GENERAL CONSTRUCTION NOTES:

1. All utilities information is based on the best available information. The contractor shall verify exact utility location prior to any demolition or construction. Contractor shall call *Louisiana One Call* system prior to any construction. Any conflict or discrepancy discovered must be immediately brought to the engineer of record's attention.
2. The contractor shall be fully responsible for any damage to the existing public or private utility lines, including but not limited to water lines, wastewater collection systems, and storm sewers. All damages shall be repaired in accordance with the New Orleans Sewerage and Water Board standard specifications, with no cost to the city of New Orleans, or owner.
3. Any damage to any of the existing pavement and/or utilities must be repaired immediately. The contractor must notify the appropriate utility owner, who will make the repairs at the contractor's expense.
4. The contractor, on behalf of the owner, is to obtain all permits required by the city of New Orleans.
5. Guidelines set forth in the federal manual on uniform traffic control devices, as currently mended, shall be observed. The contractor shall be responsible for providing adequate flagmen, signing, striping, warning devices, etc. during construction - both day and night.
6. All pipe and reinforcement steel shall be kept free of dirt and other debris. Any damage to the coating of the various material must be repaired.
7. Access to all existing streets and driveways shall be maintained at all times.
8. The contractor is required to follow all applicable OSHA rules and regulations.
9. Surface restoration: at the end of all construction projects. The contractor shall restore the existing facilities, i.e., the property, equal to or better than existing site conditions prior to construction.
10. Trench backfill for utilities shall be compacted to at least 95% of maximum density per ASTM -698. Moisture content shall be within 3% of optimum. Lifts shall be 6-inch maximum, measured loose.
11. Material to conform to materials specifications.
12. For new drainage outfall line connection to existing city drainage lines, see city general notes SWB 7260-D. For new drainage outfall line connections to existing city catch basins/culverts see city general note SWB 8175-SD.
13. All drainage systems to be cleaned/flushed out prior to close out and turn over to ownership. All debris should be removed to ensure a clean system without clogs is in place.
14. All drainage openings to have covers before and during construction to keep excess debris from entering the system. If the system intends to be used prior to completions of construction/renovations, GC to place erosion barriers around system openings to keep debris from entering the system.

DEMOLITION NOTES:

1. Existing utilities shall be protected throughout the demolition process.
2. Trees to remain unless otherwise noted. Trees are to be protected at all times throughout demolition and construction.
3. Contractor to create and abide by an erosion and sedimentation management plan that meets the EPA construction management plan.

STREET AND RIGHT-OF-WAY NOTES:

1. Utility contractor shall provide temporary silt barrier fence on all non-curb inlets, which will remain in place after underground contract is complete.
2. Condition of the road and/or right-of-way, upon completion of job, shall be as good as or better than the condition prior to starting work.
3. Adequate drainage shall be maintained at all times during construction and any drainage ditch or structure disturbed during construction, shall be restored to the satisfaction of the owning authority by the contractor.
4. Contractor to take necessary precautions to protect root systems of shrubs, plants and trees along the area of excavation.
5. Establish and maintain all control points and bench marks necessary for the work.
6. Where a state or local municipal standard detail duplicates a detail shown in the plans, the more stringent detail, as determined by the reviewing agency, shall apply.

STORM SEWER CONSTRUCTION NOTES:

1. Storm sewer pipe shall be type "S" corrugated high density polyethylene pipe (HDPE) smooth flow, schedule 40 PVC or reinforced concrete pipe (c-76, class iii or v) as noted on plans.
2. All storm sewer trenches shall be backfilled with engineered fill material
3. All existing catch basins and storm sewer lines shall be inspected and cleared of debris. If an existing drain or drain line is found to be damaged or unserviceable the engineer is to be notified.
4. Contractor shall provide 12" minimum clearance at sewer and water line crossings.
5. When the top of curb elevation or bottom of pavement slab is above natural ground, the contractor shall backfill from the natural ground to top of curb in layers, not exceeding 6 inches in depth and each layer compacted to not less than 95 % standard proctor density and shall fill from curb to edge of tree line.
6. The contractor shall be responsible for protecting, maintaining, and restoring any back slope drainage systems disturbed as a result of his work.

PARKING AND TRAFFIC CONTROL NOTES:

1. Handicap accessible parking spaces shall conform to the requirements of the Americans with Disabilities Act (ADA) of 2010 unless otherwise noted.
2. All limits of pavement to be curbed unless noted or detailed otherwise.
3. All standard parking spaces to be 8 feet 6 inches in width by 18 feet in length unless noted or detailed otherwise.
4. All pavement striping to be painted with 2 coats of paint 4" wide. refer to site plan, sheet CXXX for striping layout.
5. Refer to architectural/building plans for exact location and dimensions of exit porches, ramps, truck docks, precise building dimensions, and exact utility entrance locations.
6. Refer to architectural/building plans for location of handicap signage.

PAVEMENT NOTES:

1. Paving subgrade shall be 6'" thick, engineered fill, compacted to 95% of maximum density per ASTM D-698. Moisture content shall be within 3% of optimum.
2. Concrete sidewalks shall be 4" thick reinforced with 6x6 welded wire fabric (WWF).
3. The new pavement shall be finished to match the surrounding pavement.
4. Joints or score marks are to be sharp and clean without showing edges of jointing tool.
5. Saw-cut tie-ins at existing curbs as necessary to insure smooth transitions. Contractor shall saw-cut and transition to meet existing pavement as necessary and as directed by inspector to ensure positive drainage. (typical all intersections).
6. Concrete paving expansion joints are to be located at a maximum of 20'-0".
7. All concrete to be 4,000 psi compressive strength at 28-days unless otherwise noted.

ENERGY NOTES:

WARNING: OVERHEAD ELECTRICAL FACILITIES

Overhead lines may exist on the property. We have not attempted to mark those lines since they are clearly visible, but you should locate them prior to beginning any construction.
Contractor is responsible for the safety of construction workers.
To arrange for lines to be turned off or removed, call Entergy of New Orleans.

CAUTION: UNDERGROUND GAS FACILITIES

Locations of Entergy main lines are shown in an approximate location only.
Service lines are usually not shown. Our signature on these plans only indicates that our facilities are shown in approximate location. It does not imply that a conflict analysis has been made.
The contractor shall coordinate construction with local utilities. The contractor is fully responsible for any damages caused by the contractor's failure to exactly locate and preserve these underground facilities.

CIVIL ANNOTATIONS

MARK	DEFINE
BOC	BOTTOM OR CURB
TOC	TOP OF CURB
BOW	BOTTOM OF WALL
TOW	TOP OF WALL
TOR	TOP OF RAMP
VIF	VERIFY IN FIELD
RIM	RIME ELEVATION
BOS	BOTTOM OF STAIR
BOR	BOTTOM OF RAMP
TOD	TOP OF DRAIN
EJ	EXPANSION JOINT
CJ	CONTROL JOINT
IJ	ISOLATION JOINT
MH	MAN HOLE
S	SEWER
G	GAS
W	WATER
D	DRAINAGE
WV	WATER VALVE
WM	WATER METER
	EXITING CATCH BASIN
SC	SMALL CAR PARKING
HC	HANDICAPPED ACCESSIBLE PARKING
	DIRECTION OF VEHICULAR CIRCULATION
— G —	GAS LINE
	CATCH BASIN
	POWER LINE
C.O.	CLEAN OUT

Civil Drawing List

Sheet Number	Sheet Name	Current Revision	Current Revision Date	Current Revision Description
C000	Civil General Notes			
C100.0	Survey			
C100.1	Exisitng Site Plan			
C101	New Site Plan			
C102	Drainage Plan			
C201	Civil Details 1			
C202	Civil Details 2			
C203	Civil Details 3			
C204	Civil Details 4			

STATE OF LOUISIANA
JOHANN L. PALACIOS
License No. 31315
PROFESSIONAL ENGINEER
IN
CIVIL ENGINEERING

09/29/2021

NO	REVISION	DATE

Permit Set 9/28/2021

Restoration and Renovation of:

747 St. Charles Ave.
New Orleans, LA 70130

20070 JOB NO

Civil General Notes TITLE

12" = 1'-0" SCALE

LDS /JP DRAWN/CHK

C000

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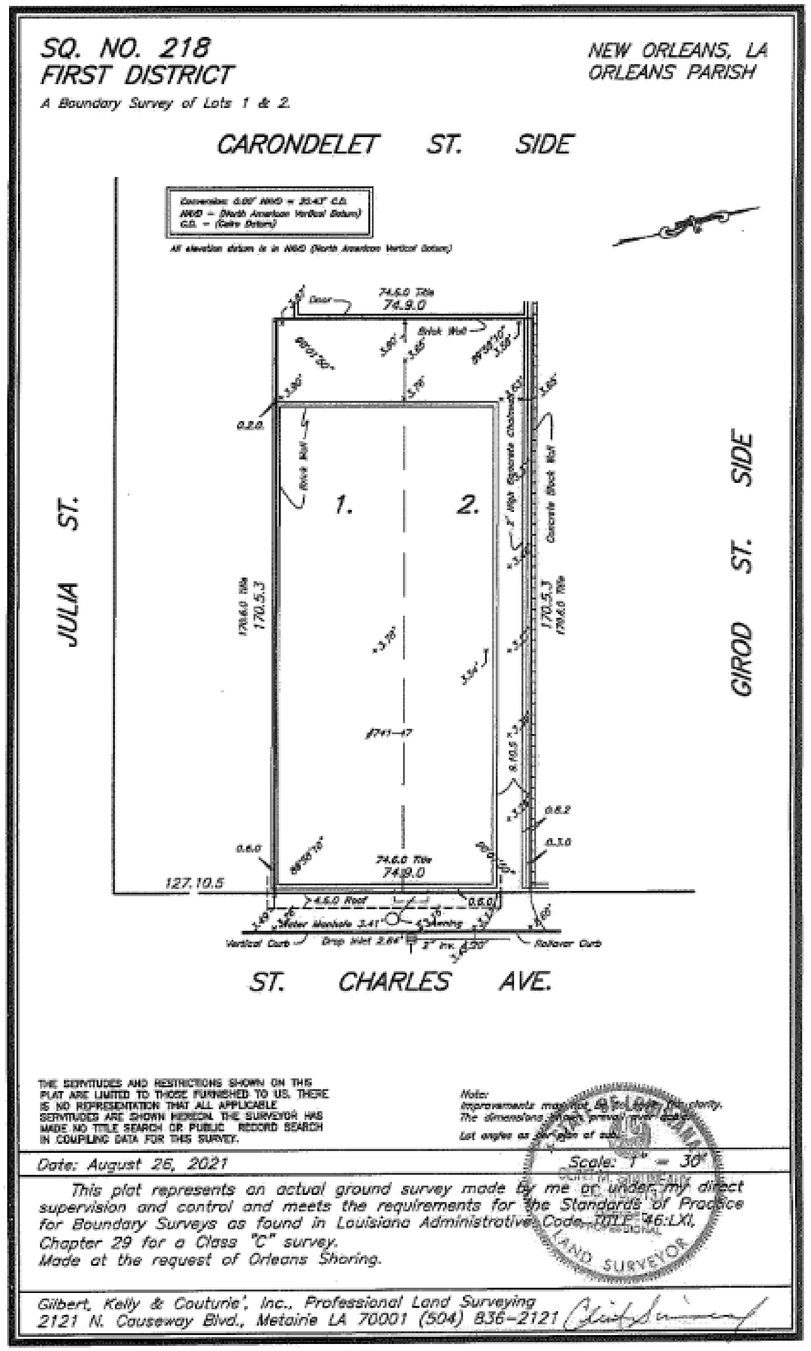

1 Survey
C100.0 3/16" = 1'-0"

UTILITY NOTES:

1. UTILITY EXCAVATIONS SHALL CONFORM TO THE CURRENT OSHA EXCAVATION AND TRENCH SAFETY STANDARDS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST ORLEANS PARISH UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
3. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE ENCOUTERED, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY FOR DIRECTIONS.
4. CONTRACTOR SHALL COORDINATE ANY INTERRUPTIONS OF UTILITY SERVICE WITH OWNER AND UTILITY COMPANY.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION, AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE CITY UTILITY DEPARTMENT FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
6. ANY PLANNED INTERUPPTION OF UTILITY SERVICE SHALL BE GIVEN A 48 HOUR NOTICE TO THE UTILITY COMPAY AND THE OWNER.
7. THE LOCATIONS OF UNDERGROUND AND OTHER NON-VISIBLE UTILITIES SHOWN HERON HAVE BEEN PLOTTED BASED UPON DATA EITHER FURNISHED BY AGENCIES CONTROLLING SUCH DATA AND/OR OBTAINED FROM RECORDS MADE AVAILABLE TO USE BY THE AGENCIES CONTROLLING SUCH RECORDS.
8. EACH AGENCY SHALL BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATIONS PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON. PRIOR TO EXCAVATION AND DIGGING CALL LOUISIANA ONE CALL (#811).
9. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES.
10. CONTRACTOR MUST FIELD VERIFY ALL EXISTING DRAINAGE & SEWER INVERTS. NOTIFY THE ENGINEER OF RECORD OF ANY PROBLEMS BEFORE CONSTRUCTION BEGINS.
11. CONTRACTOR TO COORDINATE SEWER AND WATER CONNECTIONS WITH THE SEWERAGE AND WATER BOARD OF NEW ORLEANS.

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20070 JOB NO

Survey TITLE

As indicated SCALE

LDS /JP DRAWN/CHK

C100.0

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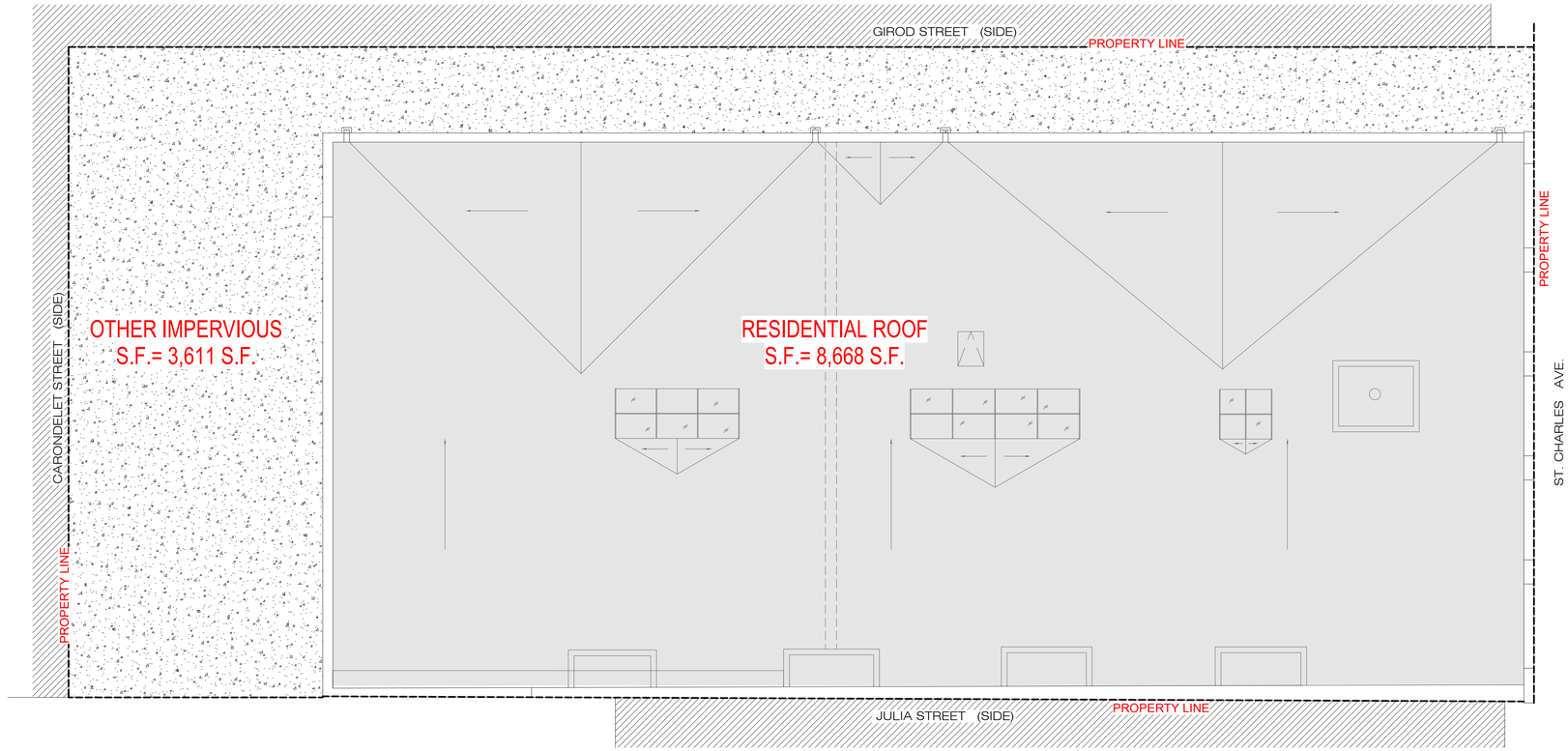
MATERIAL LEGEND:

1. -DENOTES EXISTING RESIDENTIAL ROOF.
2. -DENOTES EXISTING OTHER IMPERVIOUS PAVEMENT.

