

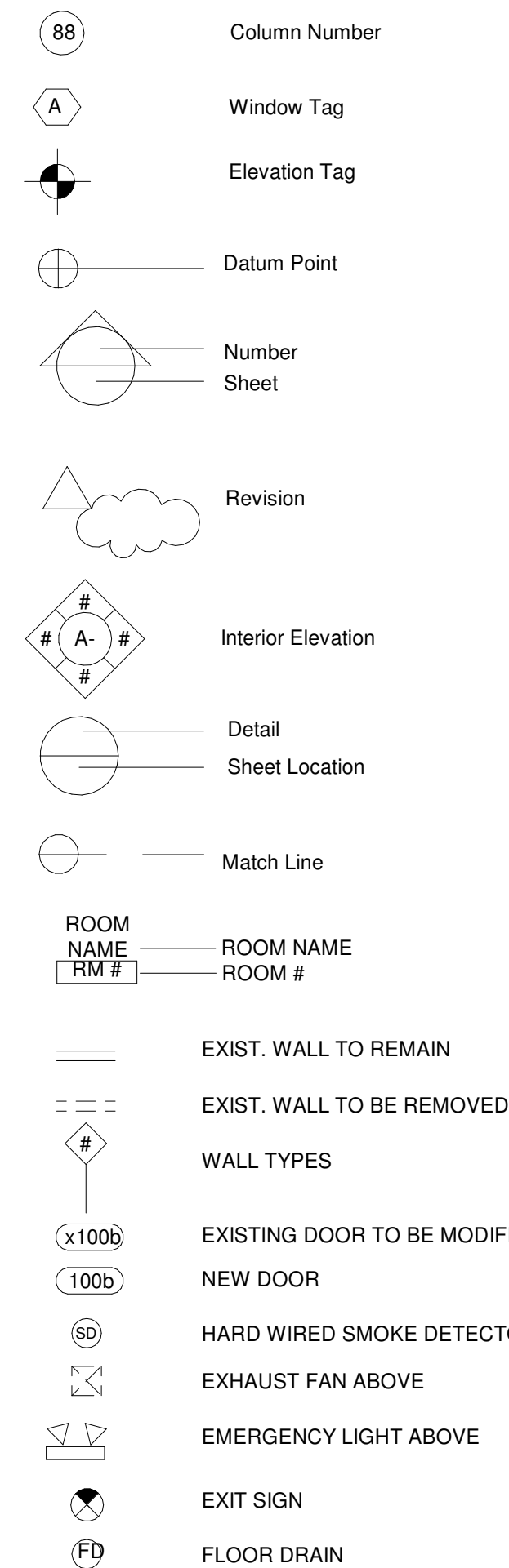
Second Mount Everest Baptist Church

2528 First St. New Orleans, LA

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF HAVING JURISDICTION.
2. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE AIA GENERAL CONDITIONS FOR CONSTRUCTION.
3. SHOULD THE GENERAL CONTRACTOR (G.C.) DISCOVER ANY DISCREPANCIES OR AMBIGUITIES OF DATA THAT CAUSE DOUBT AS TO THE MEANING OF ANY DRAWINGS OR SPECIFICATIONS, THE G.C. SHALL NOTIFY THE ARCHITECT, AND REQUEST CLARIFICATION PRIOR TO PROCEEDING.
4. ALL WORKMAN EMPLOYED BY THE G.C. OR ANY SUBCONTRACTORS SHALL BE SKILLED AT THE WORK TO WHICH HE IS ASSIGNED. ALL TRADES MUST PROVIDE EVIDENCE OF WORKMAN'S COMPENSATIONS AND LIABILITY INSURANCE IN FORCE.
5. ALL MATERIAL STORED ON THE SITE SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE FROM OTHER WORK IN PROGRESS. REPAIR OF COMPLETED WORK DAMAGED IN THE COURSE OF THE PROJECT WILL BE THE G.C.'S RESPONSIBILITY AT NO COST TO
6. AFTER MAKING REMOVALS, RELOCATIONS, ADDITIONS, ETC., TO EXISTING ELEMENTS, SURFACES AND FINISHES THAT DESTROY THOSE SURFACES AND FINISHES, PATCH SUCH ELEMENTS, AND MATCH SUCH FINISHES TO PREEXISTING ADJACENT CONDITIONS. THIS PATCHING WORK IS CONSIDERED PART OF THE PROJECT.
7. THE PROJECT SITE IS TO BE KEPT REASONABLY CLEAN AT ALL TIMES. LOOSE TRASH IS TO BE CONTAINED AND EMPTIED OFF THE SITE WHEN FULL. PAINT SPOTS AND EXCESS CAULKING ARE TO BE REMOVED.
8. UPON COMPLETION OF THE WORK, THE G.C. IS RESPONSIBLE FOR THE FINAL ADJUSTMENTS OF WINDOWS, DOORS, HARDWARE, DEVICES, AND THOSE ITEMS DEEMED BY THE ARCHITECT TO MAKE THE PROJECT HABITABLE.
9. THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE COMPLETION OF THE WORK ARE TO BE PART THEREOF. THE G.C. SHALL VERIFY ALL DIMENSIONS, QUANTITIES, AND
10. APPROVAL OF MINOR CHANGES OR CLARIFICATION TO PLANS MAY BE ACCOMPLISHED BY ISSUANCE OF REVISED PLANS, PARTIAL SKETCH, OR INITIALING AND DATING OF CHANGE BY THE ARCHITECT ON THE EXISTING PLANS.
11. UNLESS OTHERWISE NOTED, ALL EXPOSED NEW AND EXISTING ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATIONS LINES, DUCTS, PIPES, UNITS AND DEVICES ARE TO PRIMED AND PAINTED THE SAME COLOR AS THE WALL AND/OR CEILING SURFACE ON WHICH THEY RUN, OR ARE TO BE LOCATED ON, IN ORDER TO BLEND IN.
