ROLDAN RESIDENCE RENOVATION/ADDITION

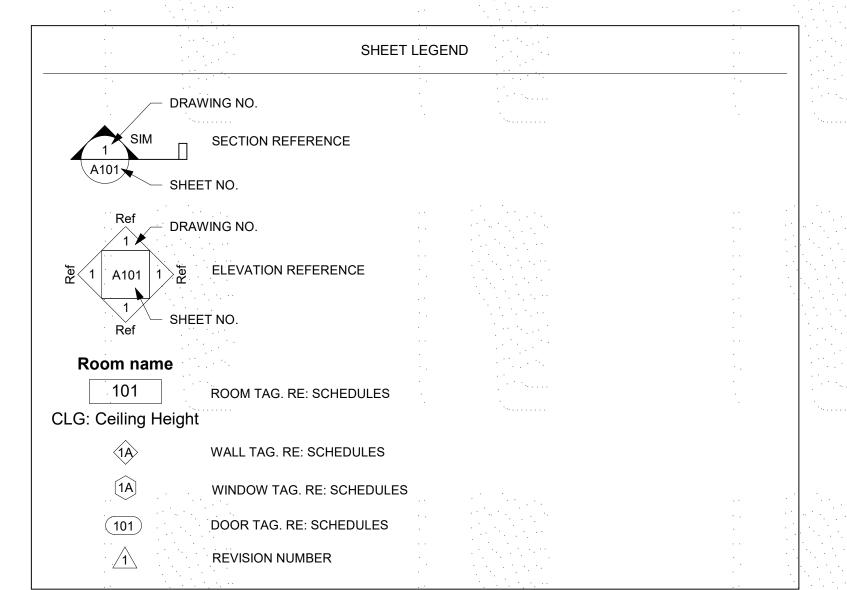
517 DUFOSSAT ST. NEW ORLEANS, LA 70115

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• •	AB	BREVIATIO	NS	•••		• .
A/C	AIR CONDITIONING		HR		HOUR	
A.F.F.	ABOVE FINISHED FLOOR		HVAC		HEATING, VENTILATION	.& A/C
A.F.G.	ABOVE FINISHED GRADE		H.W.		HOT WATER HEATER	,
ALT.	ALTERNATE		I.A.W.		IN ACCORDANCE WITH	
BDB	BEADED-BOARD		INSUL.		INSULATION	
BLDG.	BUILDING		INT.	٠.	INTERIOR	
CL	CENTERLINE		MFR		MANUFACTURER	
CLG	CEILING		MAX.		MAXIMUM	
CLR	CLEARANCE	•	MECH.		MECHANICAL	٠.
CMU	CONCRETE MASONRY UNIT		MIN.		MINIMUM	
CONC.	CONCRETE	٠.	N.I.C.		NOT IN CONTRACT	٠.
CONT.	CONTINUOUS		N.T.S.	1	NOT TO SCALE	
C.J.	CONTROL JOINT	• •	O.C.		ON CENTER	
COORD.	COORDINATE	• .	PLUMB.	٠.	PLUMBING	٠.
DECOR.	DECORATIVE		PT		PAINT	
DTL.	DETAIL		PLY.		PLYWOOD	•
DIAM.	DIAMETER		PL		PROPERTY LINE	
DIM.	DIMENSION		PTL		PRESSURE TREATED W	/OOD
DN	DOWN		PRIM.		PRIMARY	
D.S.	DOWNSPOUT		P.V.		PHOTOVOLTAIC	
ELEC.	ELECTRICAL		RE.	٠.	REFERENCE	
ELEV.	ELEVATION	٠.	REQD.		REQUIRED	٠.
EQ	EQUAL		RD		ROOF DRAIN	
EQUIP	EQUIPMENT		RM		ROOM	
E.J.	EXPANSION JOINT		SCHED.	• •	SCHEDULE	
EXT.	EXTERIOR		SECT.		SECTION	
F.B.O.	FURNISHED BY OWNER		SIM.		SIMILAR	
FD	FLOOR DRAIN		SHTG	٠.	SHEATHING	
FLASH.	FLASHING		SPEC.	٠	SPECIFIED	
FLR	FLOOR		STURC		STRUCTURAL	
FIN.	FINISH		THK.		THICK	
F.F.L.	FINISHED FLOOR LEVEL		T&G		TONGUE & GROOVE	
GC	GENERAL CONTRACTOR		TYP.		TYPICAL	
GYP.	GYPSUM BOARD		VERT.		VERTICAL	
HT.	HEIGHT		V.I.F.		VERIFY IN FIELD	
HOR.	HORIZONTAL		W/		WITH	
		• •	WDW	٠.	WINDOW	
			WC		WATER CLOSET	