PRE-DEVELOPMENT DRAINAGE AREA 1 TOTAL AREAS :

1. COMMERICIAL ROOF **TOTAL S.F.= 8,668 S.F.**
2. OTHER IMPERVIOUS PAVEMENT **TOTAL S.F.= 3,611 S.F.**



1 Existing Site Plan
C100.1 1/8" = 1'-0"

STATE OF LOUISIANA
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20070	JOB NO
Exisitng Site Plan	TITLE
As indicated	SCALE
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C100.1

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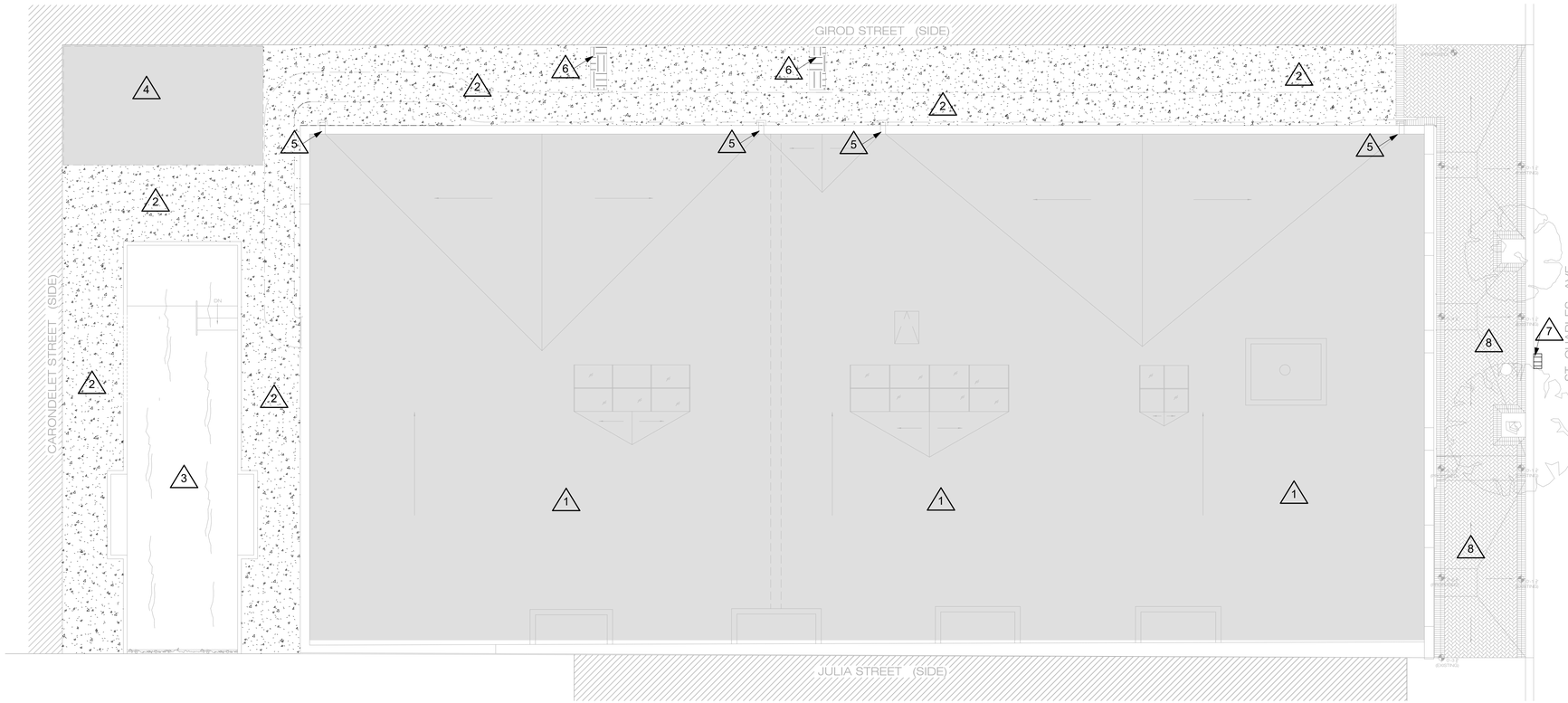
NEW SITE PLAN LEGEND:

1. DENOTES EXISTING COMMERCIAL ROOF.
2. DENOTES REFINISH CONCRETE PAVEMENT.
3. DENOTES NEW OUTDOOR POOL.
4. DENOTES NEW COVER SITTING AREA.
5. DENOTES DOWNSPOUD LOCATION.
6. DENOTES NEW LANDSPACE ISLAND LOCATION.
7. DENOTES EXISTING CATCH BASIN.
8. DENOTES EXISTING SIDEWALK, REPAIR TO CITY SPECIFICATIONS IF REQUIRED.

MATERIAL LEGEND:

1. -DENOTES NEW COMMERCIAL/RESIDENTIAL ROOF.
2. -DENOTES NEW LANDSCAPE AREAS. SEE LA PLANS.
3. -DENOTES NEW CONCRETE PAVEMENT.



1 New Site Plan
C101 1/8" = 1'-0"

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New Site Plan TITLE

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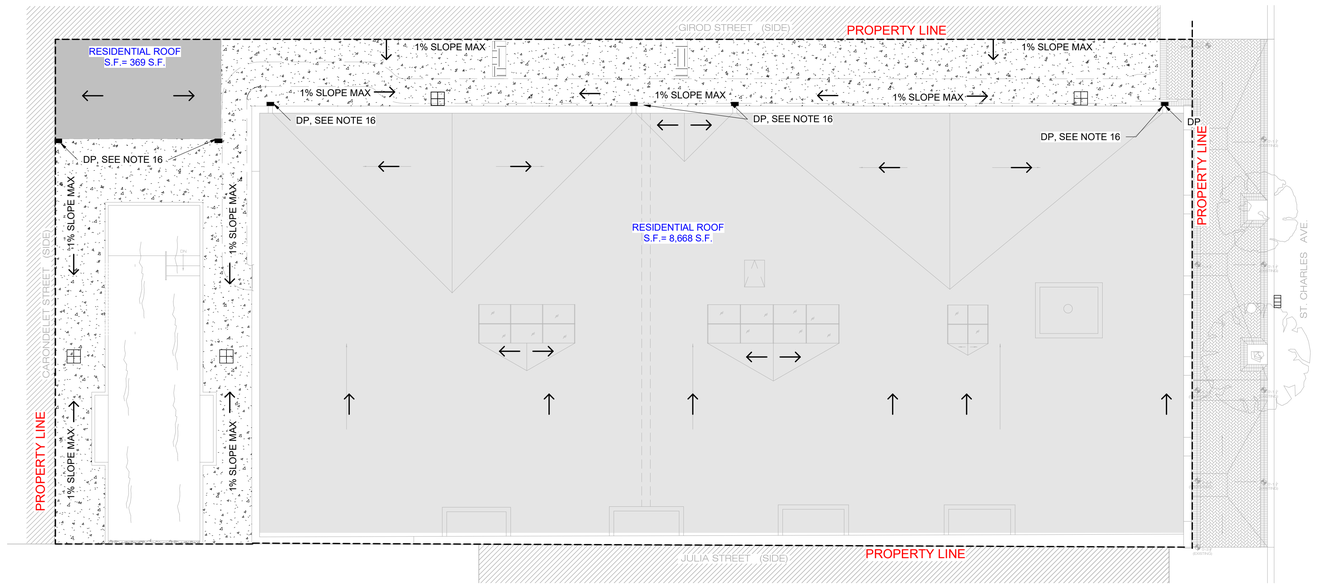
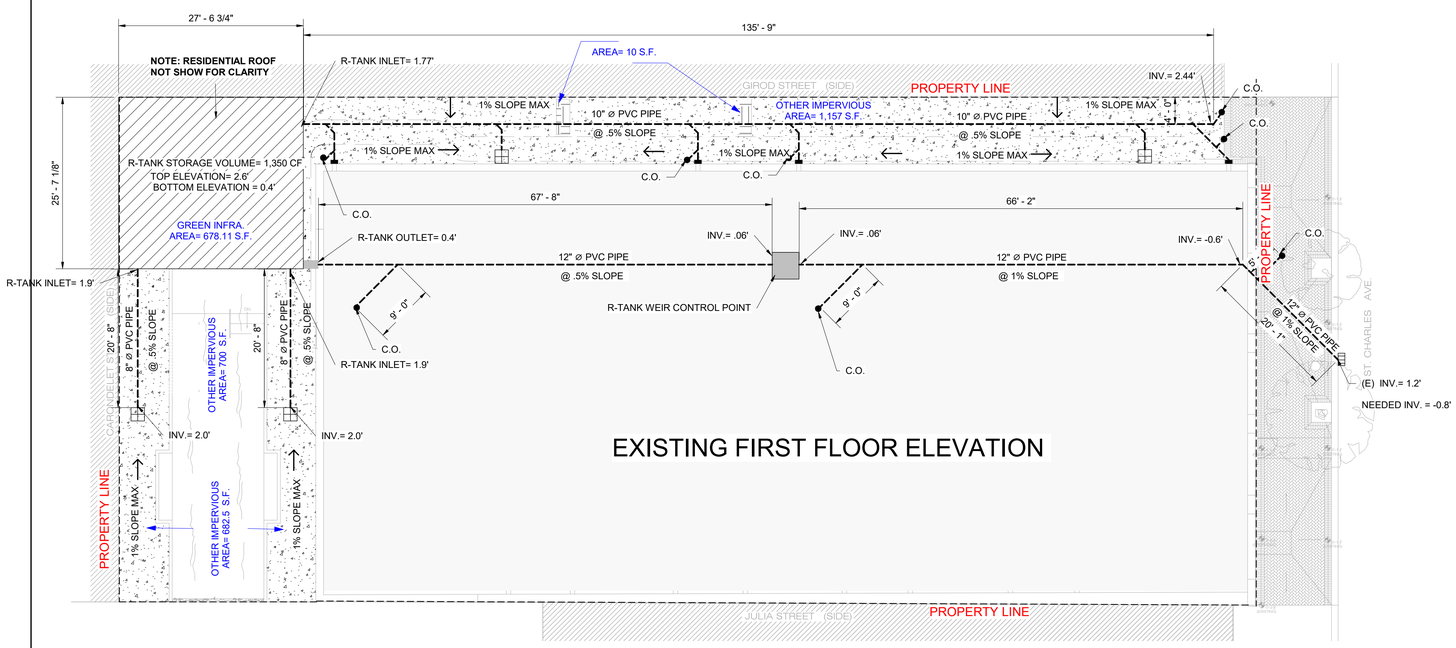


1 Roof Drainage Plan
C102 3/32" = 1'-0"



2 Drainage Plan
C102 3/32" = 1'-0"

DRAINAGE PLAN NOTES:

1. SEE PAVING PLAN FOR ELEVATIONS AND SLOPES OF PAVING.
2. SEE ARCH. PLANS FOR FINISHED FLOOR ELEVATIONS.
3. SEE DRAWING C00 FOR GENERAL NOTES.
4. SEE DRAWINGS C200S FOR TYPICAL DETAILS.
5. COORDINATE ALL NEW AND EXISTING UNDERGROUND UTILITIES WITH FOUNDATIONS AND SUBMIT ALL-PURPOSED SLEEVE LOCATIONS TO ARCH/ENG FOR REVIEW.
6. REFER TO CIVIL SPECIFICATIONS, GENERAL NOTES, AND SCHEDULES FOR OTHER INFORMATION NOT SHOWN.
7. ALL PIPE CONNECTIONS TO BE AT 45 DEGREES.
8. -DENOTES 24' X 24' CATCH BASIN.
9. - DENOTES DOWNSPOUT LOCATIONS. COORD. DOWNSPOUT LOCATIONS WITH ARCH AND MEP ON EXACT LOCATIONS OF ROOF.
10. SEE DRAINAGE PLAN FOR LOCATIONS OF PERFORATED PIPE.
11. SEE DRAINAGE PLAN FOR LOCATIONS OF SOLID PVC UNDERGROUND STORMWATER PIPE.
12. SEE L.A. PLANS FOR ALL LANDSCAPE INFORMATION.
13. SEE DRAINAGE PLAN FOR INVERT ELEVATIONS
14. DRAIN PIPE SLOPES SHALL REMAIN CONSISTENT THROUGH PIPE INTERSECTIONS.
15. SEE DRAINAGE PLAN FOR ALL DRAINAGE PIPES SLOPES.
16. THIS DOWNSPOUT LOCATION IS TO HAVE A SPLASH PAD FOR STORM WATER TO SHEET FLOW TO POWERBLOCK PERMEABLE PAVERS AREA.
17. THIS DOWNSPOUT LOCATION IS TO HAVE A DOWNSPOUT BOOT, SEE CIVIL DETAILS.

DRAINAGE AREA 1 LEGEND:

1. BLUE - WORDING DENOTES ALL AREAS CONTRIBUTING TO DRAINAGE AREA 1.

MATERIAL LEGEND:

1. -DENOTES NEW COMMERCIAL/RESIDENTIAL ROOF.
2. -DENOTES NEW LANDSCAPE AREAS. SEE LA PLANS.
3. -DENOTES NEW CONCRETE PAVEMENT.

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20070	JOB NO
Drainage Plan	TITLE
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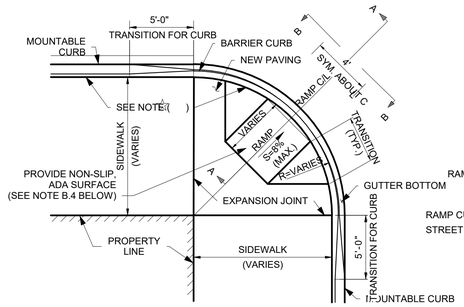
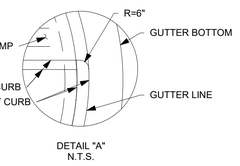
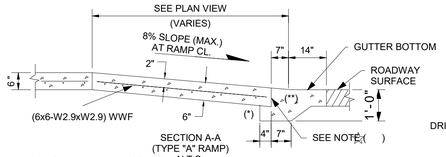


CONCRETE HANDICAPPED RAMP
TYPE "A"
N.T.S.

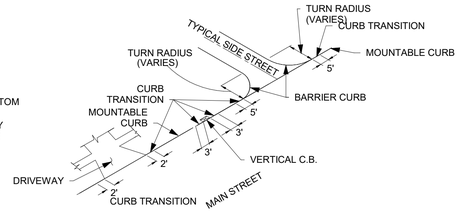


DETAIL "A"
N.T.S.

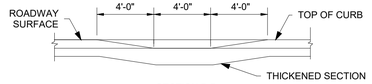


SECTION A-A
(TYPE "A" RAMP)
N.T.S.

