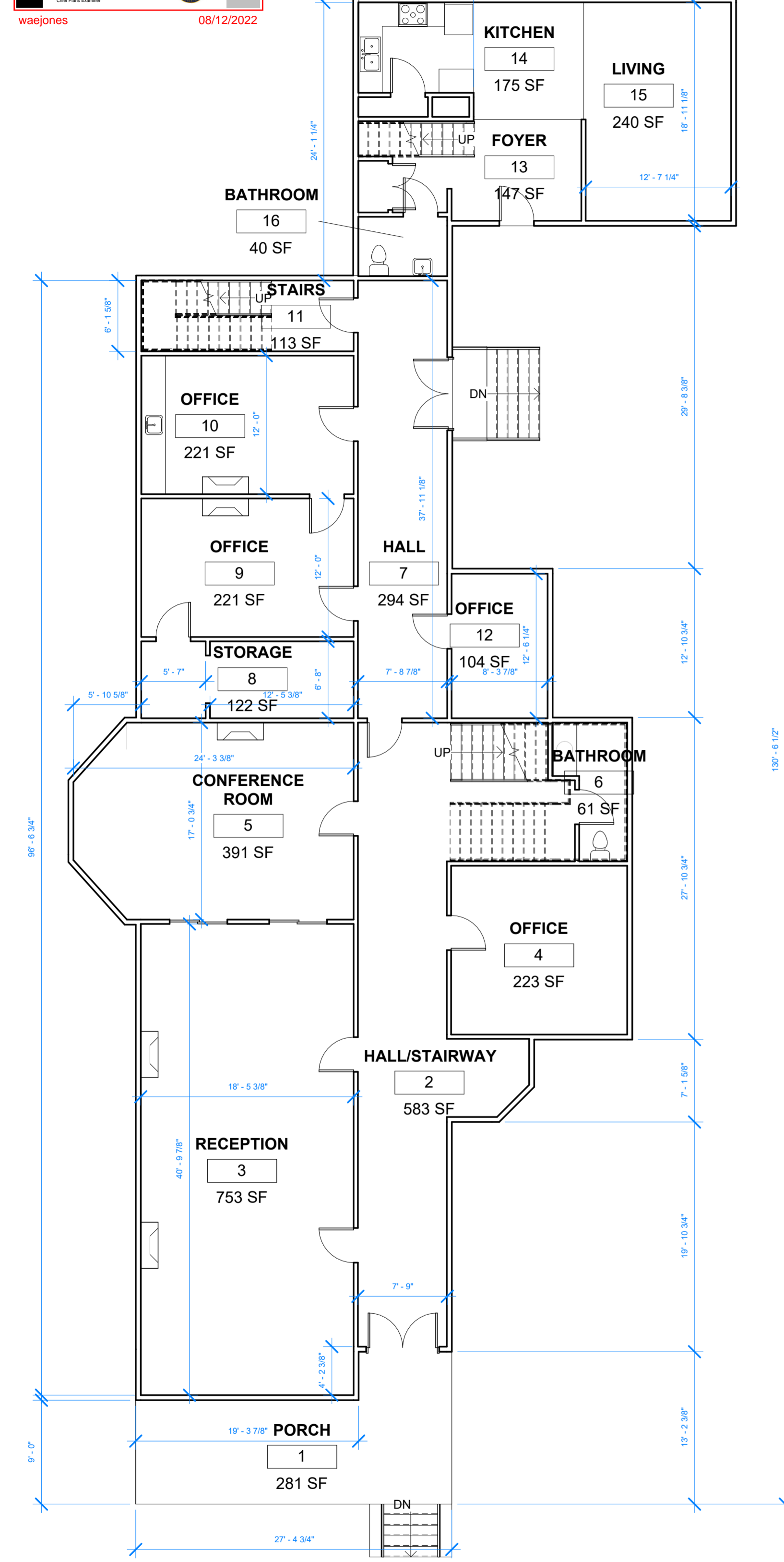