SCOPE OF WORK

RENOVATION/ADDITION OF EXISTING 2 STORY CAMELBACK. ENLARGED FOOTPRINT AT 1ST AND 2ND FLOOR WITH NEW REAR PORCH. RELOCATE EXISTING CONDENSERS. NEW FINISHES THROUGHOUT. REPAIR WATER DAMAGE TO REPAIRED AS PART OF THIS CONTRACT. NEW MEP AS REQ'D. REPAIR ANY EXISTING DAMAGE AND REPAIR EXISTING

PROPOSED

TOTAL UNDER BEAM: 2,401 SQ.FT.

FIRST FLOOR: 1,116 SQ.FT. (261 SQ.FT. NEW) FRONT PORCH: 247 SQ.FT. (50 SQ. FT. REMOVED) REAR PORCH: 145 SQ.FT.

SECOND FLOOR: 740 SQ.FT. (135 SQ.FT. NEW)
UPPER SIDE PORCH: 55 SQ.FT. (50 SQ. FT. REMOVED)
UPPER REAR PORCH: 98 SQ.FT.

SQUARE FOOTAGES

EXISTING

FIRST FLOOR: 855 SQ.FT. FRONT PORCH: 297 SQ.FT. REAR PORCH: 145 SQ.FT. SECOND FLOOR: 605 SQ.FT. UPPER SIDE PORCH: 105 SQ.FT UPPER REAR PORCH: 98 SQ.FT

TOTAL UNDER BEAM: 1,651 SQ.FT.

ZONING INFORMATION

MUNICIPAL DISTRICT: 6 SQUARE / BLOCK: 126 PARISH: ORLEANS **ZONING DISTRICT: HU-RD2** SITE AREA: 3,300 SQ.FT.

ARCHITECT:

STRUCT. ENGINEER:

ADAMICK ARCHITECTURE 1139 Oretha Castle Haley Blvd. Second Floor New Orleans, LA 70113

504.322.1220

Contact: Alec Adamick E-mail: alec@adamickarchitecture.com

AXIS ENGINEERING 3500 N. Causeway Blvd #1100 Metairie, LA 70002

504.380.0800

Contact: James Heaslip E-mail: james@Axisengr.com

CONTRACTOR:

T.B.D.

Kristy and Chad Roldan 517 Dufossat St. New Orleans, LA 70115

323.719.3422

OWNER:

Contact: Kristy Roldan E-mail: kristyroldan@gmail.com



No.	Descr	iption	Date
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ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70	0115
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COVER	SHEET &
GENERAL	PROJECT

INFO

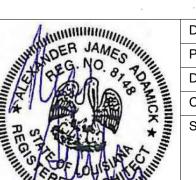
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DD-1

SD-1

EC-1



06 JUL. 2022

20 MAY. 2022

23 MAR. 2022

04 FEB. 2022

01 FEB. 2022

Project: #2021-40

ROLDAN RESIDENCE RENOVATION/ADDITION

> DATE: 6/7/2022 9:53:58 AM DRAWING BY:: CHECKED BY SHEET NO .: CAD FILE NO: 2021-XX\PDF OUT\SD 1/26

INDEMNIFIED LINDER THIS PROVISION

BUILDING MANAGEMENT.