(*) DOWELED EXPANSION JOINT MAY BE USED AS ALTERNATE OF KEYWAY (SEE SECTION E-E, STD'D)
(**) SEE CURB DETAILS FOR REINFORCEMENT



LOCATIONS OF CURB TRANSITION
N.T.S



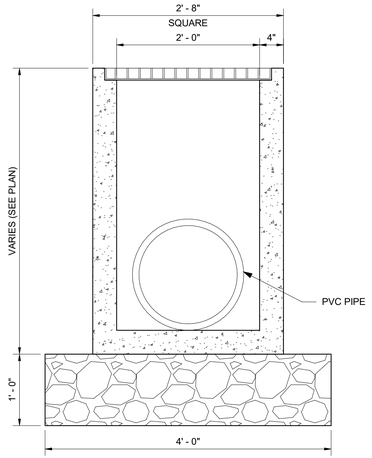
SECTION B-B
N.T.S

CONSTRUCTION NOTES:

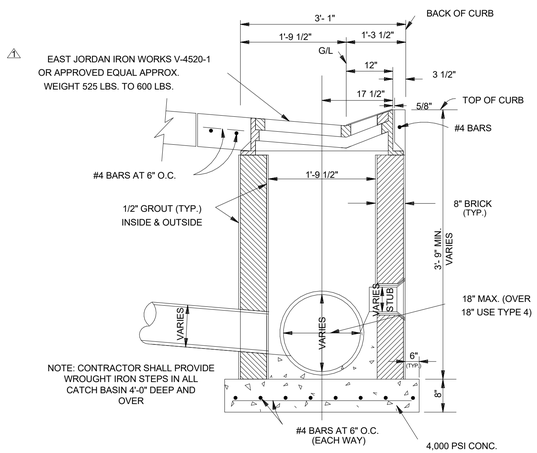
1. THE SLOPE OF THE RAMP SHALL NOT EXCEED 8%
2. THE SLOPE OF THE SIDEWALK AND SIDEWALK TRANSITION SHALL NOT EXCEED 8%
3. THE WIDTH OF THE RAMP SHALL NOT BE LESS THAN 4 FEET (1.2 M) BUT MAY EXCEED THIS WHERE NECESSARY.
4. SURFACE TEXTURE OF THE CONCRETE RAMP SHALL BE COMPILED WITH THE LATEST EDITION OF ADA REGULATIONS.

(☆) EXPANSION JOINT IS REQUIRED WHERE THE ENTIRE SLAB IS INVOLVED.

1 TYPICAL DETAIL
C201 ADA Ramp Detail

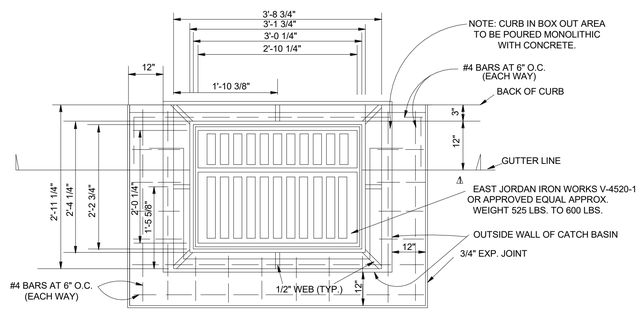


5 24"x24" Catch Basin
C201 1" = 1'-0"



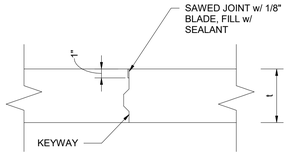
SIDE ELEVATION OF ROLLOVER
CATCH BASIN TYPE 2
N.T.S.

6 Catchbasin Detail
C201 3/4" = 1'-0"

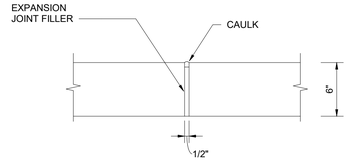


TYPE 2 CATCH BASIN
PLAN VIEW

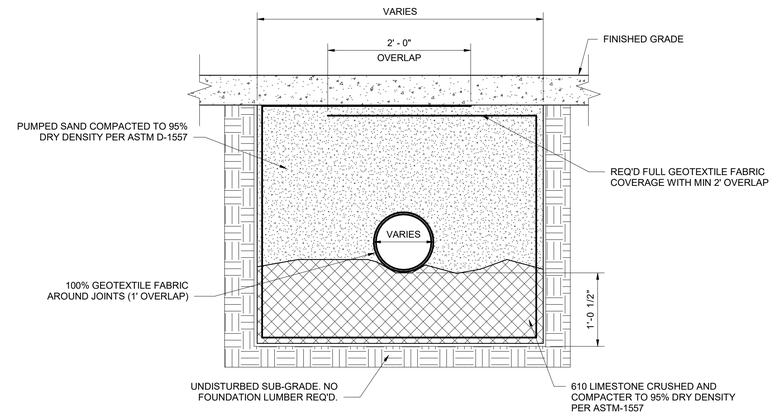
⚠NOTE :
ALL GREY IRON CASTINGS FOR MANHOLES, AND CATCH BASINS OF ALL TYPES SHALL CONFORM TO THE REQUIRMENTS OF A.S.T.M. A-48, CLASS 30. AND SHALL BE FURNISHED WITHOUT PAINT (AASHTO#M306-891)



3 Typical Control Joint
C201 1 1/2" = 1'-0"



4 Typical Expansion Joint Detail
C201 1 1/2" = 1'-0"



2 TYPICAL DETAIL
C201 Civil Drainage Trench Detail

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20070 JOB NO

Civil Details 1 TITLE

As indicated SCALE

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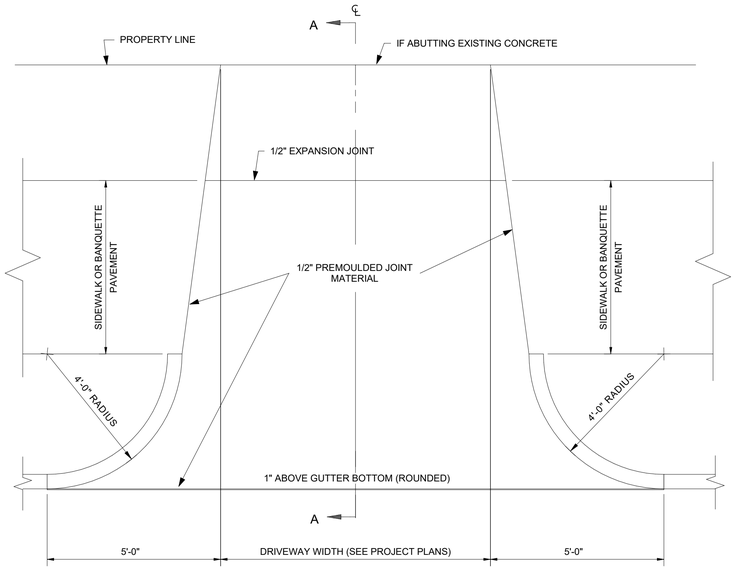
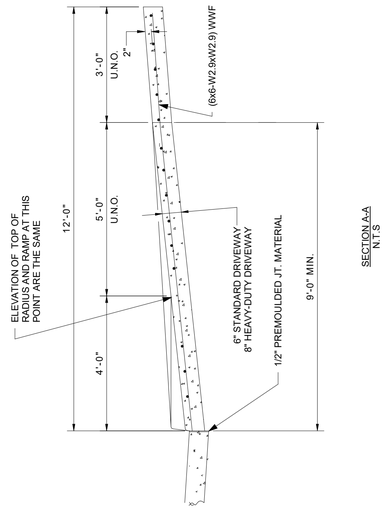
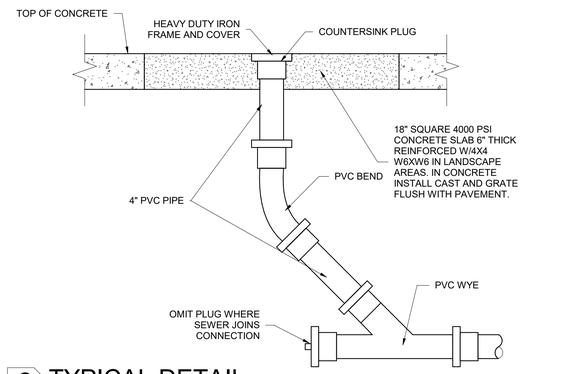




SECTION A-A
N.T.S

DETAIL OF STANDARD DRIVEWAY
FOR CONCRETE VERTICAL CURB

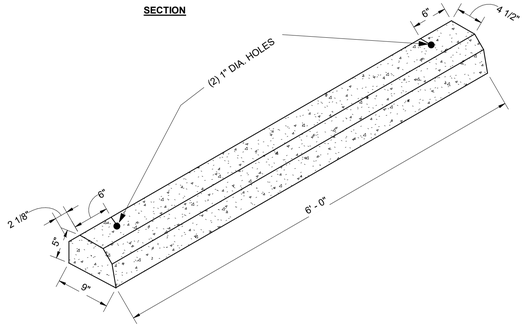
1 TYPICAL DETAIL
C202 Civil Driveway Details



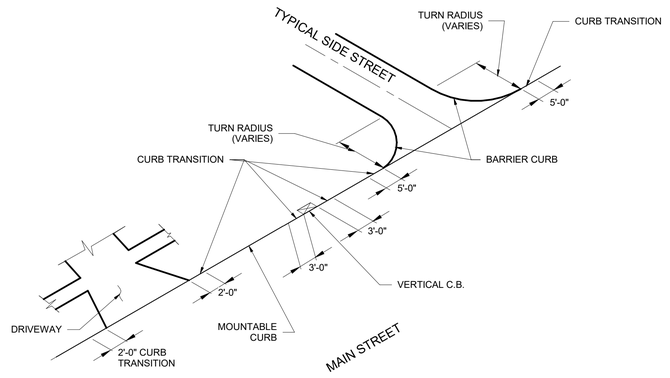
2 TYPICAL DETAIL
C202 Clean Out Detail

3 TYPICAL DETAIL
C202 Grate Detail-Top View

SECTION



4 Wheel Stop Typical Detail
C202 1" = 1'-0"



5 Typical Curb Cutout-Locations of Curb Transition
C202 1 1/2" = 1'-0"

STATE OF LOUISIANA
JOHANN L. PALACIOS
License No. 31315
PROFESSIONAL ENGINEER
IN
CIVIL ENGINEERING

09/29/2021

NO	REVISION	DATE

Permit Set 9/28/2021

Restoration and Renovation of:

747 St. Charles Ave.
New Orleans, LA 70130

20070 JOB NO

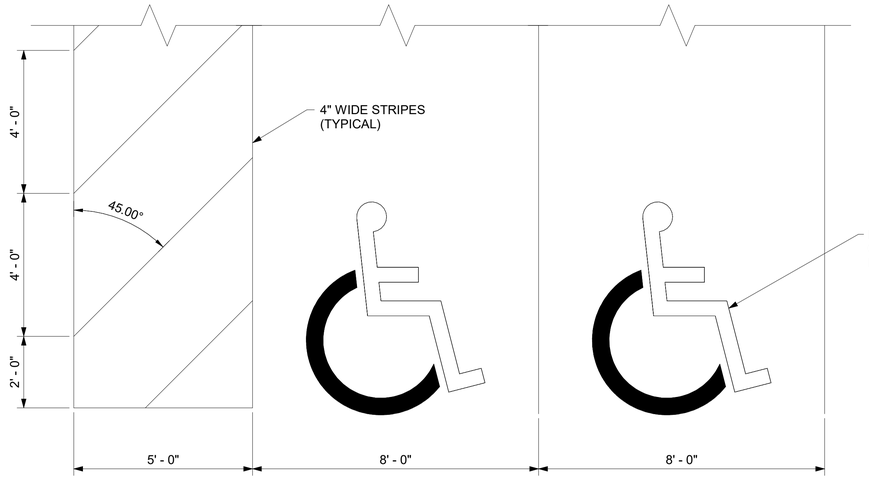
Civil Details 2 TITLE

As indicated SCALE

LDS /JP DRAWN/CHK

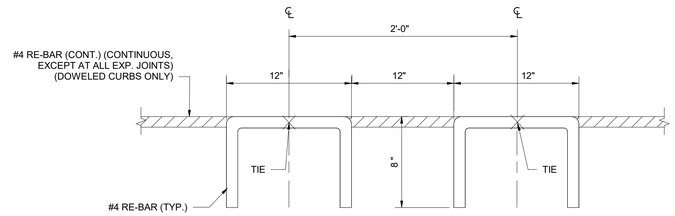
C202

PACE
GROUP LLC
CONSULTANTS AND ENGINEERS
400 S Norman C. Francis Pkwy,
New Orleans, LA 70119
(504) 208 3834
www.pacegroupllc.com



NOTE:
ALL DIMENSIONS ARE FROM CENTER TO CENTER OF STRIPING.

1 TYPICAL DETAIL
C203 Civil HC Striping

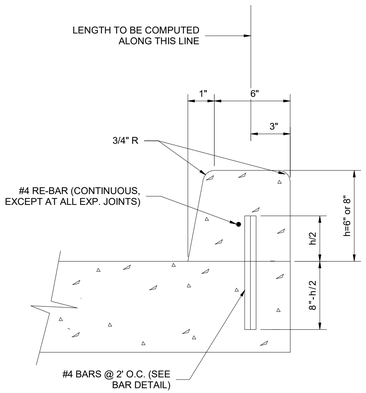


SHOWING DIMENSIONS AND SPACING OF #4 DEF. REINF.
STEEL BARS FOR CONC. CURB

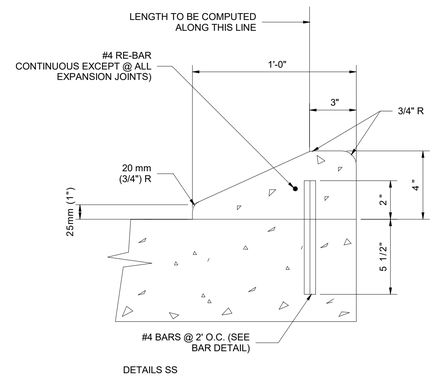
NOTE:

CURBS TO HAVE JOINTS AT 20' MAXIMUM INTERVALS

2 TYPICAL DETAIL
C203 Typical Curb Cutout-Bar Detail

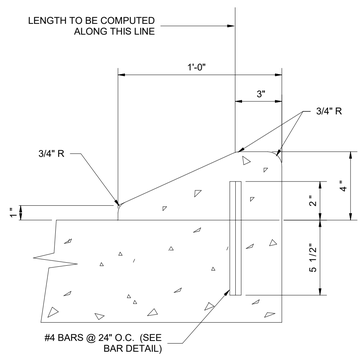


3 TYPICAL DETAIL
C203 Typical Curb Cutout-Doweled Barrier Curb



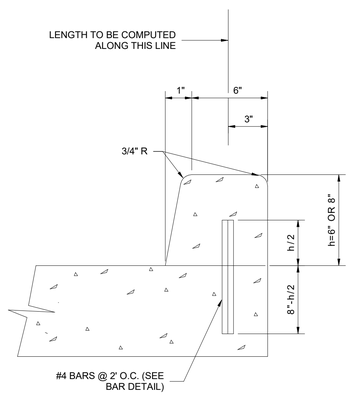
DETAILS SS

4 TYPICAL DETAIL
C203 Typical Curb Cutout-Doweled Mountable Curb

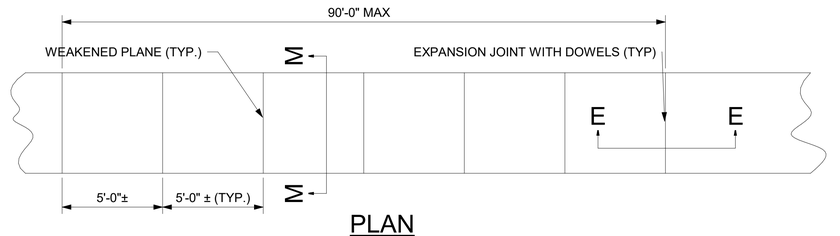


DETAILS MM

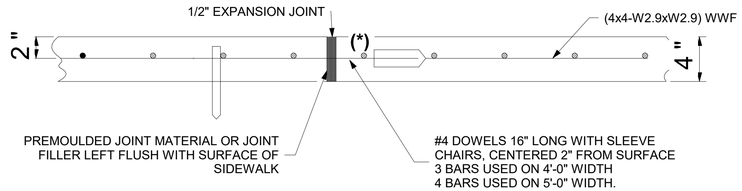
6 Typical Curb Cutout-Integral Mountable Curb
C203 1 1/2" = 1'-0"