12. ALL WORK MUST BE LEVEL AND/OR PARALLEL TO EXISTING ELEMENTS AS SHOWN ON DRAWINGS.
13. THE ARCHITECT AND/OR DESIGNER HAS NO RESPONSIBILITY FOR ANY ACTIONS OR OMISSIONS OF THE G.C., OR HIS SUBCONTRACTORS, OR THE FAILURE OF THEM TO PERFORM WORK ACCORDING TO THE CONTRACT DOCUMENTS.
14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LABOR AND MATERIALS AND MAKE GOOD ANY DEFECTS THEREIN WHICH ARE DISCOVERED OR OCCUR WITHIN ONE YEAR AFTER THE COMPLETION OF THE PROJECT. HE SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY MATERIAL OR EQUIPMENT CONSIDERED PART OF THE CONTRACT AND UNDER GUARANTEE PERIODS SPECIFICALLY NOTED BY THE MANUFACTURER THEREOF.
15. THE CONTRACTOR'S COST IS TO INCLUDE THE REMOVAL, TEMPORARY DISCONNECTION, RELOCATION, AND/OR REROUTING OF ALL EXPOSED ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATION LINES, DUCTS, PIPES, UNITS, AND DEVICES, WHETHER SPECIFICALLY NOTED OR NOT IN THE CONTRACT DOCUMENTS. IN ORDER TO INSTALL, INSERT, OR PASS BY A SPECIFIED NEW OR RELOCATED EXISTING LINE, DUCT, CIRCUIT, PIPE, AND/OR DEVICE AS REQUIRED BY THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXPOSED EXISTING STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING CONDITIONS AND INTERFERENCES PRIOR TO BIDDING, AND INCLUDE IT AS PART OF THE COST OF THE NEW WORK.
16. ALL JOINT SURFACES SHALL BE FREE OF ANY SUBSTANCE OR MATERIAL THAT WOULD PREVENT THE PROPER ADHESION OF THE CAULKING UPON APPLICATION OR WOULD CAUSE FAILURE OF THE CONNECTION BETWEEN THE CAULKING AND THE WALL JOINT. ALL CAULKING LINES ARE TO BE EVEN, SMOOTH, AND STRAIGHT.
17. ALL NOTES ON ALL DRAWINGS OF THE ARCHITECT, ENGINEER, AND DESIGNER'S DRAWINGS AND PLANS ARE TO BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.
18. ALL BUILDING AREAS ARE TO BE BROOM SWEEP EACH NIGHT BEFORE THE AUTHORIZED CONTRACTORS LEAVE. THE PREMISES IS TO BE KEPT CLEAN DURING ALL TIMES CONSTRUCTION IS UNDERWAY.
19. NO EQUIPMENT OR MATERIALS ARE TO BE LEFT OR STORED IN ANY PUBLIC OR COMMON AREAS OF THE BUILDING.
20. NO CUTTING OR CHANNELING OF BUILDING STRUCTURE SHOULD BE PERMITTED FOR ANY WORK OF ALTERATION INCLUDING FOR RUNS OF PIPING OR ELECTRICAL CONDUIT.
21. PLUMBING AND ELECTRICAL WORK SHOULD BE PERFORMED BY LICENSED CONTRACTORS AND ALL REQUIRED PERMITS AND CERTIFICATIONS