PROPER DISPOSAL REQUIRED.

THE EXECUTION OF THE WORK.

OR DISCREPANCIES PRIOR TO BIDDING THE PROJECT.

11. CONTRACTOR TO WARRANTEE ALL WORK FOR ONE YEAR.

OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.

PROPOSED CONSTRUCTION AREA, INCLUDING AFTER HOURS.

TRADES (PLUMBING, ELECTRICAL, MECHANICAL, ETC.).

OTHERWISE NOTED ON THE DRAWINGS.

DEGREES FAHRENHEIT) IN RETURN AIR A/C STREAMS.

31. CAULKING ON EXTERIOR SHALL BE TOP QUALITY SILICONE CAULK.

SIGNING. ALL PAINT TO BE HIGHEST QUALITY BY THE MANUFACTURER.

REGULATIONS AND ORDINANCE ARS 40-1603.

THROUGHT THE BATHROOM.

BEFORE THAT ITEM IS CONSIDERED APPROVED BY THE ARCHITECT.

WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW ORLEANS CITY BUILDING CODE, FIRE DEPARTMENT

BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE

THIS AGREEMENT BETWEEN OWNER AND ARCHITECT DOES NOT INCLUDE CONSTRUCTION PHASE SERVICES UNLESS

OWNER SHALL BE SOLELY RESPONSIBLE FOR INTERPRETING THESE DRAWINGS AND OBSERVING THE WORK OF THE CONTRACTOR TO DISCOVER, CORRECT OR MITIGATE ERRORS, INCONSISTENCIES AND OMISSIONS, AND THAT IF THE

OWNER SHALL NOT BRING ANY CLAIM AGAINST THE ARCHITECT AND SHALL FULLY INDEMNIEY AND HOLD THE ARCHITECT

SUCH CLAIM, LOSS, DAMAGE OR EXPENSE ARISES OUT OF OR RESULTS IN WHOLE OR IN PART FROM SUCH DEVIATIONS.

EXPENSES, INCLUDING BUT NOT LIMITED TO DEFENSE COSTS AND THE TIME OF THE ARCHITECT. TO THE EXTENT THAT

4. ALL CONTRACTORS ARE RESPONSIBLE FOR NOTIFYING THE ARCHITECT / BUILDING OWNER OF ANY ERRORS, OMISSIONS,

5. CONTRACTOR SHALL ASK FOR DETAILS WHENEVER UNCERTAIN ABOUT METHODS OF INSTALLATION. LACK OF DETAILS

THESE DRAWINGS ARE COMPLEMENTARY TO ONE ANOTHER. WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF

CALLED FOR BY ALL AND ALL PARTIES INVOLVED SHALL BECOME FAMILIAR WITH ALL SHEETS OF DRAWINGS AND SPECIFICATIONS (IF ANY) AND NOT SIMPLY THEIR OWN WORK IN ORDER TO FULLY UNDERSTAND AND DEVELOP THE

7. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF

8. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND

12. SITE SHALL BE LEFT NEAT DAILY. PROVIDE COMPLETE CLEAN UP ON A WEEKLY BASIS. NO TRASH STORED IN BUILDING.

SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.

16. DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA; AND

18. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING

19 CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ALL CHANGES AND SHALL MARK SAME IN INK ON A SEPARATE CLEAN SET OF THESE DRAWINGS DURING THE CONSTRUCTION, INCLUDING LOCATION OF ALL UNDERGROUND UTILITIES.

20. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER

21. FINISH SUBMITTALS - FOR PURPOSES OF ABSOLUTE CONFIRMATION, THE CONTRACTOR SHALL SUBMIT TWO "FINISH SAMPLE SUBMITTALS" FOR ANY/ALL ITEM(S) THAT NEEDS AND/OR HAS/HAVE A CHOICE OF FINISH OR COLOR TO BE SELECTED AS WELL AS ANY/ALL ITEM(S) LISTED ON THE DRAWINGS OR SPECIFICATIONS REQUIRING THAT FINISHES BE SELECTED BY THE ARCHITECT OR OWNER. THE FIRST SAMPLE(S) WILL BE RETURNED AND SIGNED "APPROVED"

CONTRACTOR SHALL FURNISH OWNER AND ARCHITECT EACH A COPY OF THIS RECORD BEFORE FINAL COMPLETION AND

INITIALED, AND DATED BY THE ARCHITECT ONLY WHEN THAT FINISH HAS BEEN APPROVED. THE OTHER SAMPLE(S) WILL BE USED AS A CONTROL SAMPLE. THE FINISH SAMPLE SUBMITTAL MUST BE SIGNED "APPROVED", INITIALED AND DATED

22. THE PLUMBING, MECHANICAL, AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES,

24. THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND

EXTERIOR FACE OF EXTERIOR STUDS, UNLESS OTHERWISE NOTED ON THE DRAWINGS. WHEN DIMENSIONS ARE TO AN EXISTING WALL, COLUMN OR FENESTRATION, ALL DIMENSIONS SHALL BE FROM THE FACE OF EXISTING FINISH, UNLESS

23. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK

25. ALL DIMENSIONS ARE TO FACE OF FINISH, CENTER OF COLUMNS AND FENESTRATION, OR TO FACE OF BRICK AND

26. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR

27. AIR CONDITIONING WILL CONFORM TO IBC & NFPA. PROVIDE MANUAL RESET FIRESTADT (SETTING NOT TO EXCEED 136

28. ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL

29. ALL LIGHTING FIXTURES TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR, UNLESS NOTED IN FIXTURE

32. PAINT GRADE TO BE SHERWIN WILLIAM EMERALD INTERIOR OR EQUIVALENT. ALL WORK TO RECEIVE THREE (3) COATS.

OWNER. COLOR AND FINISH TO BE SELECTED BY OWNER, AND VERIFIED BY CONTRACTOR PRIOR TO CONTRACT

34. NEW 1/2" SHEETROCK LEVEL FOUR (4) FINISH FOR ALL WALLS & 5/8" SHEETROCK LEVEL FOUR (4) FOR CEILING UNLESS SPECIFIED OTHERWISE. CONTRACTOR TO VERIFY EXISTING AND PROPOSED FINISHES OF SHEETROCK SURFACES AND

ASCERTAIN WITH OWNER WHETHER TO MATCH EXISTING OR UPGRADE FINISH, AND TO INCLUDE IN ORIGINAL BID AS

35. ALL NEW AND RENOVATED BATHROOMS TO RECIEVE 1/2" LEVEL FOUR (4) MOISTURE RESISTANT SHEETROCK INSTALLED

37. USE 6 INCH STUDS AT PLUMBING WALLS. PROVIDE METAL "SHOES" IN FRAMING TO PROTECT PLUMBING AND ELECTRICAL.

39. PROVIDE A TOP QUALITY INSULATING BLANKET FOR ALL NEW WATER HEATERS. TANKLESS WATER HEATERS SHALL NOT

MINIMUM R VALUES TO BE R-13 IN 2X4 STUD WALLS AND R-19 IN 2X6 STUD WALLS, R-13 IN FLOORS, AND R-30 IN CEILINGS.

36. ALL BATT INSULATION SHALL HAVE CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.

38. PROVIDE A GALVANIZED METAL PAN WITH DRAIN AT A/C EVAPORATOR LOCATIONS AND PVC PAN BENEATH WASHING MACHINES LOCATED ABOVE FIRST FLOOR. CONTRACTOR TO VERIFY LOCATION OF A/C DRIP PAN DRAIN PIPE.