7 Typical Curb Cutout-Integral Barrier Curb
C203 1 1/2" = 1'-0"

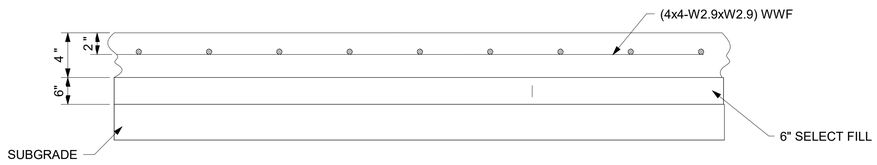


PLAN



SECTION E-E

(*) THIS HALF OF DOWEL SHALL BE GREASED



SECTION M-M

5 Civil Sidewalk
C203 3/4" = 1'-0"

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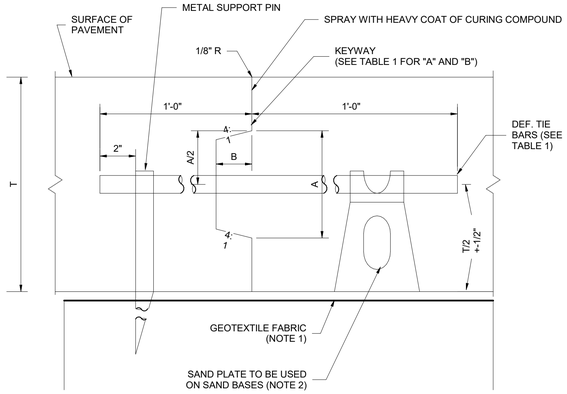


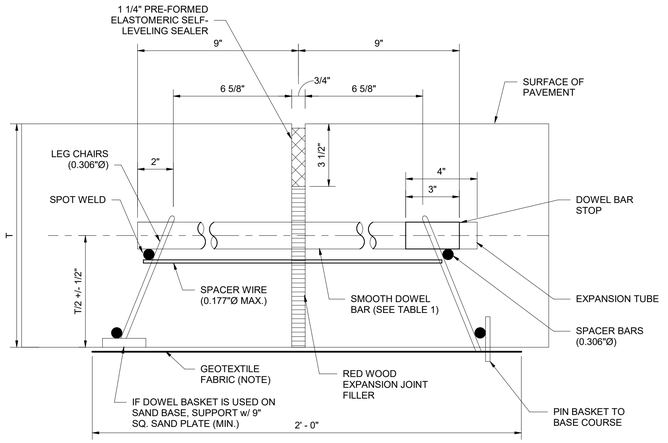
NOTE:

1. GEOTEXTILE FABRIC PLACED DIRECTLY OVER PREPARED BASE SHALL COMPLY WITH LA. D.O.T.D. STANDARD SPEC. SECTION 1019 (2006 OR LATEST EDITION)
2. SAND PLATES ARE TO BE USED ON BOTH SIDES OF THE JOINT ON SAND BASES. METAL SUPPORT PINS MAY BE USED ON BOTH SIDES OF THE JOINT IN OTHER AREAS.
3. IN LIEU OF THE KEYWAY ONE OF THE FOLLOWING OPTIONS WILL BE ALLOWED:
   A. INSTALL TIE BARS OF THE SIZE SHOWN IN TABLE 1 AT 1/2 SPACING.
   B. INSTALL TIE BARS 1/4" LARGER THAN THE DIAMETER SHOWN IN TABLE 1 AT THE SAME SPACING.

1 TYPICAL DETAIL
C204 Typical Longitudenal Construction Joint for Pavement (Type LCJ)

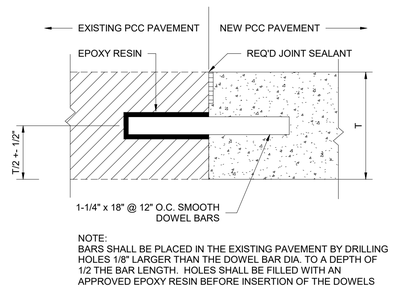
Table 1

PAVEMENT THICKNESS	SMOOTH DOWEL BARS			DEF. TIE BARS			MINIMUM DEPTH OF JOINT		KEYWAY	
T	SIZE	LENGTH	SPACING	SIZE	LENGTH	SPACING	TCJ & CJ ±1/4"	LJ ±1/4"	A ±1/4"	B ±1/4"
7" OR LESS	1	18"	12"	1/2"	24"	24"	2-1/2"	2-1/2"		
8"	1-1/4"	18"	12"	1/2"	24"	24"	3"	3"	2-1/2"	1-1/4"
9"	1-1/4"	18"	12"	1/2"	24"	24"	3"	3-1/2"	2-1/2"	1-1/4"
10"	1-1/2"	18"	12"	1/2"	24"	24"	3-1/2"	4"	2-1/2"	1-1/4"
11"	1-1/2"	18"	12"	5/8"	30"	24"	3-1/2"	4"	2-1/2"	1-1/4"
12"	1-1/2"	18"	12"	5/8"	30"	24"	4"	4-1/2"	3"	1-1/2"
13"	1-1/2"	18"	12"	5/8"	30"	24"	4"	4-1/2"	3"	1-1/2"
14"	1-1/2"	18"	12"	5/8"	30"	24"	4-1/2"	5"	3"	1-1/2"



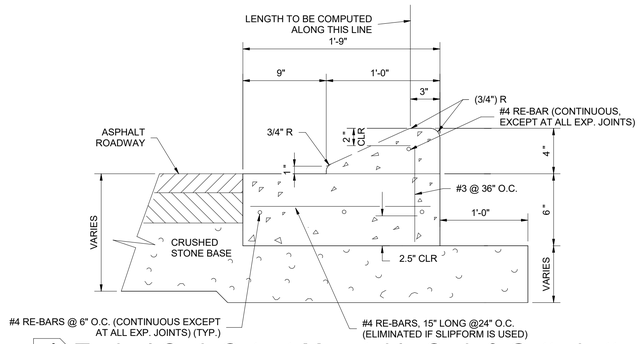
NOTE:
GEOTEXTILE FABRIC PLACED DIRECTLY OVER PREPARED BASE. FABRIC SHALL COMPLY WITH LA. D.O.T.D. STANDARD SPEC. SECTION 1019 (2006 OR LATEST EDITION)

2 TYPICAL DETAIL
C204 Typical Transverse Expansion Joint for Pavement (Type EJ)

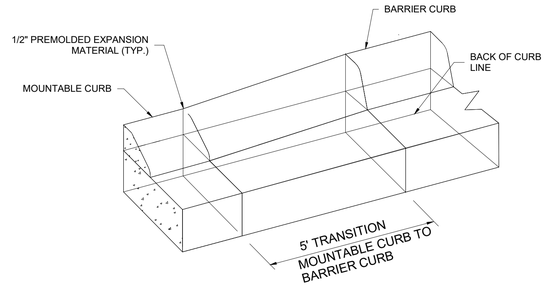


NOTE:
BARS SHALL BE PLACED IN THE EXISTING PAVEMENT BY DRILLING HOLES 1/8" LARGER THAN THE DOWEL BAR DIA. TO A DEPTH OF 1/2 THE BAR LENGTH. HOLES SHALL BE FILLED WITH AN APPROVED EPOXY RESIN BEFORE INSERTION OF THE DOWELS

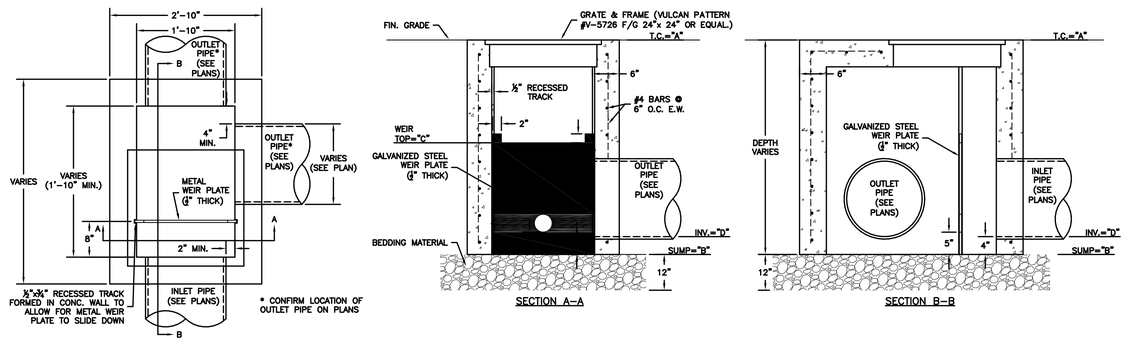
3 TYPICAL DETAIL
C204 Typical Transverse Butt Joint for Pavement (Type BJ)



4 Typical Curb Cutout-Mountable Curb & Gutterbottom
C204 1" = 1'-0"



5 Typical Curb Cutout-Mountable-Barrier Curb Transition
C204 1" = 1'-0"



6 Weir Typical Detail
C204 3/4" = 1'-0"

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R-TANK SUBSURFACE STORAGE SYSTEM

PROJECT INFORMATION	
Project Name	TBD
City/County	New Orleans
State	LA
Site Designation	Underground Detention

SUBSURFACE STORAGE REQUIREMENTS		
Storage Volume Required	1,350 cf	ENTER VALUE
R-Tank System Width	15.00 ft	ENTER VALUE
Use Stone Storage Volume	YES	SELECT FROM LIST
Stone Void Ratio	40%	ENTER VALUE
Dead Storage Required	NO	SELECT FROM LIST

R-TANK DESIGN		
R-Tank Selected	UD SINGLE	SELECT FROM LIST
Width of R-Tank	23.62 in	
Length of R-Tank	23.62 in	
Height of R-Tank	14.17 in	
Volume of Storage per Module	4.35 cf	
Number of R-Tanks Wide	7	
Number of R-Tanks Long	25	
Number of Rotated End R-Tanks	0	
Total Number of R-Tank Modules	175	
R-Tank System Width	13.78 ft	
R-Tank System Length	49.21 ft	
Backfill Perimeter Width (2ft typ)		
Sides	2.00 ft	ENTER VALUE
Ends	2.00 ft	ENTER VALUE
R-Tank System Excavation Width	17.78 ft	
R-Tank System Excavation Length	53.21 ft	
Effective Footprint of System (Excavation)	945.96 sq.ft.	
Base Thickness	3 in	ENTER VALUE
Use Base for Storage	YES	
Cover Thickness	12 in	ENTER VALUE
Use Cover for Storage	YES	
Storage Volume Provided in R-Tank only	761 cf	
Storage Volume Provided in Backfill (40% Voids)	599 cf	
Total System Storage Volume	**1,360 cf**	
Volume of Backfill Required	56 cy	

STATE OF LOUISIANA
JOHANN L. PALACIOS
License No. 31315
PROFESSIONAL ENGINEER
IN
CIVIL ENGINEERING

09/29/2021

GENERAL

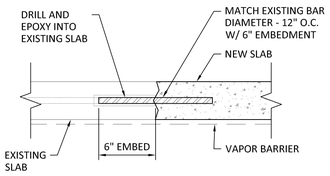
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF:
   A. AMERICAN CONCRETE INSTITUTE (ACI) LATEST EDITION
   B. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) LATEST EDITION
   C. AMERCIAN SOCIETY OF CIVIL ENGINEERS STANDARDS (ASCE) LATEST EDITION
   D. AMERICAN FOREST AND PAPER ASSOCIATION (NDS) LATEST EDITION
2. DO NOT SCALE CONTRACT DRAWINGS FOR THE PURPOSE OF ESTABLISHING DIMENSIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL DIMENSIONS AND FIT-UP OF THE STRUCTURE, INCLUDING VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK OR FABRICATING MATERIALS.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER.
5. CHECK ALL DIMENSIONS ON STRUCTURAL DRAWINGS AGAINST ARCHITECTURAL DRAWINGS.
6. COORDINATE WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND CIVIL DRAWINGS AND VERIFY THE EXACT LOCATION OF ALL INSERTS, OPENINGS, SLEEVES, FINISHES, DEPRESSIONS, SLOPES, PADS AND OTHER PROJECT REQUIREMENTS BEFORE COMMENCING ANY WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER.
7. CONCRETE TRUCKS, CRANES, FORKLIFTS, OR ANY VEHICLE WITH A WHEEL LOAD GREATER THAN 2,000 POUNDS SHALL NOT BE PERMITTED ON THE STRUCTURAL SLAB.
8. CONSTRUCTION MATERIALS SHALL BE DISTRIBUTED SUCH THAT THE LOAD SHALL NOT EXCEED THE DESIGNED LIVE LOAD PER SQUARE FOOT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, PLACEMENT, MAINTENANCE, ETC. OF ANY AND ALL SHORING, BRACING, TIE BACKS, ETC. NEEDED TO SUPPORT ANY PART OF THE NEW OR EXISTING CONSTRUCTION DURING THE ENTIRE CONSTRUCTION PROCESS TO ENSURE THE SAFETY AND INTEGRITY OF THE STRUCTURE UNTIL THE NECESSARY PERMANENT ELEMENTS ARE IN PLACE.
10. DESIGN LOAD CRITERIA:

EARTHWORK

1. THE CONTRACTOR SHALL BE RESPONSIBLE IN PERFORMING ALL EARTH WORK IN ACCORDANCE WITH SPECIFICATION 312000 EARTH WORK.
2. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR MAINTAINING THE STABILITY OF ALL EXCAVATED FACES IN COMPLIANCE WITH OSHA REQUIREMENTS UNTIL FINAL ACCEPTANCE OF WORK.
3. ALL LIFTS SHALL BE HEAVILY PROOF-ROLLED WITH A MODERATELY HEAVY LOADED PNEUMATIC ROLLER. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOADS SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED FILL.
4. BACK FILL: SHALL BE CLASSIFIED AS SC OR CL WITH A PLASTICITY INDEX BETWEEN 5 AND 25
5. ALL FILL SHALL BE PLACED IN LIFTS NO GREATER THAT 6 INCHES AND COMPACTED TO 95% MODIFIED PROCTOR.
6. EXCESS EXCAVATED MATERIAL AND/OR UNUSED BACK FILL MATERIALS SHALL BE REMOVED FROM SITE.
7. WASHED SAND SHALL COMPLY WITH ASTM C33 FOR FINE AGGREGATE
8. PILE CAPACITY = 5 TONS PER 35FT CLASS 5 TIMBER PILE PER NEW ORLEANS PILE CAPACITY MAPS

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL HAS BEEN DESIGNED IN ACCORDANCE WITH THE AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS.
2. UNLESS NOTED OTHERWISE ALL W STRUCTURAL STEEL SHAPES SHALL CONFORM TO ASTM A992 OR ASTM A572 GRADE 50. C AND S STRUCTURAL STEEL SHAPES, RODS, PLATES, AND ANGLES SHALL BE IN ACCORDANCE WITH ASTM A36.
3. TUBE SECTIONS SHALL BE ASTM A-500 GRADE B (46 KSI YIELD).
4. PIPE SECTIONS SHALL BE ASTM A53 TYPE S, GRADE B (35 KSI YIELD).
5. SPLICES IN STRUCTURAL STEEL NOT SHOWN ON THE STRUCTURAL DRAWINGS WILL NOT BE ACCEPTED WITHOUT SPECIFIC APPROVAL OF THE STRUCTURAL ENGINEER.
6. UNLESS NOTED OTHERWISE ALL CONNECTION BOLTS IN SINGLE PLATE CONNECTIONS SHALL BE 1" DIAMETER ASTM A325N (SEE SCHEDULE) AND ALL OTHER CONNECTION BOLTS SHALL BE 3/4" DIAMETER ASTM A325N.
7. UNLESS NOTED OTHERWISE ALL ANCHOR BOLTS SHALL BE 3/4" DIAMETER ASTM A307. ALL ANCHOR BOLTS SHALL BE HEADED AT THE UNTHREADED END.
8. UNLESS NOTED OTHERWISE EVERY WELD SHALL DEVELOP THE FULL STRENGTH OF THE LESSER OF THE MEMBERS IT JOINS. ALL BUTT, GROOVE, OR BEVEL WELDS SHALL BE COMPLETE, FULL PENETRATION.
9. WHERE POSSIBLE, ALL BOLT HOLES IN STRUCTURAL STEEL SHALL BE DRILLED OR PUNCHED IN THE SHOP. ANY HOLES REQUIRED TO BE MADE AT THE PROJECT SITE SHALL BE MECHANICALLY DRILLED OR PUNCHED. NO BURNING OF HOLES SHALL BE ALLOWED.
10. UNLESS SHOWN OTHERWISE ALL CAP AND BASE PLATES SHALL BE WELDED TO THE COLUMNS CONTINUOUSLY ALL AROUND WITH A 1/4" FILLET WELD.
11. EXPANSION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SHALL HAVE A MINIMUM EMBEDMENT AS DETAILED.