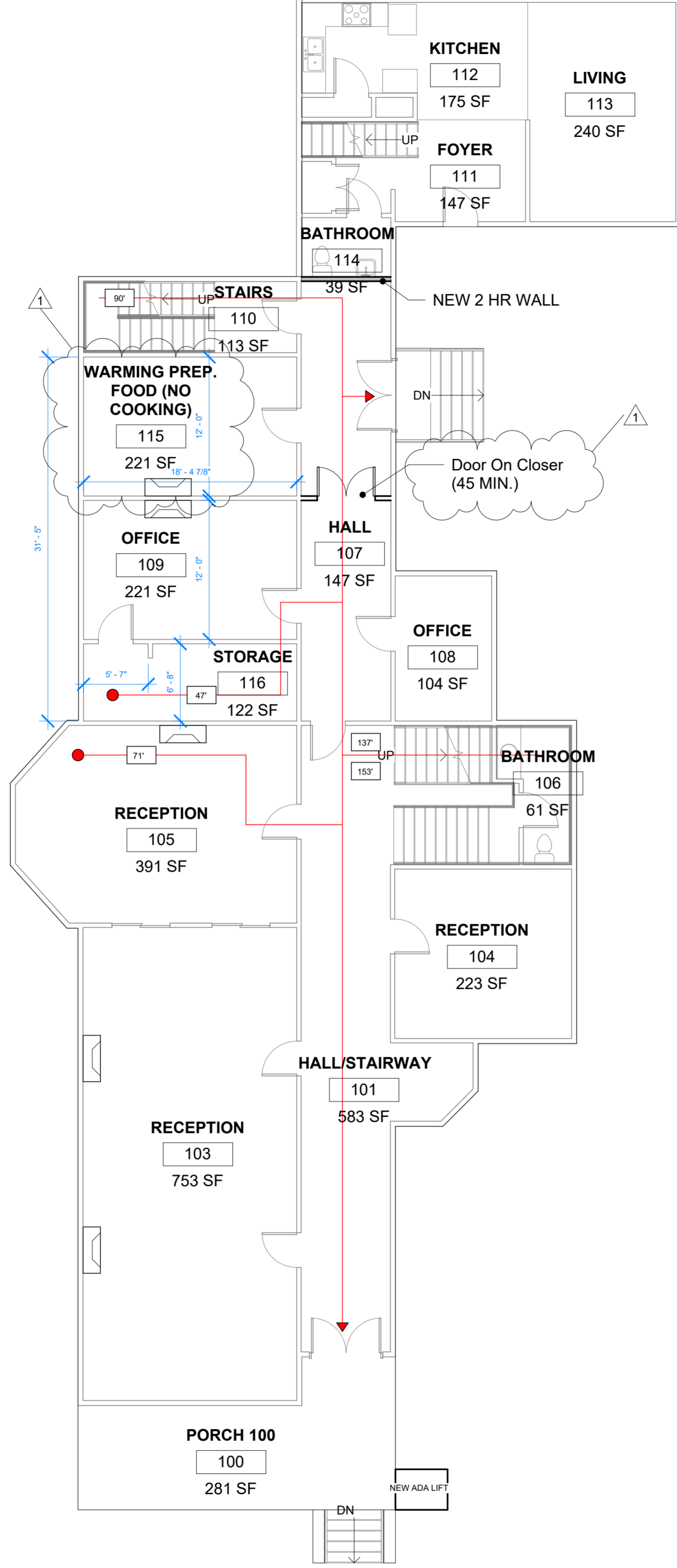