PAINT FINISH TO BE EGG-SHELL ON WALLS AND CEILINGS AND SEMI-GLOSS ON TRIM, UNLESS OTHERWISE, SELECTED BY

30. ALL MATERIALS SHALL BE NEW AND U.L. APPROVED UNLESS SPECIFICALLY DESIGNATED OTHERWISE.

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE

13. OWNER SHALL PAY FOR ALL WATER AND POWER USED TOWARD CONSTRUCTION, FROM EXISTING SOURCES.

14. ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL

15. ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA. AND/OR IN ANY AREA OF THE BUILDING ARE TO BE

BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.

NOT REQUESTED SHALL NOT EXCUSE IMPROPER INSTALLATION, AND CORRECTION SHALL BE MADE THE RESPONSIBILITY

OTHERWISE NOTED. ACCEPTANCE OF THESE DRAWINGS BY THE OWNER SIGNIFIES THEIR AGREEMENT THAT THE

OWNER AUTHORIZES DEVIATIONS, RECORDED OR UNRECORDED, FROM PLANS PREPARED BY THE ARCHITECT, THE

ITS PARTNERS, ASSOCIATES AND EMPLOYEES HARMLESS FROM AND AGAINST CLAIMS, LOSSES, DAMAGES AND

REGARDLESS OF WHETHER OR NOT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE IS CAUSED IN PART BY A PARTY

DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING ORLEANS

REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.

THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.

9. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY REGULATORY INSPECTORS.

10. ALL CONSTRUCTION SHALL COMPLY WITH CITY, STATE AND NATIONAL CODES AS REQUIRED.

1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

No.	Description	Date

49. GUARDRAILS: GUARDS SHALL BE AT LEAST 36 INCHES HIGH MEASURED VERTICALLY TO THE TOP OF THE GUARD FROM THE SURFACE ADJACENT THERETO. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER SHALL NOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIR SHALL BE OF SUCH SIZE THAT A SPHERE 6 INCHES IN DIAMETER SHALL NOT PASS THROUGH THE