CONCRETE REPAIR DETAIL

CAST-IN-PLACE CONCRETE (NON-PRESTRESSED)

1. STRUCTURAL CONCRETE HAS BEEN DESIGNED IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", ACI 318 LATEST EDITION.
2. WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-LATEST EDITION, "SPECIFICATIONS FOR STRUCTURAL CONCRETE", PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, FARMINGTON HILLS, MICHIGAN, EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
3. TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF ACI 117-LATEST EDITION, "SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS", PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, FARMINGTON HILLS, MICHIGAN, EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
4. WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 305.1-LATEST EDITION, "SPECIFICATIONS FOR HOT WEATHER CONCRETING", PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, FARMINGTON HILLS, MICHIGAN, EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
5. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE, UNIT WEIGHT APPROXIMATELY 145 PCF, UNLESS OTHERWISE NOTED.CLEARLY IDENTIFY INTENDED USE FOR EACH MIX DESIGN SUBMITTED FOR APPROVAL.
6. CONCRETE SHALL CONFORM TO THE FOLLOWING:

	W/C RATIO
A. FOUNDATION, SLABS 3,600 PSI @ 28 DAYS (NORMAL WEIGHT)	0.45

7. ALL CONCRETE IN CONTACT WITH SOILS SHALL USE TYPE I-II CEMENT.
8. MIXING WATER SHALL BE POTABLE. THE USE OF WASH WATER AS A PORTION OF THE MIXING WATER SHALL NOT BE PERMITTED.
9. CLEAN ALL CONSTRUCTION JOINTS THOROUGHLY AND PURPOSELY ROUGHEN THE SURFACE TO 1/4" AMPLITUDE USING A ROTARY HAMMER PRIOR TO PLACING ADJACENT CONCRETE.
10. SLABS AND GRADE BEAMS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT CENTER OF SPAN OR AT CENTER OF SUPPORT WITH VERTICAL BULKHEADS AND HORIZONTAL KEYS, UNLESS OTHERWISE SHOWN. ALL CONSTRUCTION JOINTS SHALL BE AS APPROVED BY THE ENGINEER.
11. PLACEMENT OF SLEEVES OR OPENINGS THROUGH GRADE BEAMS IS NOT PERMITTED UNLESS INDICATED ON STRUCTURAL DRAWINGS OR APPROVED, IN WRITING, BY ENGINEER.
12. CAREFULLY COORDINATE THE PLACEMENT OF ALL CAST-IN-PLACE EMBEDDED ITEMS AND ANCHOR RODS. ANCHOR RODS SHALL BE SET WITH A TEMPLATE. ALL EMBEDDED ITEMS SHALL BE SECURELY ATTACHED TO FORM WORK OR REINFORCING.
13. PLACE .010 INCH VAPOR BARRIER BENEATH ALL INTERIOR SLABS AND BEAMS. LAP 12" MIN. TO ACCOMMODATE CONCRETE POURING DIRECTION. SEAL ALL SEAMS AND PENETRATIONS, INCLUDING PILES PER MANUFACTURER'S DIRECTIONS.

STEEL LINTEL SCHEDULE

CLEAR OPENING	SIZE ANGLE
UP TO 5'-0"	3-1/2"x3"x1/4"
5'-1" TO 7'-0"	3-1/2"X3-1/2"X1/4"
7'-1" TO 9'-0"	5"x3"x1/4"
9'-1" TO 10'-0"	5"x3"x5/16"
10'-1" TO 11'-0"	5"x3"x3/8"
11'-1" TO 12'-0"	6"x3"x3/8"
12'-1" AND OVER	ANALYSIS REQUIRED

CADD FILE NAME: S1.0.dwg

DESIGNED BY: SAD | DRAWN BY: SAD | CHECKED BY: TD | JOB NO. 21020
SCALE: (22x34) VARIES | SCALE: (11x17) - | DATE: 04/15/2021

747 ST CHARLES AVE
RENOVATION - HOTEL PROJECT
747 ST CHARLES AVE
NEW ORLEANS, LA

GENERAL NOTES

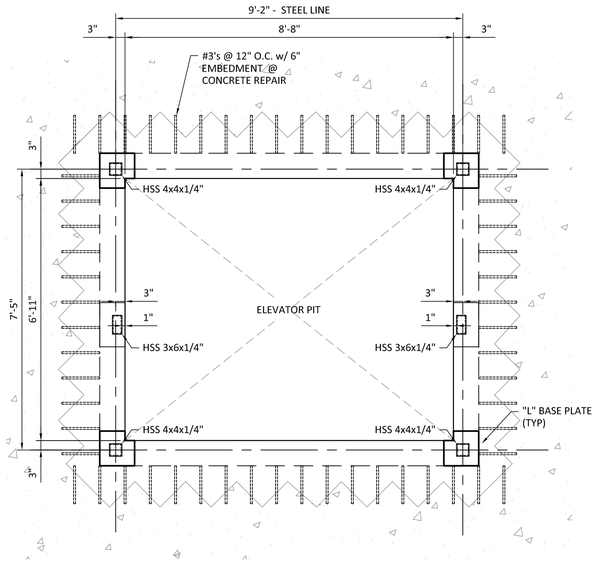
REVISIONS

NO.	DATE:	APPD

STAMP:
STATE OF LOUISIANA
THOMAS DYER
License No. 36743
06/20/2022
PROFESSIONAL ENGINEER

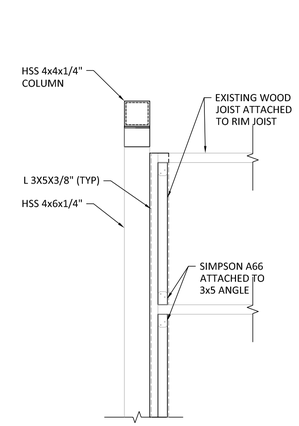
Kyle Associates, LLC
Planning, Engineering, and Landscape Architecture
638 Village Lane N. • Mandeville, LA 70471 • 985.727.9377

SHEET NO.
S0.0



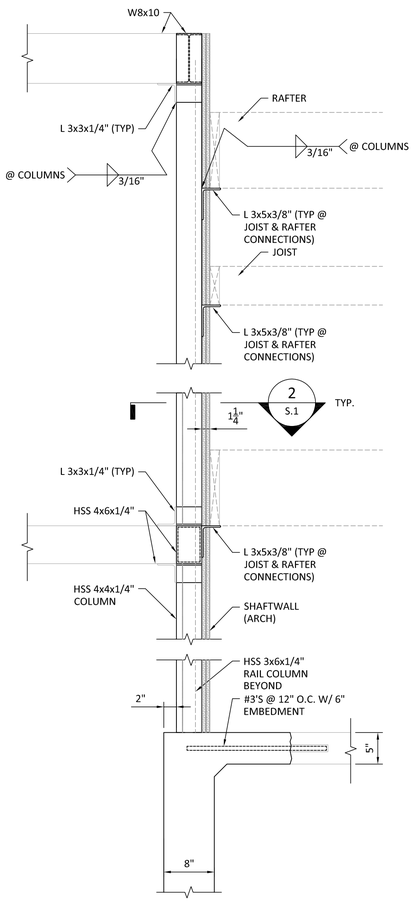
FOUNDATION PLAN

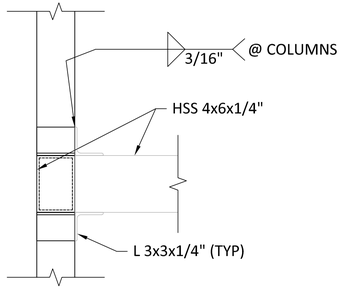
1/2" = 1'-0"



2/S1 SECTION

1" = 1'-0"



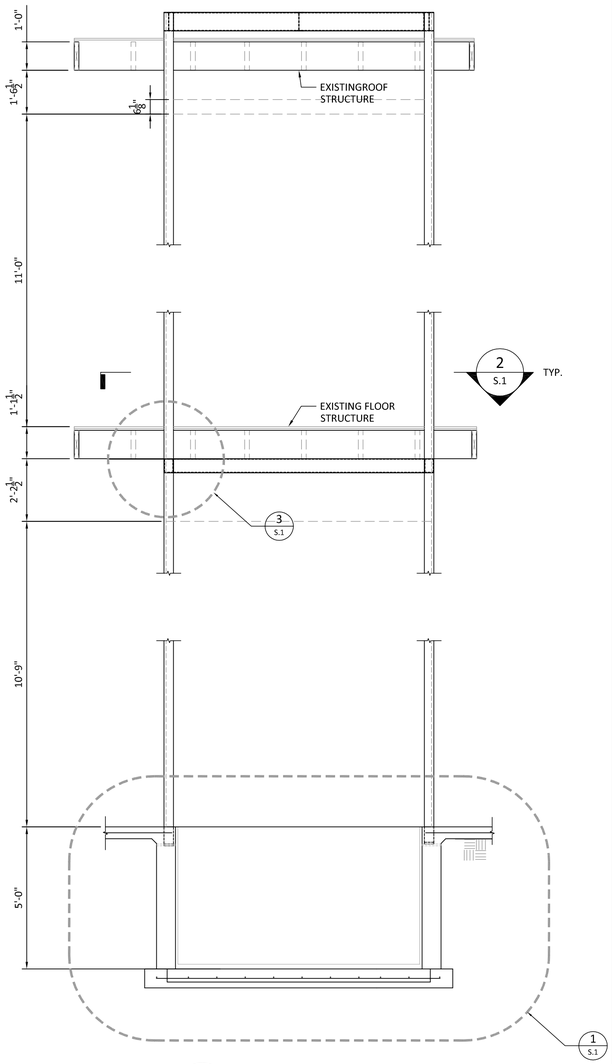


3/S1 SECTION

1" = 1'-0"

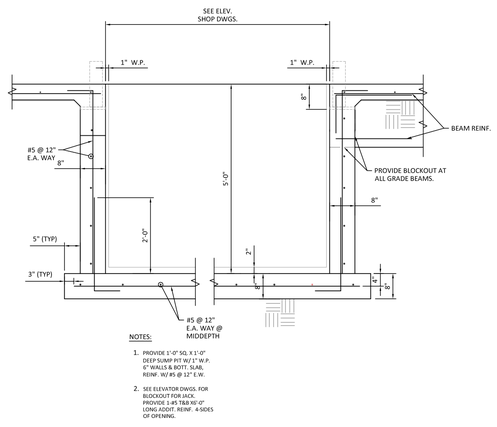
4/S1 SECTION

1" = 1'-0"



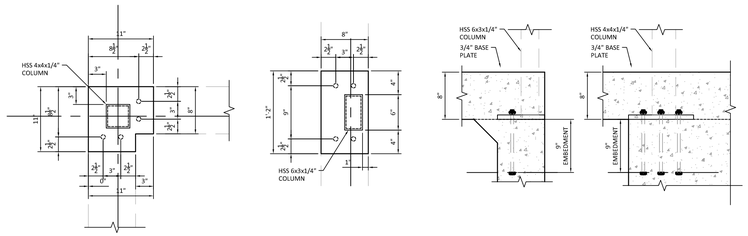
5/S1 SECTION

1/2" = 1'-0"



1/S1 SECTION

1" = 1'-0"



6/S1 BASEPLATE DETAILS

1-1/2" = 1'-0"

CADD FILE NAME: S1.0.dwg

DESIGNED BY: SAD | DRAWN BY: SAD | CHECKED BY: TD | JOB NO. 21020

SCALE: (22x34) VARIES | SCALE: (11x17) - | DATE: 04/15/2021

747 ST CHARLES AVE RENOVATION - HOTEL PROJECT

747 ST CHARLES AVE
NEW ORLEANS, LA

ELEVATOR DETAILS

REVISIONS

NO.	DATE:	APPD

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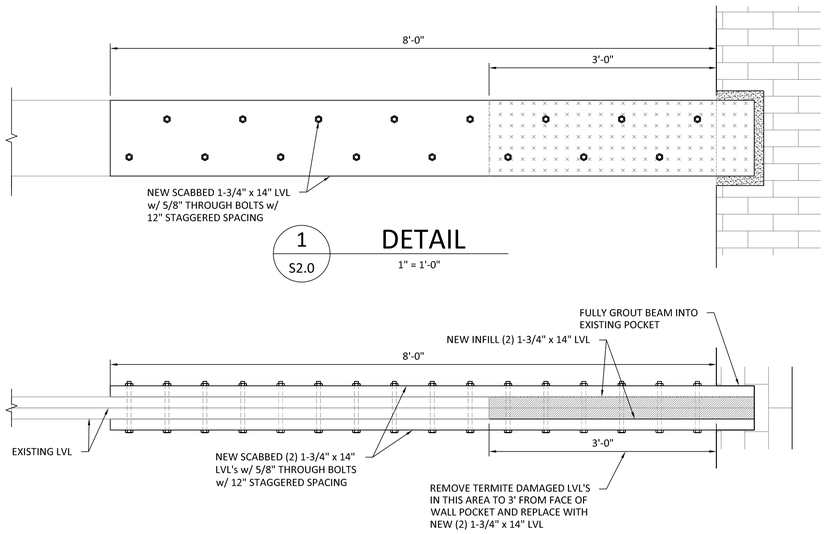
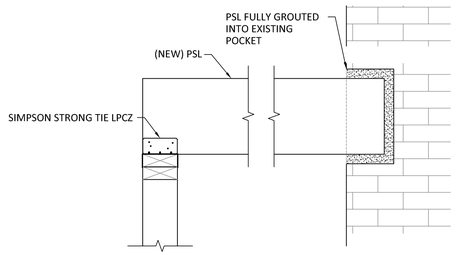
SHEET NO.