Key to Symbols



Abbreviations

Acoust Tile	Acoustical Ceiling Tile	LAV	Lavatory
ADJ	Adjust	MFT/MFGR	Manufacturer (ed)
ADJUST	Adjustable	MAX	Maximum
AFF	Above Finish Floor Slab	MECH	Mechanical
AG	Aging	MEN	Mens
BLDG.	Building	MIN	Minimum
BLK	Block	MISC	Miscellaneous
BLOT	Blot	MOT/ed (ing)	Motion (ed) (ing)
CAB	Cabinet	NAT	Natural
CLG	Ceiling	NOM	Normal
CL	Clear (ance)	NOT	Not Contract
CONT	Continuous	N/S	Not to Scale
COL	Column	OC	On Center
CRM	Crimish	OWG	Owens
DET	Detail	PAN	Panel (s)
DI	Diameter	PLAS LAM	Plastic Laminate
DM	Dimension	PLYWD	Plywood
DWG	Drawing	P	Paint (s)
ELECT	Electric	PTH	Pair
LEV	Elevation	R	Riser
EQ	Equal	R/RAD	Radius
EQUIP	Equipment	RE	Reference
EXIST	Existing	REFRIG	Refrigerator
FD	Fire Dimension	RESIL	Resilient
FF	Factory Finish	REV	Revised (Revision)
FIN	Finish (ed)	ROOM	Room
FLOOR	Floor	S	Section
FLOOR	Fluorescent	SECT	Sheet
FSPC	Fireproof self Closing	SIM	Simmer
GA	Gage	SPEC	Specification
GYP BD	Gypsum Board	STLSS	Stainless Steel
HWD	Hardware	STOR	Storage
HARDWD	Hardwood	TEL	Tread
HM	Heavy Metal	THK	Thickness
HT/HGT	Height	TYP	Typ
HOR	Horizontal	VEN	Veneer
INCL	Include (d) (ing)	VERT	Vertical
INS	Insulate (d) (ion)	VIN	Vinyl
INT	Interior	VAT	Vinyl Asbestos Tile
IN M	Intermediate	W	With
JT	Joint	WD	Wood
LBL	Label		
LAM	Laminate		

Project Directory

ARCHITECT

M2 STUDIO, LLC
1200 ANNUNCIATION ST.
NEW ORLEANS, LA 70118

CONTACT : ARCHITECT CHARLES NEYREY
OFFICE : (504) 258-0464

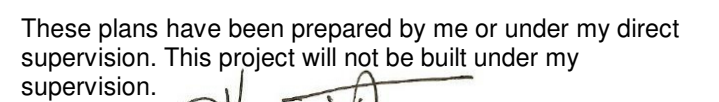
Drawing Index:

General	
g100	TITLE SHEET
g301	ADA Details

Door Schedule						
Tag	Width	Height	Finish	Function	Description	Comments
102A	2' - 10"	6' - 8"		Interior		
103A	2' - 10"	6' - 8"		Interior		
104A	2' - 0"	6' - 8"		Interior		
106A	2' - 10"	6' - 8"		Interior		
108A	6' - 0"	7' - 0"		Interior		
113A	3' - 0"	7' - 0"		Interior		

Scope of work:

