dear Mr. Costa,

Complying with your assignment we performed an inspection at the above referenced location on August 4, 2021. The purpose of our inspection was to determine the extent of structural damage in this building from a recent fire.

Description

The main building structure was a large commercial warehouse with masonry structural walls and wood roof framing. Constructed on the interior of this warehouse was another building used as a tasting room and offices for the Old New Orleans Rum Distillery. This structure consisted of conventional wood frame construction partially supported by the concrete block firewall and a steel beam at the front elevation. The construction of the interior shell building was of conventional wood frame construction. The bottom floor of the shell building was used as a tasting room for the distillery and the upstairs level was used for offices.

Background

As we understand it, a fire originated in the tasting room electrical outlet on May 21, 2021. The fire department was dispatched relatively quickly and extinguished the fire before substantial spread occurred. We understand that some hand sanitizer (100% alcohol) had been stored in the tasting room and a case of the hand sanitizer may have ignited and accelerated the fire.

Observations

At the time of our inspection, we arrived at the property and the entry door was locked. The owner arrived and did not have a key to the lock and a locksmith was called. After approximately 1 hour, a locksmith arrived, drilled out the lock, and we gained access to the interior. We inspected the exterior of the building and noted no indication of substantial fire damage on the building exterior. This was a relatively old structure used as a manufacturing facility for rum. The exterior load bearing walls were brick masonry supporting the interior roof structure. There was a concrete masonry unit firewall between this warehouse structure and an adjacent metal fabrication company warehouse.

We examined the interior of the shell building in the area of the fire origin. This was a structure built inside of the main warehouse and used for offices and a tasting room. We noted the fire originated at the wall between the entry foyer and tasting room. We noted the ceiling in this area consisted of 2x10 joists supporting the 2nd floor office. We noted charring of the 2x10 joists from the front wall to an intermediate support beam which was located approximately 14 feet back from the front wall. This support beam consisted of a triple 2x10 supported by steel column posts. These beams also showed evidence of charring and loss of structural integrity. We also noted joists which spanned from left to right (parallel to the entry door) from the left side lobby wall to the tasting room ceiling, supported by another structural beam. These joists also showed evidence of charring, particularly from the right side lobby wall to the tasting room. During our inspection, we pointed out to both the onsite adjusters and the building owners which joists and framing components of the ceiling would be slated for replacement due to charring and fire damage.

We inspected the second floor. We noted no indication of fire damage to the walls or ceiling framing in this area. The finished flooring was painted plywood which showed no evidence of charring from above but visible charring damage from below will necessitate removal and replacement of both the subflooring and finished flooring in the office and a portion of the sitting room on the second floor. We also noted some evidence of termite damage in the charred ceiling joists but the fire damage was substantial and would necessitate replacement of the joists.

Conclusions

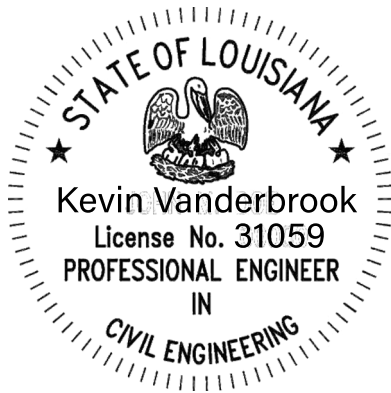
Based on our observations and understanding of the circumstances we arrived at the following conclusions:

1. Structural damage from the fire was limited primarily to the ceiling joists in a limited area of the tasting room and the subflooring on top of the joists. We recommended removal of the ceiling joists which run perpendicular to the front wall from the front wall to the bathroom support beam.
2. In addition to the joists mentioned above, joists which run parallel to the front wall from the front door to a distance of approximately 8 feet back from the entry to the tasting room will also require replacement due to charring and fire damage.
3. The beam which runs parallel to the front wall at the bathroom requires replacement as a result of fire damage. Temporary support of joists behind this beam will be required. These joists also support the upstairs office wall and a temporary wall will support these joists and wall while the beam and front joists are replaced.
4. The subflooring and flooring in the upstairs office and a portion of the sitting room will require replacement due to fire damage. These areas were outlined and delineated during our onsite inspection with both the owner and adjusters.
5. Removal and replacement of the damaged floor joists and subflooring will not require removal of the entire second floor of the shell structure. Many portions of the upstairs section can be left in place while the fire damage structural components are replaced. It is also possible to remove and replace the components on a piece by piece basis (removing one damaged component and immediately replacing with a new component) which would not require as much shoring or temporary wall construction.

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Opinion

It is our opinion that the structural damage from the fire was contained primarily to ceiling joists, subflooring, and finished flooring as outlined above. These components can be replaced without a complete demolition replacement of the interior shell building.



Respectfully submitted,

A handwritten signature of Kevin Vanderbrook in black ink, written in a cursive style.

VECO Consulting, LLC
Kevin Vanderbrook, P.E.