S1.0



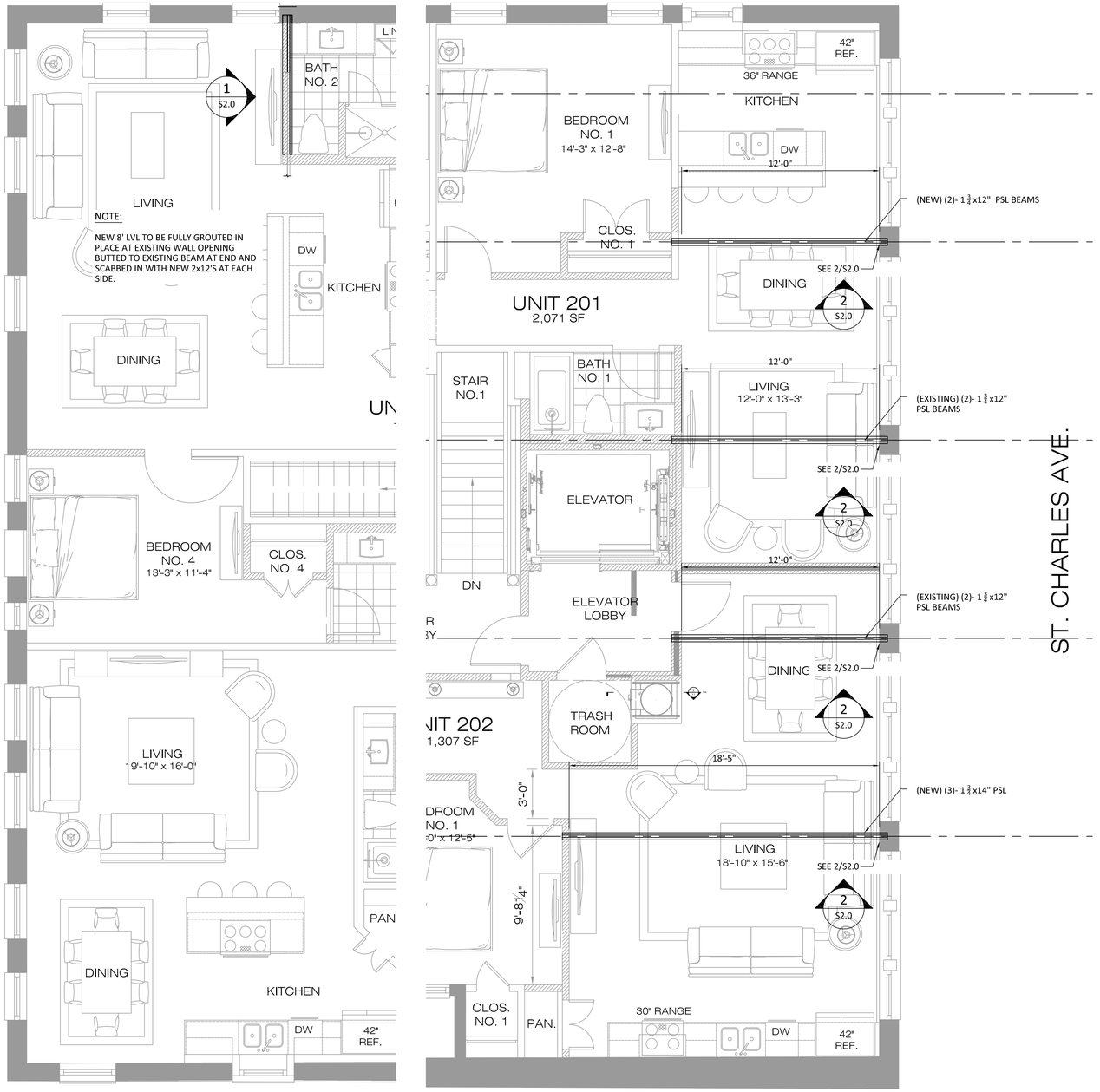
1 S2.0 **DETAIL**

1" = 1'-0"



2 S2.0 **DETAIL**

1" = 1'-0"



PARTIAL SECOND FLOOR PLAN

1/4" = 1'-0"

WALL LEGEND

EXISTING MASONRY WALL

ST. CHARLES AVE.

CADD FILE NAME: S2.0.dwg

DESIGNED BY:	DRAWN BY:	CHECKED BY:	JOB NO.
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SCALE: (22x34)	SCALE: (11x17)	DATE:
VARIES	-	04/15/2021

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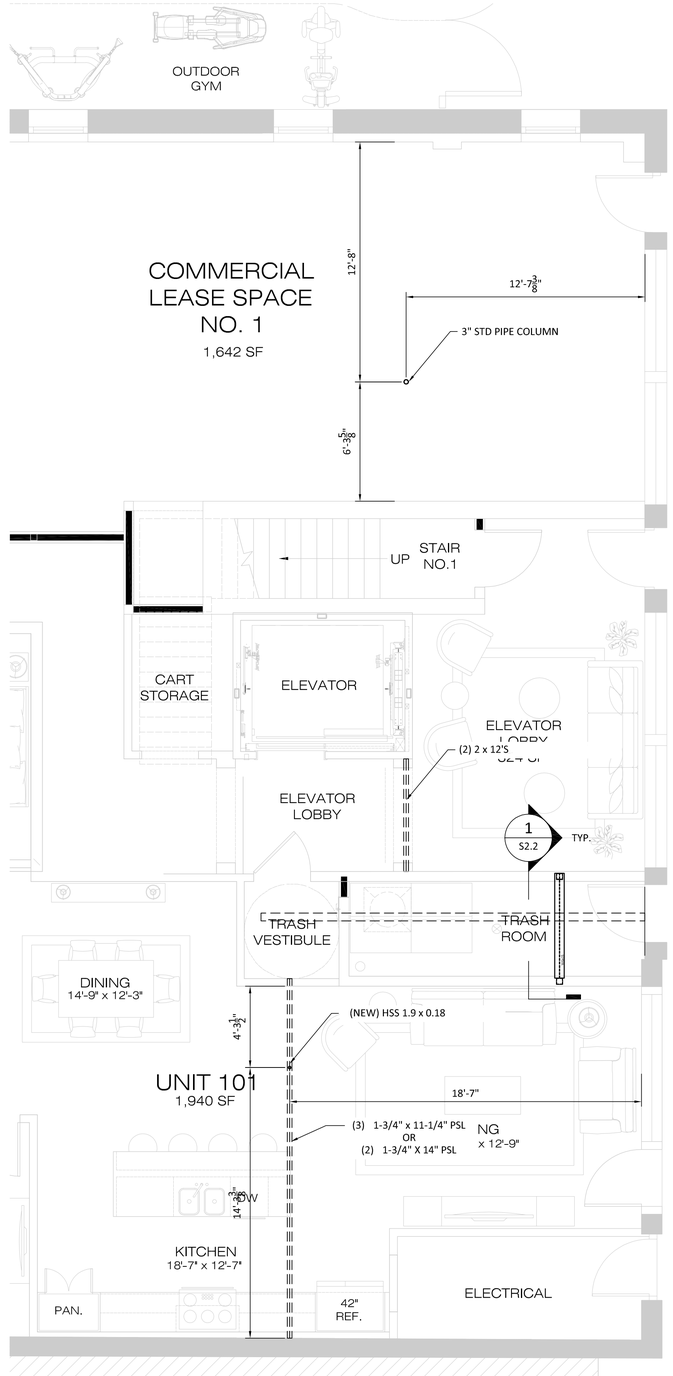

ST. CHARLES AVE.

PARTIAL FIRST FLOOR PLAN

1/4" = 1'-0"

CADD FILE NAME:
S2.0.dwg

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SCALE: (11x17) -			JOB NO. 21020
			DATE: 04/15/2021

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NEW ORLEANS, LA

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SHEET NO.

S2.1

User: Shawn Delahoussaye

Plot Date: Wednesday, March 9, 2022 9:54:54 AM

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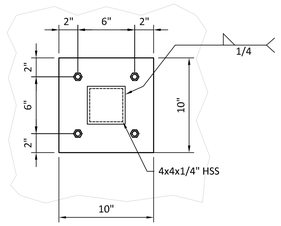
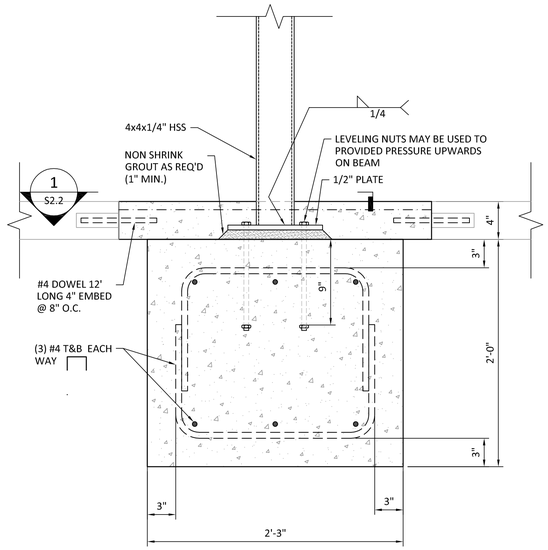
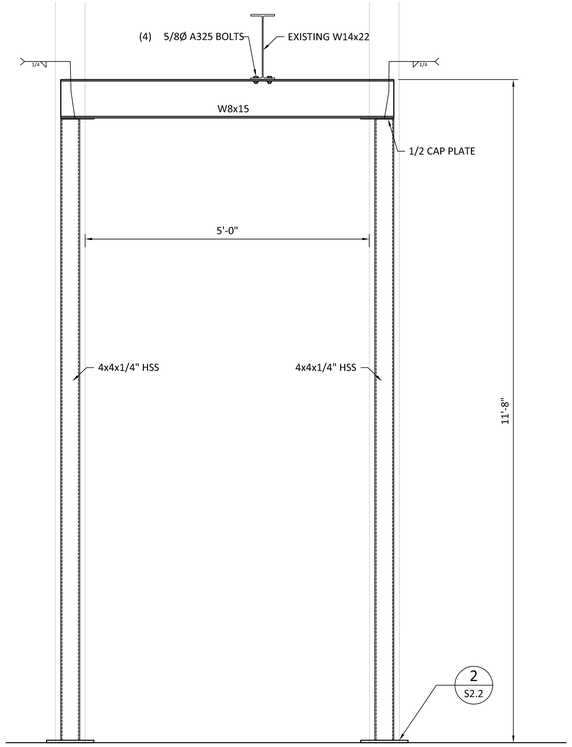


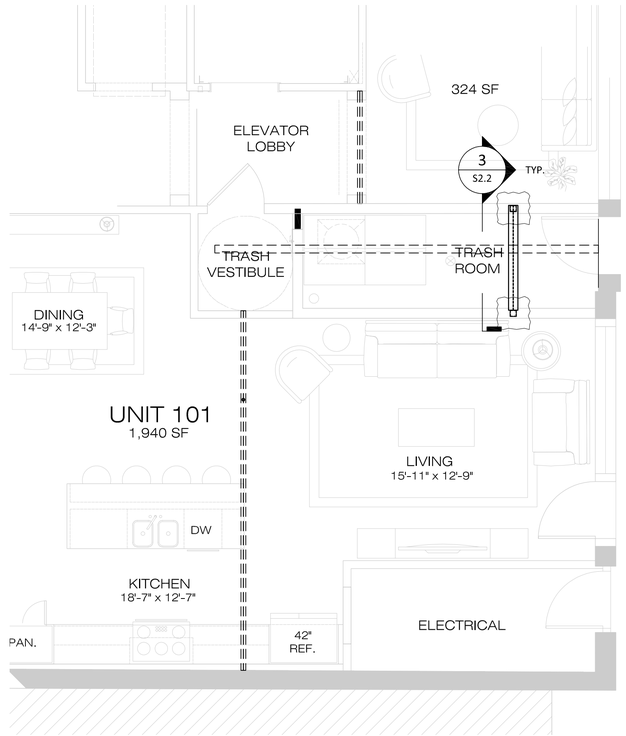
1 S2.2 SECTION
1-1/2" = 1'-0"



2 S2.2 SECTION
1-1/2" = 1'-0"



3 S2.2 SECTION
1/4" = 1'-0"



PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"

ST. CHARLES

CADD FILE NAME: S2.0.dwg

DESIGNED BY:	DRAWN BY:	CHECKED BY:	JOB NO.
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VARIES	-	04/15/2021

747 ST CHARLES AVE RENOVATION - HOTEL PROJECT

747 ST CHARLES AVE
NEW ORLEANS, LA

BEAM DETAILS

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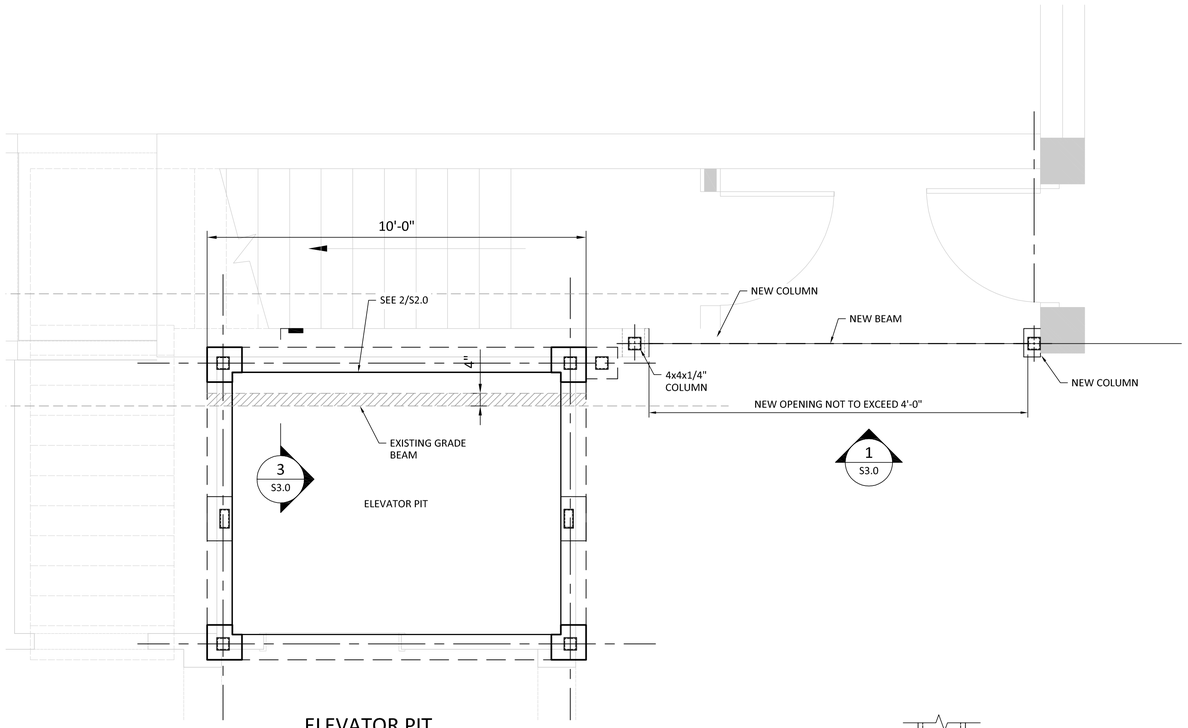
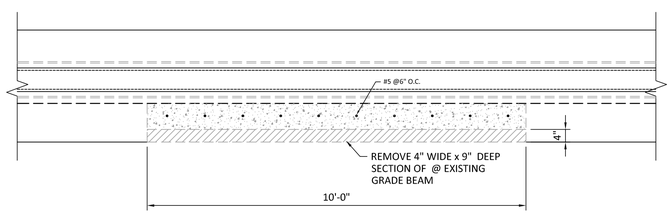
SHEET NO.
S2.2



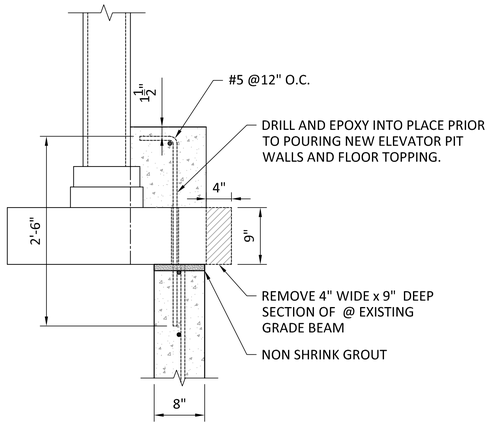
ELEVATOR PIT

1/2" = 1'-0"



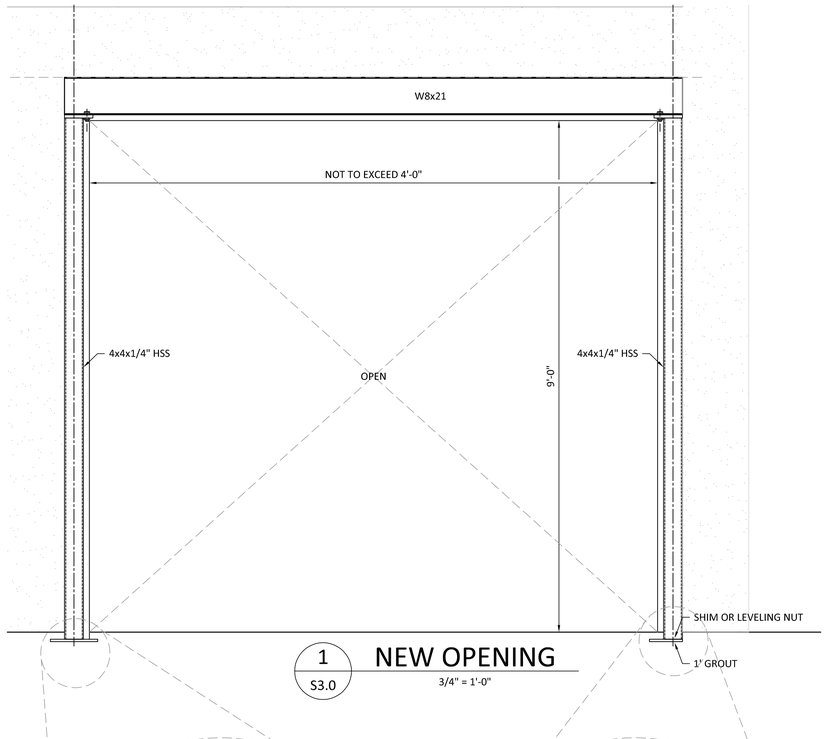
2 S3.0 **DETAIL**

1/2" = 1'-0"