- MODIFY INTERIOR FLOOR FINISH ELEVATIONS AS NOTE IN PLAN
- REMOVE + REPLACE WATER DAMAGED GYP. BD.
- NEW LIGHTING PER PLANS
- REMOVE + REPLACE TERMITE DAMAGED STUDS + FRAMING
- INSTALL NEW INTERIOR DOORS AS NOTED IN PLANS



Charles J Neyrey | AIA | LEED AP



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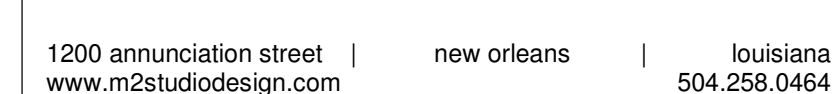
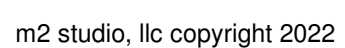
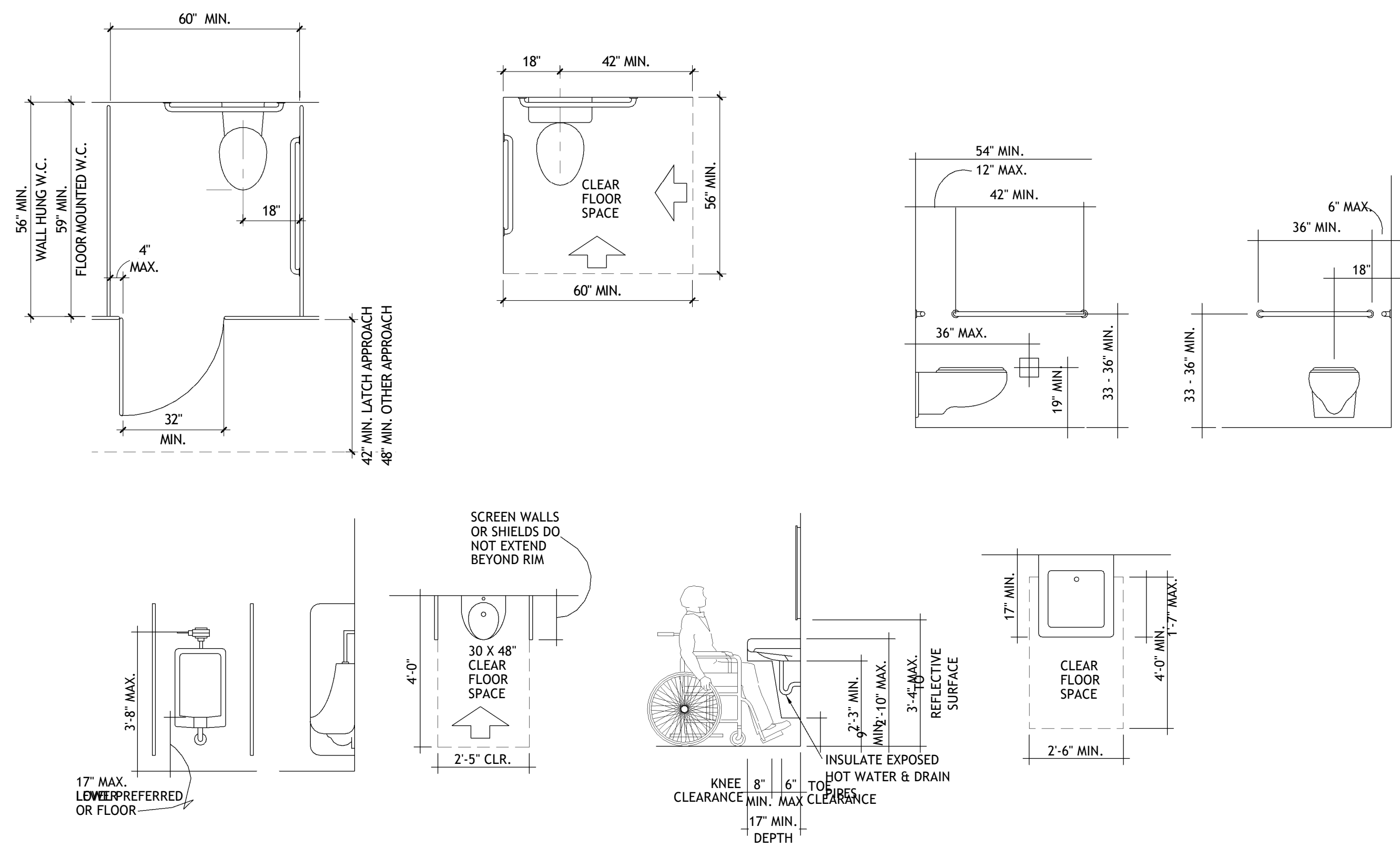
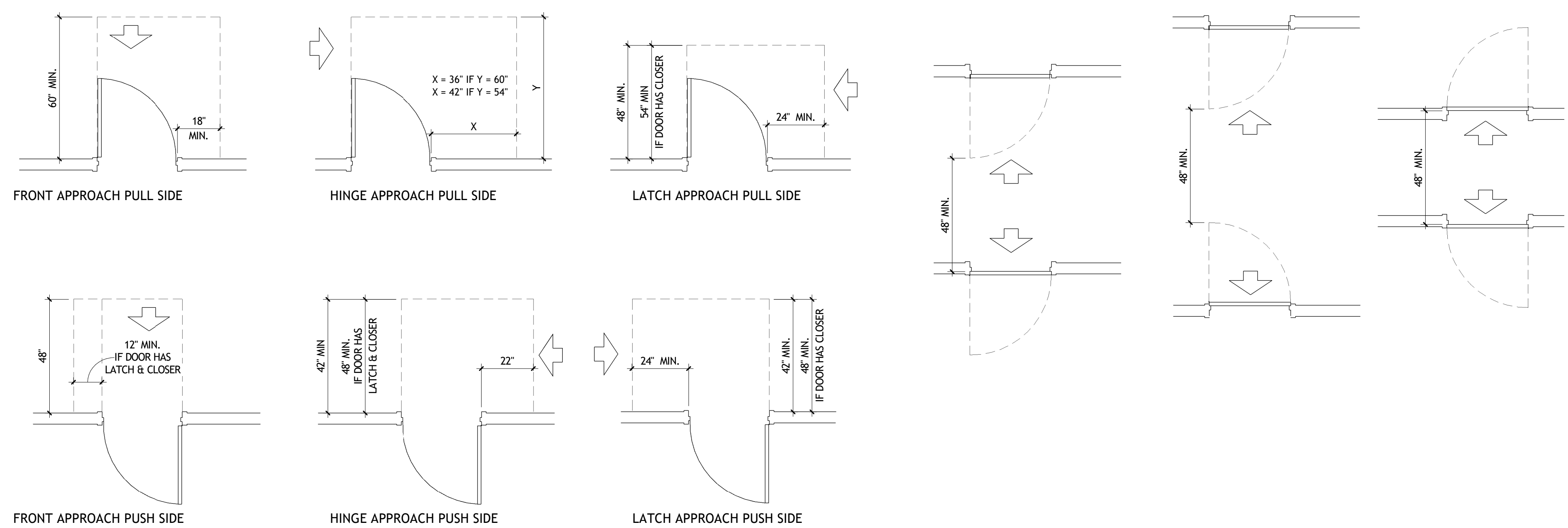
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TITLE SHEET