View of interior shell structure containing office and tasting room



View of interior shell structure containing office and tasting room



Left rear corner of shell building



View of joists over front entry area which extend into tasting room ceiling



View of charred ceiling joists in tasting room



View of charred joist at front



Smoke staining to rafters at rear of tasting room which were undamaged



Smoke staining to rafters at rear of tasting room which were undamaged



Beam supporting joists in rear of tasting room was undamaged



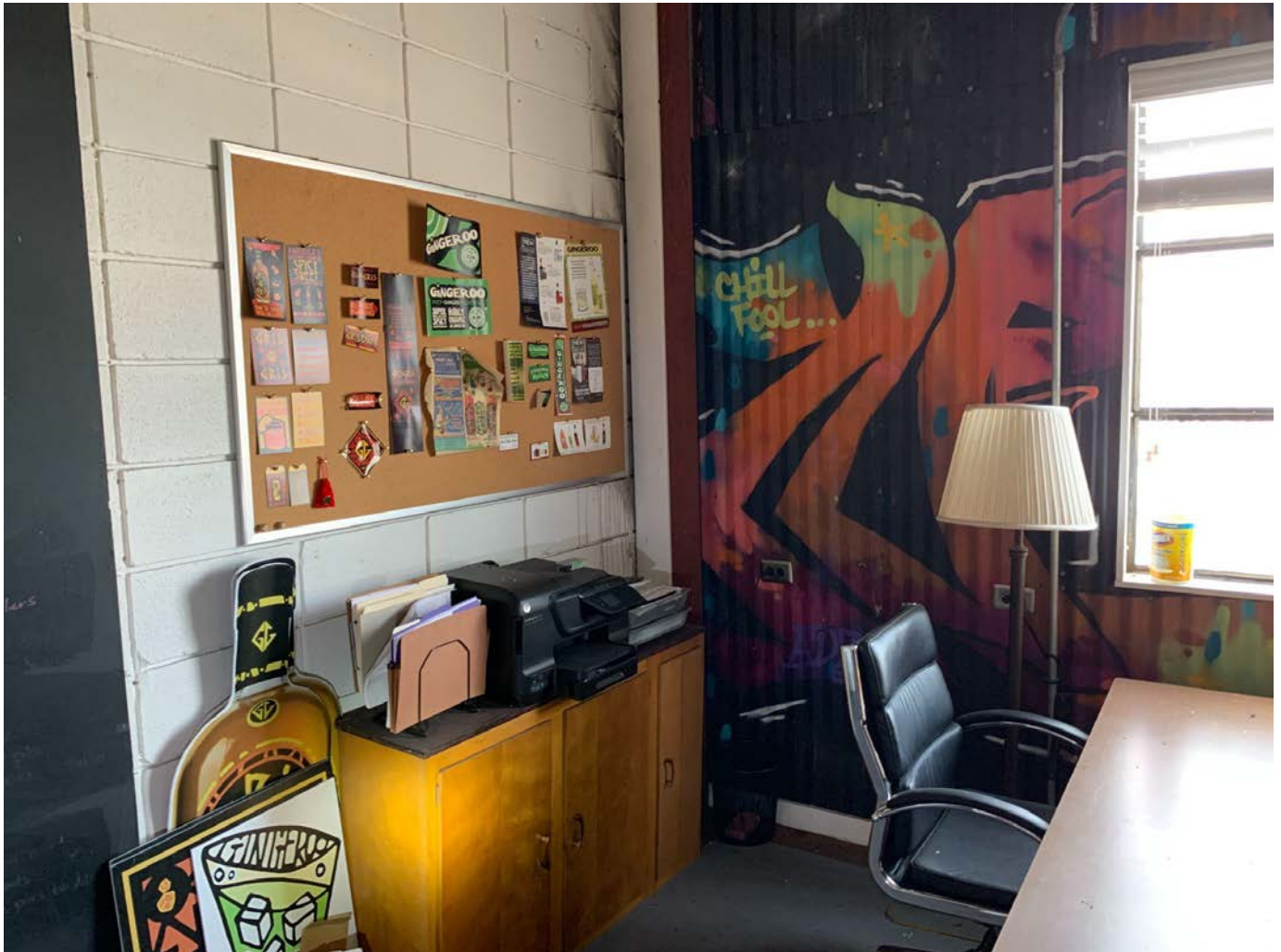
Charred ceiling joist with old termite damage



Charred subflooring, joists and termite damage



View of sitting room on second floor



Overall view of office area



Front view of building



Left front corner of warehouse building



Veco Consulting LLC
71 Iris Drive
Covington, LA 70433 US
(985)898-3515
kevin@vecoconsulting.com

Invoice

BILL TO

Central Claims
P.O. Box 7722
Metairie, LA 70010

| INVOICE # | DATE | TOTAL DUE | DUE DATE | TERMS | ENCLOSED |
|-----------|------------|------------|------------|--------|----------|
| 218955 | 08/07/2021 | \$2,221.25 | 09/06/2021 | Net 30 | |

JOB NAME

2815 Frenchmen LLC

LOCATION

New Orleans, LA

CLAIM NUMBER

MU00179

| ACTIVITY | QTY | RATE | AMOUNT |
|---|------|--------|----------|
| Engineering Fees:Kevin Vanderbrook Field Hours | 4.25 | 330.00 | 1,402.50 |
| Engineering Fees:Kevin Vanderbrook Report Hours | 2 | 330.00 | 660.00 |
| Expenses:Mileage:Mileage - KV Mileage | 100 | 0.65 | 65.00 |
| Expenses:Photo Prints Photos | 15 | 1.25 | 18.75 |
| Expenses:Steno Steno | 3 | 25.00 | 75.00 |

VECO Tax ID# 20-2044757

BALANCE DUE

\$2,221.25

For Professional services rendered in: Inspection and Report