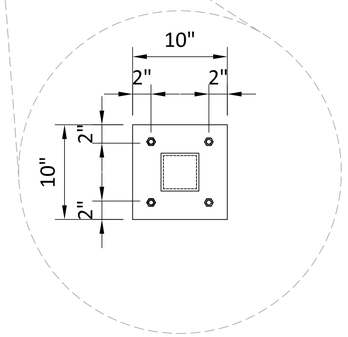
3 S3.0 **SECTION**

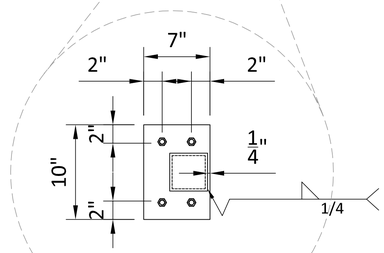
1" = 1'-0"

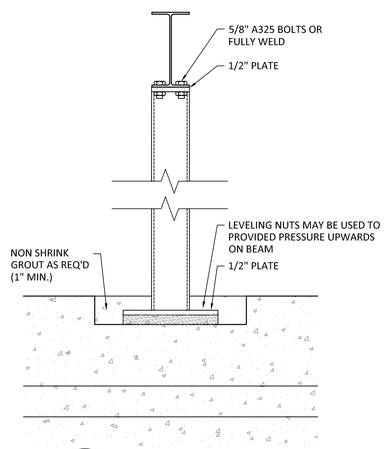


1 S3.0 **NEW OPENING**

3/4" = 1'-0"







4 S3.0 **SECTION**

1-1/2" = 1'-0"

CADD FILE NAME: S3.0.dwg

DESIGNED BY:	DRAWN BY:	CHECKED BY:	JOB NO.
SAD	SAD	TD	21020

SCALE: (22x34)	SCALE: (11x17)	DATE:
VARIES	-	04/15/2021

747 ST CHARLES AVE RENOVATION - HOTEL PROJECT

747 ST CHARLES AVE
NEW ORLEANS, LA

ELEVATOR DETAILS

REVISIONS

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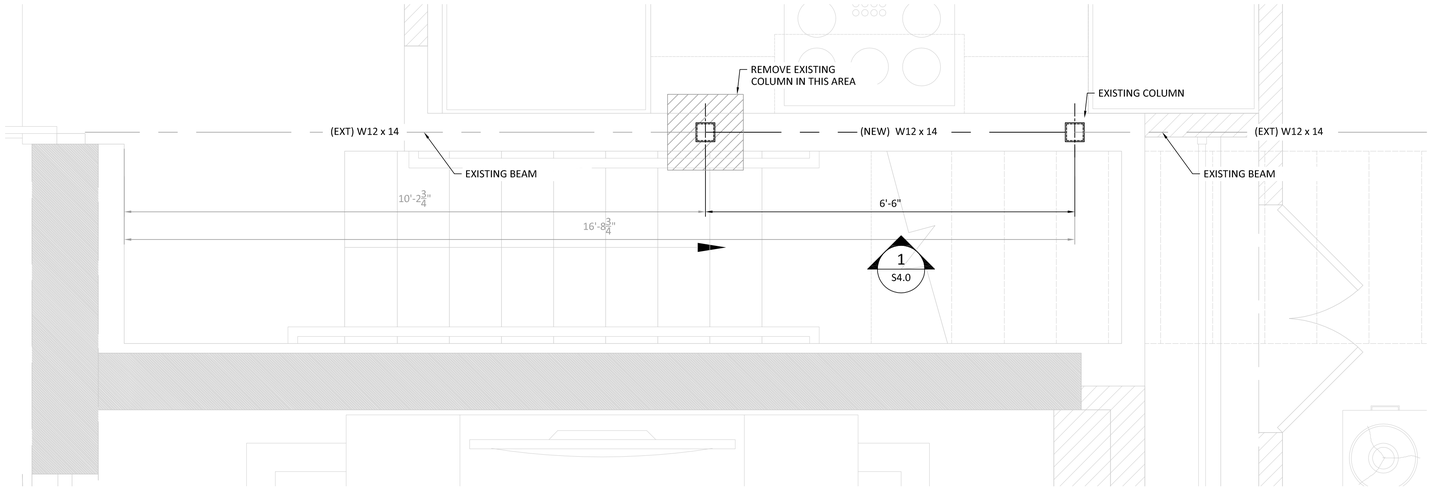
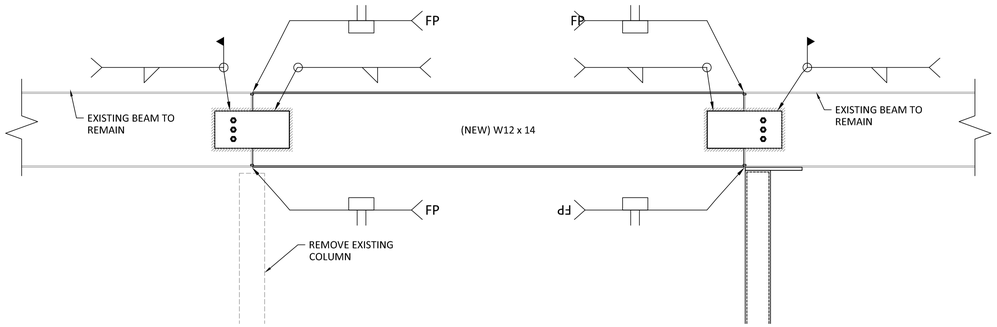
SHEET NO.

S3.0



REAR STAIR

3/4" = 1'-0"



1 / S4.0 **ELEVATION**

1" = 1'-0"

CADD FILE NAME: S3.0.dwg

DESIGNED BY:	DRAWN BY:	CHECKED BY:	JOB NO.
SAD	SAD	TD	21020

SCALE: (22x34)	SCALE: (11x17)	DATE:
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NEW ORLEANS, LA

ELEVATOR DETAILS

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SHEET NO.

S4.0

Plot Date: Wednesday, March 9, 2022 9:56:01 AM

User: Shawn Delahoussaye

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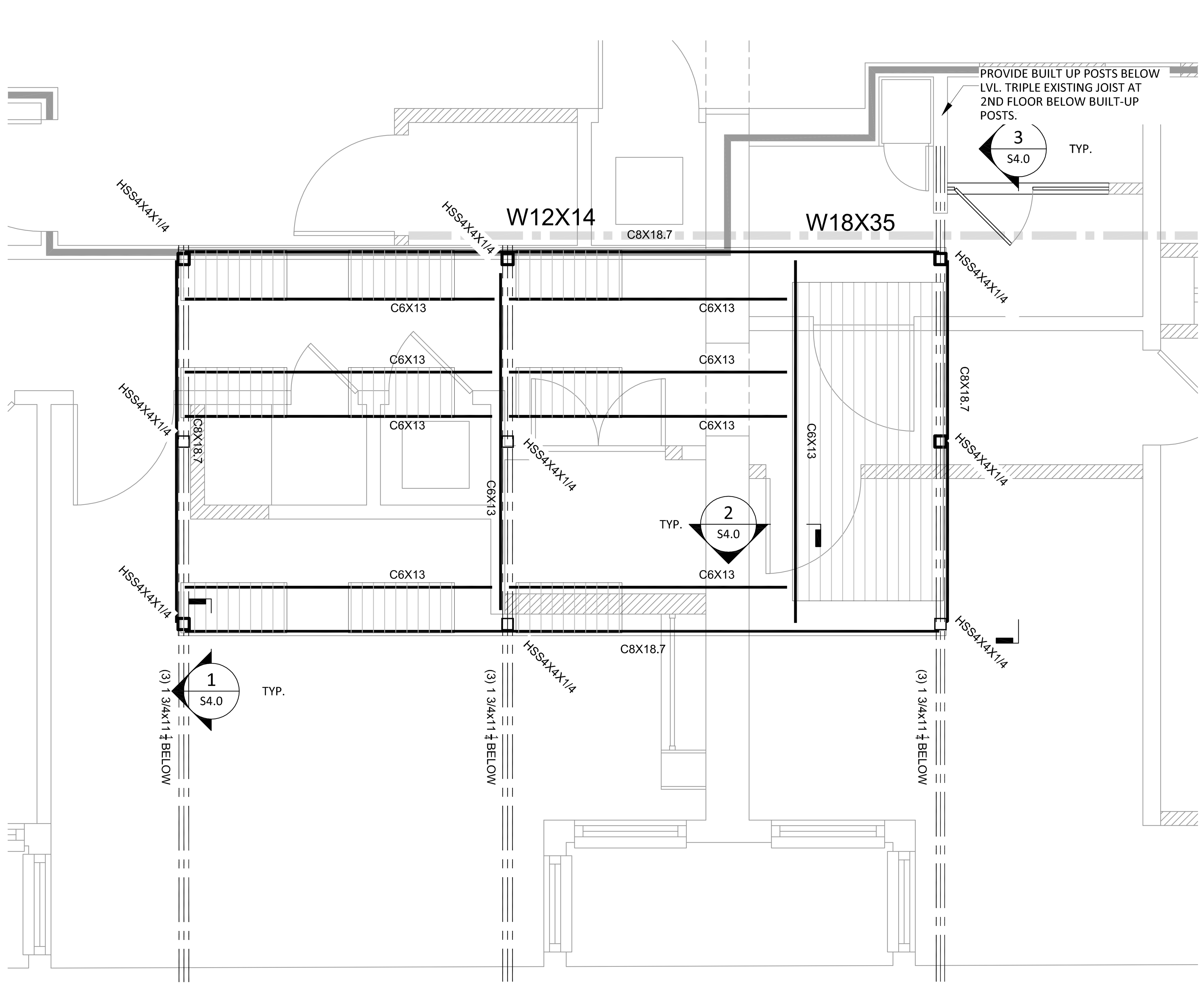
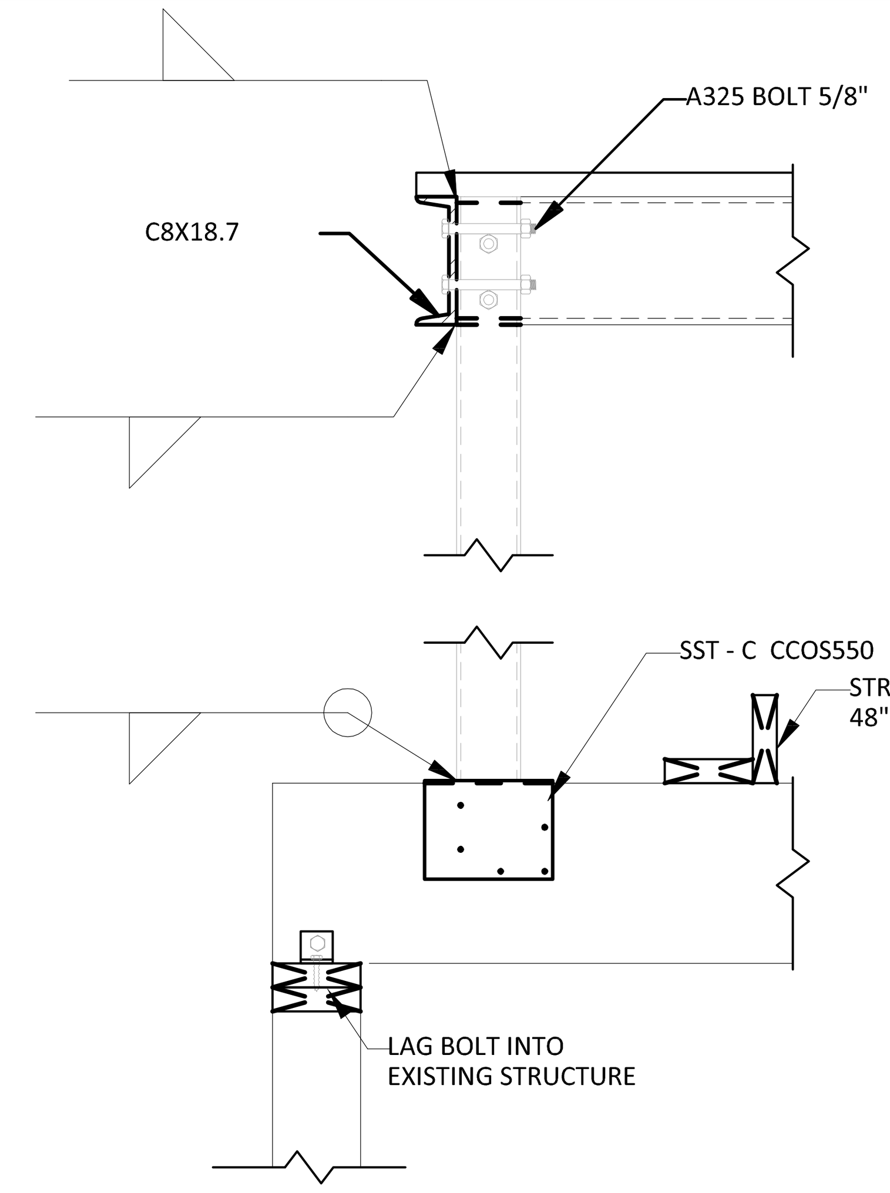


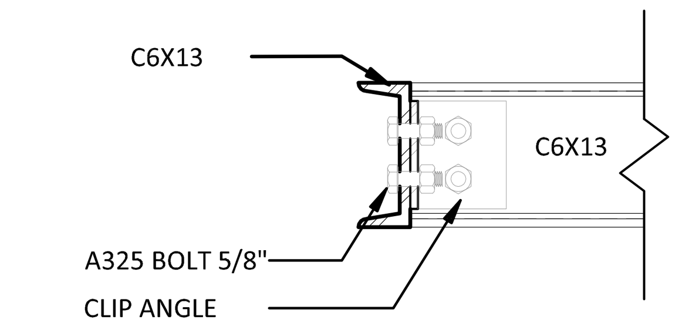
ROOFTOP MECHANICAL PLAN

3/8" = 1'-0"