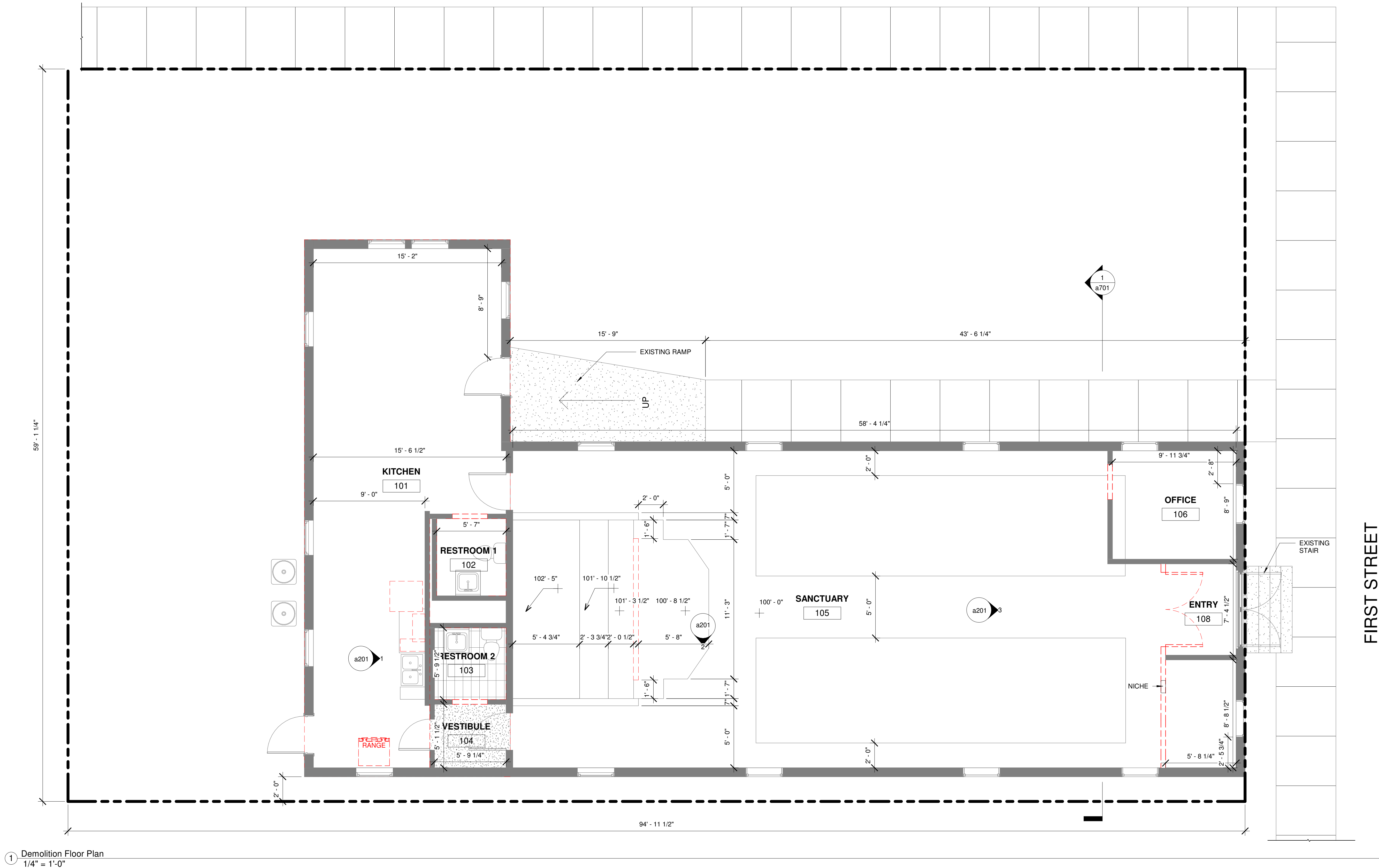
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g301