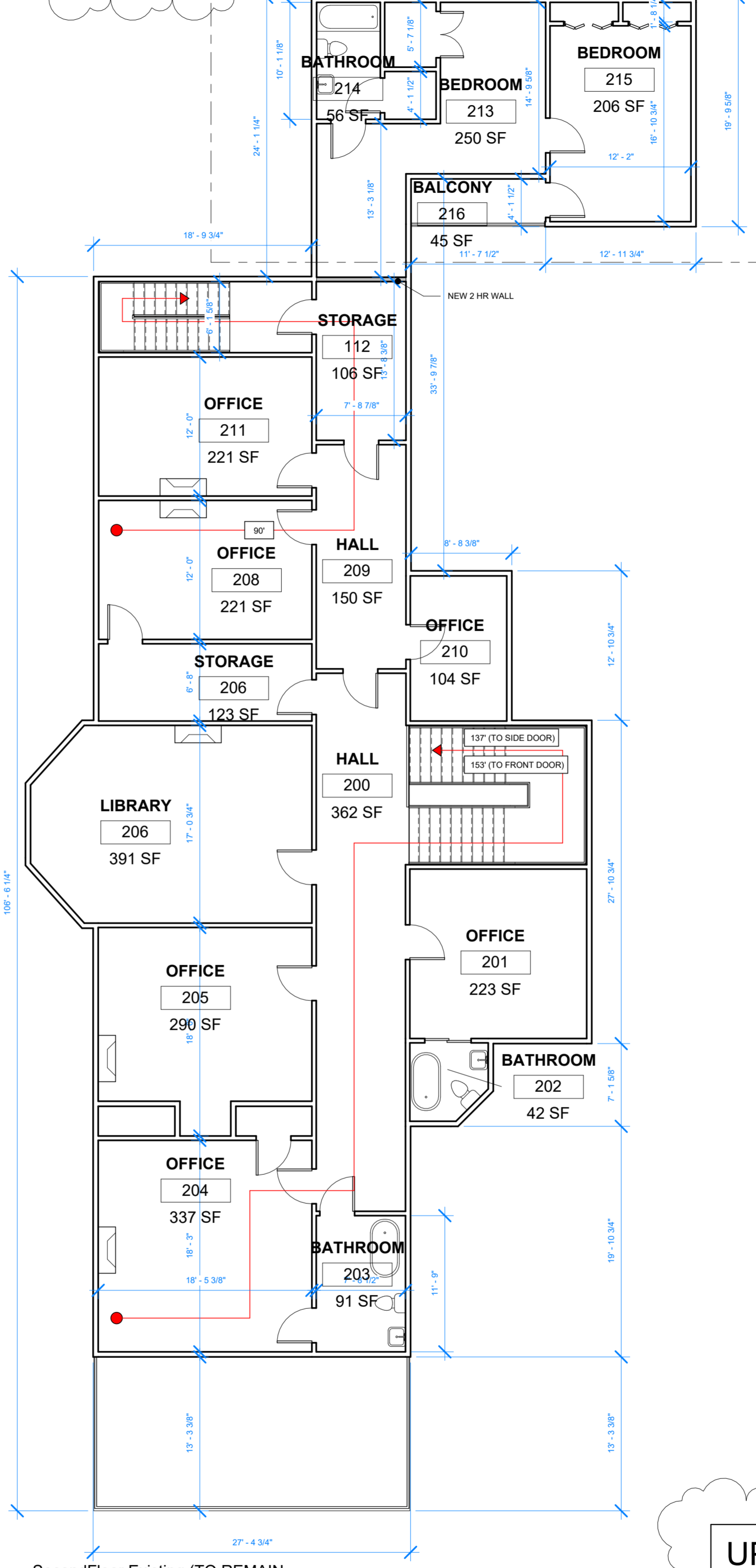
**FINAL PERMIT RELEASE**  
 DEPARTMENT OF SAFETY AND PERMITS  
 PLAN REVIEW DIVISION  
 These plans and specifications have been reviewed and approved for deviation from the International Building Code (IBC), as amended by the City of New Orleans, Louisiana. This approval is contingent upon installation and work complying with the code during the construction and final inspection upon completion.  
 Any changes to or deviation from approved plans must be reviewed and approved by the Department of Safety and Permits and work must stop until the revised plans have been reviewed and approved.  
 Work beyond that which is specified in these approved drawings is not authorized. Responsibility for the safety of the building is retained by the contractor. The contractor shall be responsible for compliance with the International Building Code and/or verification of the building plans.  
 W. Jones  
 08/12/2022  
**REVIEWED FOR CODE COMPLIANCE**