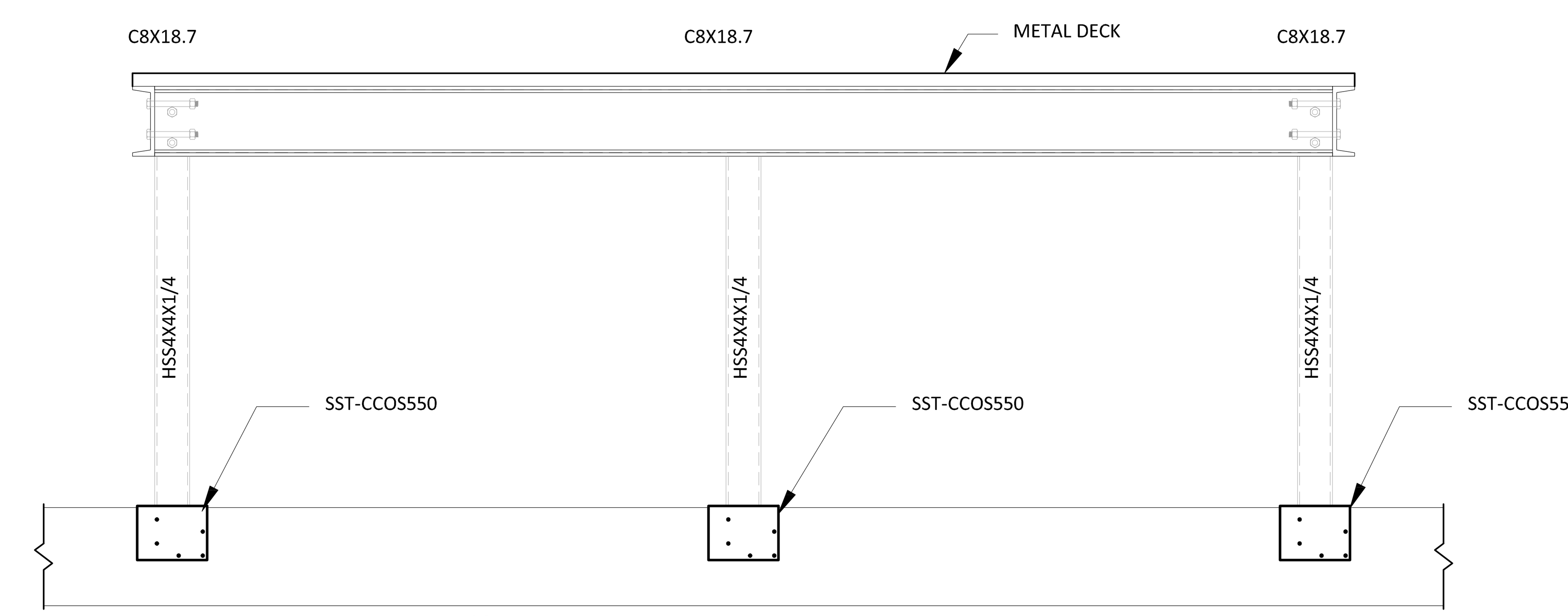
1 S4.0 SECTION

1" = 1'-0"



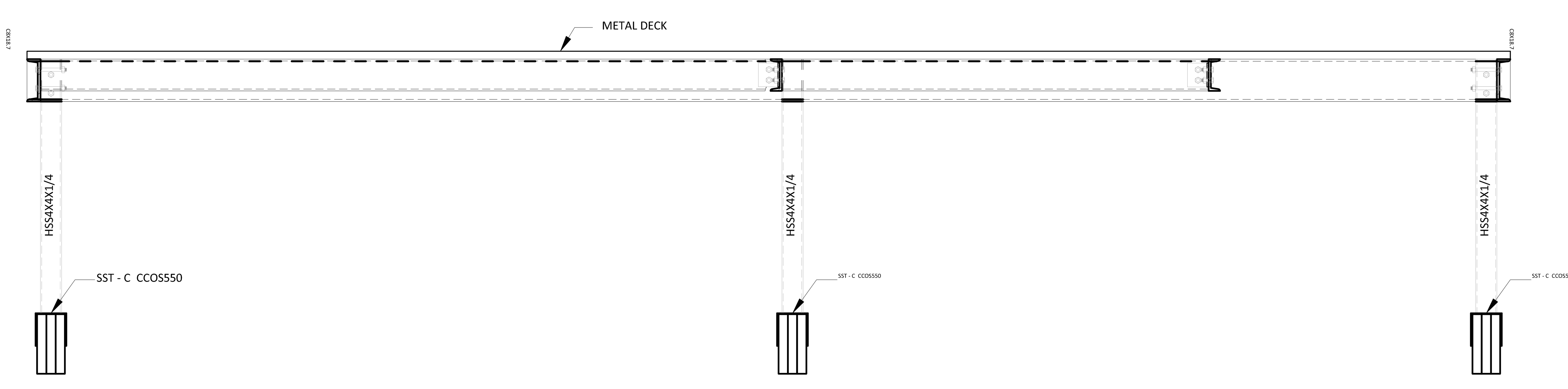
2 S4.0 SECTION

1-1/2" = 1'-0"



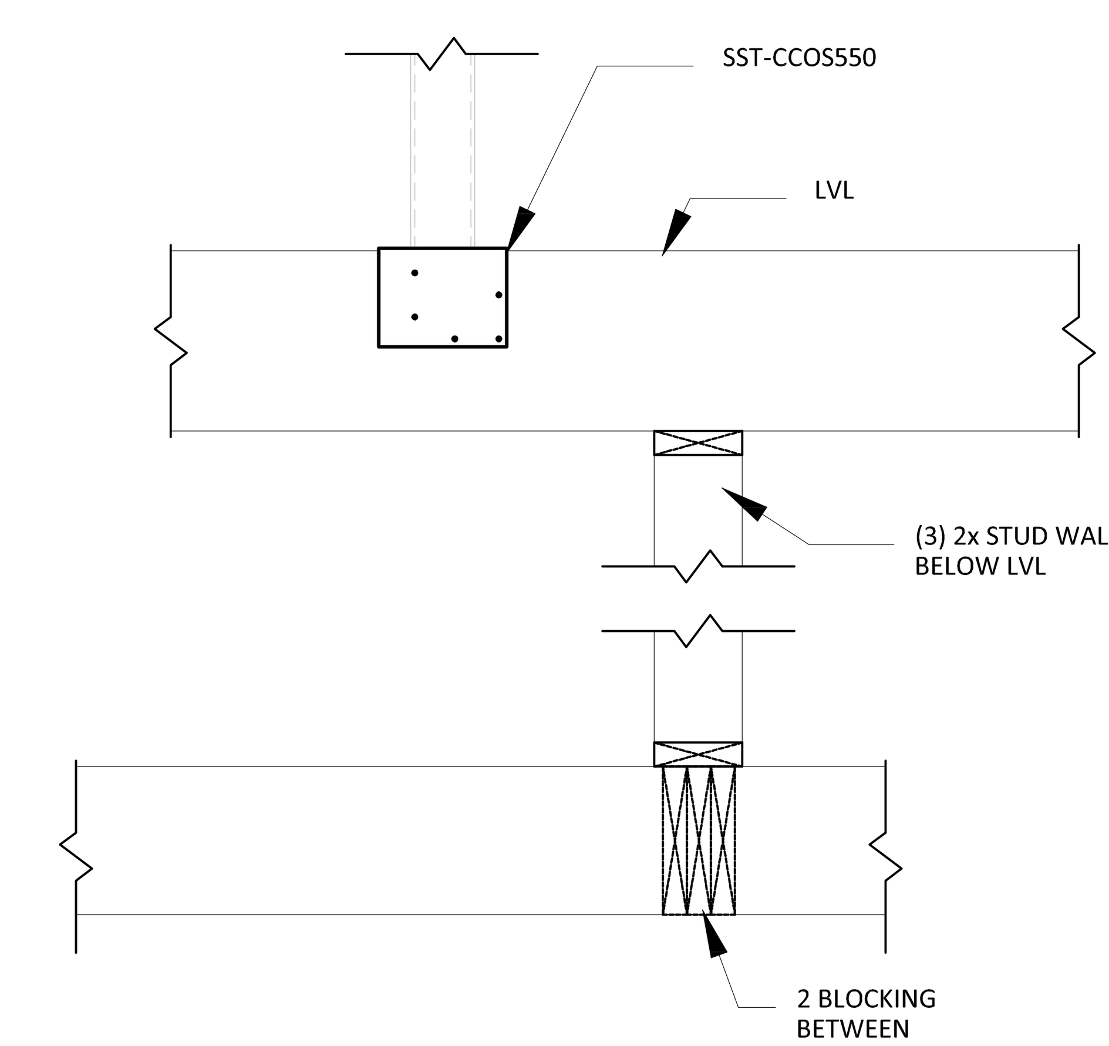
3 S1 SECTION

3/4" = 1'-0"



4 S1 SECTION

3/4" = 1'-0"



5 S1 DETAIL

1" = 1'-0"

CADD FILE NAME: S5.0.dwg

DESIGNED BY: SAD
DRAWN BY: SAD
CHECKED BY: TD
JOB NO. 21020

SCALE: (22x34) VARIES
SCALE: (11x17) -
DATE: 04/15/2021

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MECHANICAL PLATFORM

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S5.0

Plot Date: Wednesday, March 9, 2022 9:56:19 AM
User: Shawn Delahoussaye
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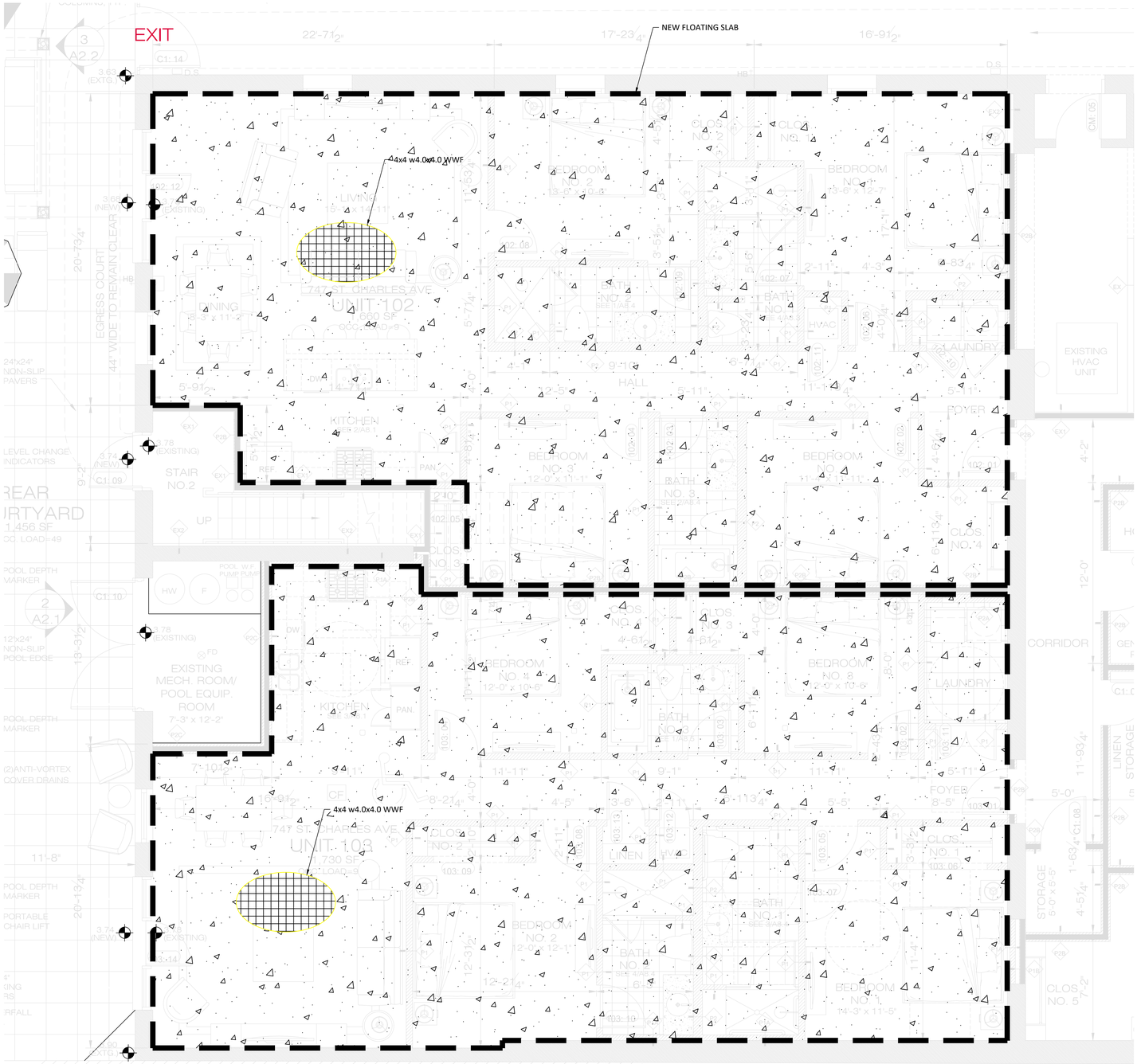
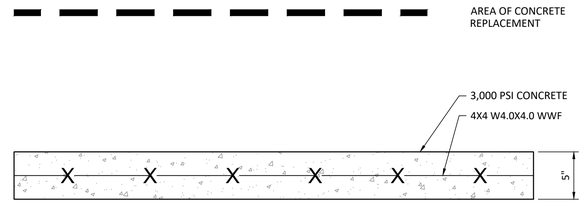


SLAB REPLACEMENT
1" = 1'-0"



1 / S3.0 SECTION
1" = 1'-0"

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SCALE: (22x34) VARIES	SCALE: (11x17) -	DESIGNED BY: SAD	DRAWN BY: SAD
CHECKED BY: TD	JOB NO. 21020	DATE: 05/25/2022	

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TOILET ROOM & SHELTER FOUNDATION

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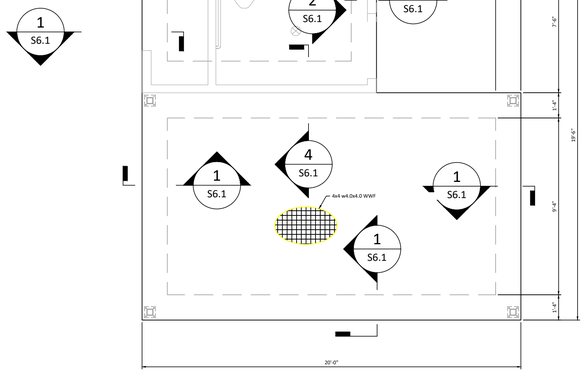
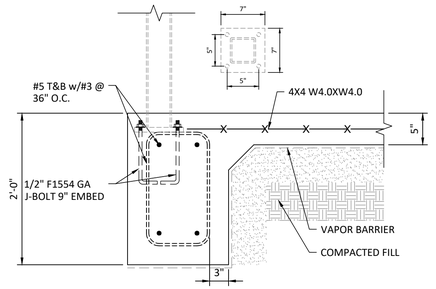
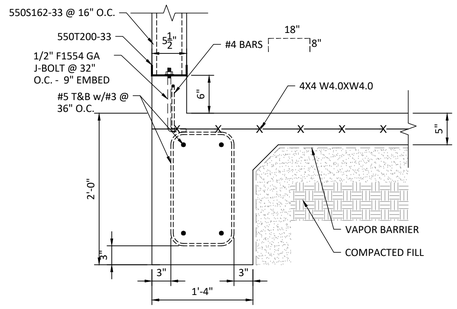
SHEET NO.
S6.0



FOUNDATION PLAN
1/4" = 1'-0"



1 S6.1 **SECTION**
1-1/2" = 1'-0"



2 S6.1 **SECTION**
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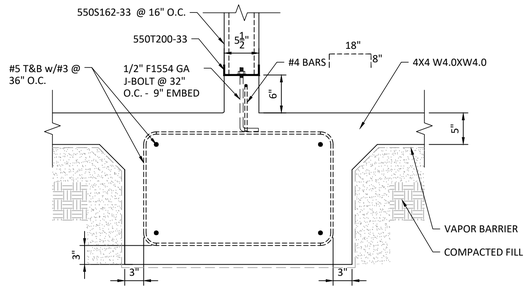

3 S6.1 **SECTION**
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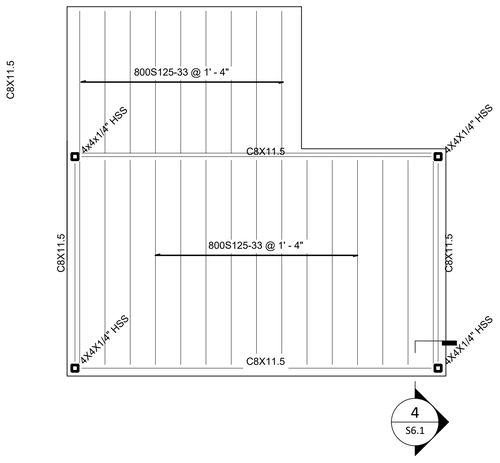
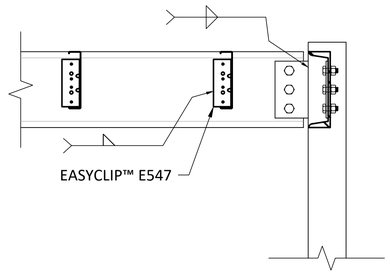


FOUNDATION PLAN
1/4" = 1'-0"



4 S6.1 **SECTION**
1-1/2" = 1'-0"

CADD FILE NAME:
S6.0.dwg

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VARIES	"	05/25/2022

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