1 Demolition Floor Plan
1/4" = 1'-0"

demolition notes:

1. perform demolition work in accordance with applicable rules, regulations, codes, and ordinances of local, state, and federal authorities, and in accordance with the requirements of public utility corporations having jurisdiction over the work.
2. ANSI A10.6, 'safety requirements for demolition' shall govern except as otherwise specified herein. Where the requirements specified herein or contained in the ANSI standard differ from the applicable rules, regulations, and codes, the more stringent requirements shall govern the work under this contract.
3. the owner assumes no responsibility for the condition of the structures to be demolished. examine the existing conditions prior to commencement of the work, as far as it is practical.
4. provide and maintain temporary protection of existing structures designated to remain, where demolition, removal, and new work is being done, materials handled or being moved.
5. provide warning signs and all other items as required for the proper protection of workmen engaged in demolition operations, the public and adjacent construction.
6. provide adequate fire protection in accordance with the local fire department requirements.
7. do not close or obstruct streets or sidewalks without the proper permits. conduct operations with the minimum traffic interference.
8. make such explorations and probes as are necessary to ascertain any required protective measures before proceeding with demolition and removal work. give particular attention to shoring and bracing requirements so as to prevent any damage to existing conditions.
9. do not close or obstruct walkways, passageways or stairways without the authorization of the owner. do not store or place materials in passageways, stairs or other means of egress.
10. in general, demolish masonry in small sections. where necessary to prevent the collapse of any construction, install temporary shores, struts, and bracing.
11. DEMOLITION AND REMOVAL WORK SHALL BE AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO MAKE WAY FOR NEW CONSTRUCTION. DO ALL SUCH WORK REQUIRED IN CONNECTION WITH THIS PROJECT WITH DUE CARE, INCLUDING SHORING, BRACING, ETC. BE RESPONSIBLE FOR SUCH DAMAGE WHICH MAY BE CAUSED BY SUCH WORK OR PARTS OF THE EXISTING STRUCTURE AND BUILDING SERVICES.
12. MATERIALS AND/OR ITEMS DESIGNATED ON DRAWINGS ARE TO REMAIN THE PROPERTY OF THE OWNER AND SHALL BE REMOVED WITH CARE AND STORED ON THE SITE DESIGNATED BY THE OWNER.
13. MATERIALS AND/OR ITEMS DEMOLISHED AND NOT DESIGNATED TO BECOME THE PROPERTY OF