1 First Floor Existing



3 First Floor New



2 Second Floor Existing (TO REMAIN UNCHANGED)

**PROJECT DATA**  
**PROJECT:**  
 2125 St Charles Ave  
 New Orleans LA, 70130

**PROJECT DESCRIPTION:**

- DESCRIPTION OF WORK ALTERATION LEVEL 1 COSMETIC REPAIRS; NO WORK TO R-3, NO WORK TO UPPER LEVEL REMAINS B
- CONVERSION OF GROUND FLOOR OFFICES INTO A 1367 SQ FT RECEPTION SPACE
- IBC B&A OCCUPANCY
- NFPA 101 ASSEMBLY
- OCCUPANCY LOAD: 114
- TYPE VA CONSTRUCTION

**BUILDING INFORMATION**

- 7876 SF CONDITIONED
- UNRATED HISTORIC EXIT STAIR @ MAIN STAIR
- NON-SPRINKLERED
- 2 EGRESS DOORS
- OPERATIONAL HRS 7PM-2AM
- NFPA 72 ALARMS

**CODE INFORMATION**

- INTERNATIONAL BUILDING - 2015 EDITION
- INTERNATIONAL EXISTING BUILDING CODE - 2015 EDITION
- INTERNATIONAL MECHANICAL CODE 2015 - EDITION
- INTERNATIONAL FEUL CODE - 2012 EDITION
- INTERNATIONAL PLUMBING - 2015 EDITION
- NATIONAL ELECTRIC CODE - 2014 EDITION
- NFPA LIFE SAFTY 101 - 2015 EDITION
- AMERICANS WITH DISABILITIES ACT (ADAAG) - 2010

**CODE DATA**

- FLOOD NOT SUBSTANTIAL RENOVATION (LESS THAN 50% COST)
- NO HAZARDOUS STORAGE
- NO MEZZAINES
- 2 STORY
- WALL FINISHES PER CHAPTER 8
- NFPA 72 FIRE ALARM
- NFPA REVIEW
- MAIN EXIT CAN EGRESS 50% OF OCCUPANTS
- ADA FACILITIES DOORS, RESTROOMS, GAMES, BATHROOM, DOOR SWING, GRAB BARS, HANDRAILS

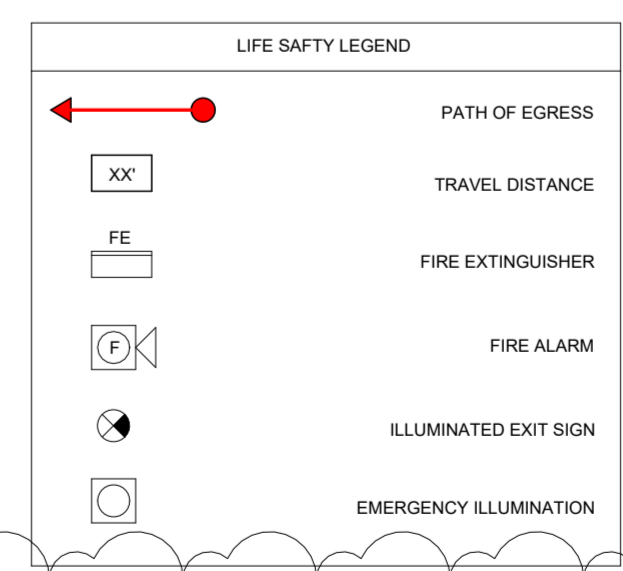
**GC NOTES**

- FOR ANY QUESTIONS PLEASE CONSULT WITH ARCHITECT
- MATERIALS/METHODS ARE RESPONSIBILITY OF CONTRACTOR

**OCC. LOAD CALCS**

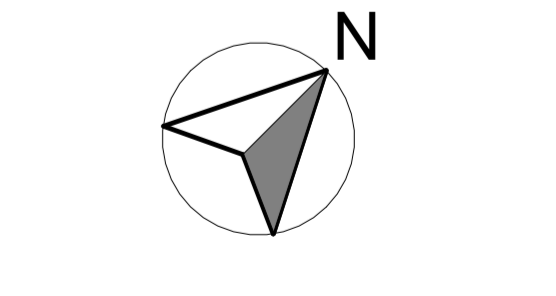
OFFICES	1723/100	= 18
RECEPTION	1331/15	=89
RESIDENTIAL	1339/200	=7
<b>TOTAL</b>		<b>=114</b>

**4000 SQFT LOWER LEVEL  
 3922 SQFT UPPER LEVEL**



**UPPER LEVEL TO BE UNOCCUPIED DURING EVENTS**

No.	Description	Date
1	NOTES	05.19.22



**PLANS**

Project name 2125 SCA  
 Project number 22001  
 Date 5/3/22  
 Drawn by MG  
 Checked by ZS

**A001**

**ZACH SMITH CONSULTING & DESIGN**

530 S Norman C Francis Parkway Suite 102  
 New Orleans, LA 70119  
 zach@zachsmithconsulting.com  
 +1 (504) 383-3748