14. TAKE PRECAUTIONS TO GUARD AGAINST MOVEMENT OR COLLAPSE OF ANY DESIGNATED CONSTRUCTION OR EQUIPMENT DESIGNATED TO REMAIN, AND BE LIABLE FOR SUCH MOVEMENT OR COLLAPSE.
15. UPON COMPLETION OF ALL WORK UNDER THIS SECTION REMOVE ALL TOOLS, MATERIALS, PLANT, APPURTENANCES AND RUBBISH OF ANY SORT. THE PREMISES SHALL BE LEFT BROOM CLEAN.
16. THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, FITTING, AND PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS, AS SPECIFIED OR AS REASONABLY IMPLIED BY THE DRAWINGS AND NOTES.
17. THE GENERAL CONTRACTOR SHALL PROVIDE ALL FLOOR CUTOUTS AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL WORK.

17. THE GENERAL CONTRACTOR SHALL PROVIDE ALL FLOOR CUTOUTS AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL WORK.
18. THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES INCLUDING CORNER BEADS, STOPS, ETC., FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES. WHEREVER DOOR BUMPS HAVE BEEN REMOVED, AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW FIRST CLASS FINISH INSTALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIR OR IF BEYOND REPAIRING, THEN THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE SATISFACTION OF THE ARCHITECT.
19. ALL OTHER DAMAGED SURFACES (FINISHED FLOOR, CEILING, ETC.) SHALL BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT.
20. ALL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION OR REPAIR CONSTRUCTION WORK SHOWN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIALS, FIRE RATING, FINISH, AND COLOR, UNLESS OTHERWISE NOTED.



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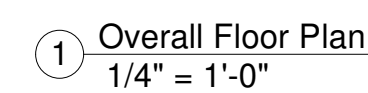
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demo plan

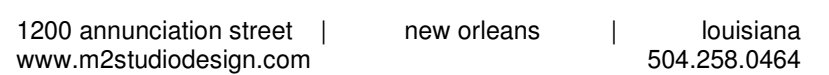
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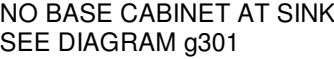
NEW WALLS TO BE 2x4 @ 16" O.C., TYP.
W/ 1 LAYER 5/8" GYP. BP. EACH SIDE



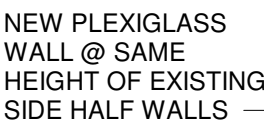
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a100



① KITCHEN ELEVATION
1/2" = 1'-0"



② SANCTUARY ELEVATION
1/2" = 1'-0"



3 ENTRY ELEVATION
1/2" = 1'-0"



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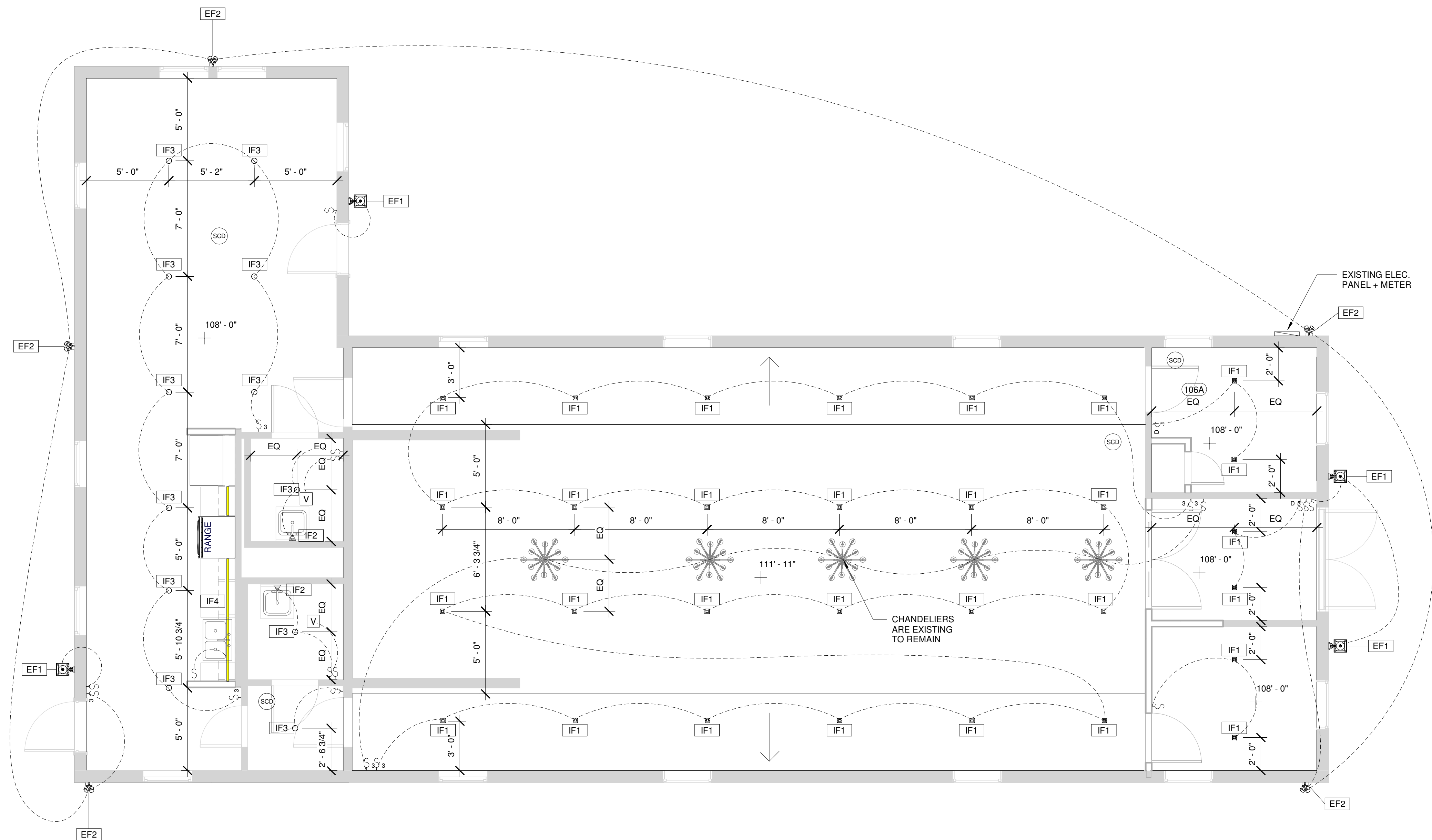
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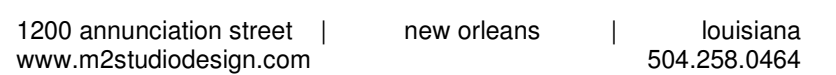
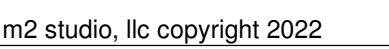
Interior Elevations

2022.311

a201



IF1 - SURFACE MOUNTED LED PUCK LIGHT
IF2 - WALL MOUNT VANITY LIGHT
IF3 - CEILING RECESSED DOWNLIGHT
IF4 - UNDER CABINET LIGHTING
SCD - SMOKE CARBON DETECTOR
V - VENTILATION
EF1 - EXTERIOR WALL SCONCE
EF2 - FLOODLIGHT

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**Second Mount
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First Floor RCP - Electrical

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e101