TRIANGULAR OPENINGS. GUARDS SHALL BE REQUIRED IN ALL AREAS MORE THAN 30 INCHES OR 4 RISERS ABOVE THE

- 50. AS PER NFPA 101 2015 EDITION, SECTION 7.2.2.4:HANDRAILS ON STAIRS SHALL BE AT LEAST 34" INCHES AND NOT MORE THAN 38" INCHES ABOVE THE SURFACE OF THE TREAD, MEASURED VERTICALLY TO THE TOP OF THE RAIL FROM THE LEADING EDGE OF THE TREAD. NEW HANDRAILS SHALL PROVIDE A CLEARANCE OF AT LEAST 2-1/4 INCHES BETWEEN THE HANDRAIL AND THE WALL TO WHICH IT IS FASTENED. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF AT LEAST 1-1/2" INCHES AND NOT MORE THAN 2" INCHES, NEW HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE ALONG THE ENTIRE LENGTH. NEW HANDRAIL ENDS SHALL BE RETURNED TO THE WALL OR FLOOR OR TERMINATE AT NEWEL POSTS, HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRS. SPIRAL STAIRS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS SHALL BE
- REQUIRED ON STAIRS WITH AN ELEVATION DIFFERENCE GREATER THAN 21" INCHES. TREADS SHALL BE OF UNIFORM DEPTH AND RISER OF UNIFORM HEIGHT IN ANY STAIRWAY BETWEEN TWO FLOORS. THERE SHALL BE NO VARIATION EXCEEDING 3/16" INCH IN THE DEPTH OF ADJACENT TREADS OR IN THE HEIGHT OF ADJACENT RISERS AND TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER OR BETWEEN THE LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 3/8" INCHES IN ANY FLIGHT. TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE
- 52. ALL WINDOWS ON FRONT FACADE SHALL BE WOOD UNLESS OTHERWISE NOTED IN THE WINDOW SCHEDULE. 53. ALL WINDOW UNIT SIZES ARE GIVEN IN ACTUAL FRAME SIZE. CONTRACTOR TO VERIFY ROUGH-OPENING AND INSTALLATION REQUIREMENTS WITH MANUFACTURER.
- 54. ALL NEW GLASS OPENINGS SHALL BE PROTECTED AGAINST WINDBORNE DEBRIS WITH ONE OF THE FOLLOWING OPTIONS: A WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16 INCH AND A MAXIMUM SPAN OF 8 FEFT PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING: (1) SPAN LESS THAN OR EQUAL TO 6 FEET: 2 1/2" #8 WOOD SCREWS @ 16" O.C. (2) FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL. (3) WHERE SCREWS ARE ATTACHED TO MASONRY OR MASONRY/STUCCO, THEY SHALL BE ATTACHED UTILIZING VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 490 LBS. B. IMPACT RESISTANT GLASS PER ASTM E 1986 OR ASTM E 1996 OR APPROVED TEST METHODS FOR PERFORMANCE CRITERIA. C. SHUTTERS CERTIFIED PER THE FOLLOWING TESTS: UNIFORM STATIC AIR PRESSURE - TAS 202, ASTM E330, LARGE MISSILE IMPACTS - TAS 201, ASTM E1996, CYCLIC WIND PRESSURE LOADING - TAS 203, ASTM E1886.
- 55. NEW WINDOWS INSTALLED IN STAIR LANDING AREAS WITHIN FIVE FEET OF THE LANDING FLOOR SHALL BE SAFETY GLAZED PER R308.4 OF THE IRC 2015.
- 56. NEW WINDOWS INSTALLED IN BATHROOM ENCLOSURES THAT MEASURE LESS THAN 60" FROM THE FLOOR SHALL BE SAFETY GLAZED IN ACCORDANCE WITH SECTION R308 4 OF THE IRC 2015.
- 57. THE CONTRACTOR SHALL GRADE THE SITE AS REQUIRED TO ENSURE PROPER RAIN WATER DRAINAGE AND RUNOFF, NO PART OF THE SITE SHALL BE ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES, NOR SHALL RUNOFF BE ALLOWED TO ACCUMULATE NEXT TO THE EXISTING OR PROPOSED STRUCTURE
- 58. ALL DOWNSPOUTS TO TERMINATE AT SUB-SURFACE DRAINAGE, PAVING OR SPLASH BLOCKS AS REQUIRED.
- 59. SITE FLATWORK (WALKS, DRIVES, ETC.,) TO BE 3,000 P.S.I. CONCRETE, 4" TO 6" THICK, WITH 6/6 WELDED WIRE MESH OR AS PER ENGINEER'S DRAWINGS / SPECIFICATIONS.
- 60. THE ARCHITECT AND ARCHITECTS CONSULTANTS SHALL HAVE NO RESOPNAIBLITY OR LIABILITY REGARDING THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.
- WHERE FLOOR / CEILING ASSEMBLIES OR COMMON WALL ASSEMBLIES ARE REQUIRED TO HAVE A FIRE RESISTANT RATING, ELECTRICAL FIXTURES, DUCTWORK, AND PLUMBING SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANT RATING IS NOT REDUCED.
- 62. ALL BATHROOMS TO BE MECHANICALLY VENTED USING AN EXHASUT FANAS REQUIRED BY THE IRC 2015.
- 63. ALL EXTERIOR DOORS SHALL BE SOLID WOOD DOORS, UNLESS OTHERWISE NOTED IN THE DOOR SCHEDULE.

SMOKE AND CARBON MONOXIDE DETECTION

- DWELLING UNITS SHALL BE FOUIPPED WITH SMOKE DETECTING DEVICES RECEIVING THEIR PRIMARY POWER FROM THE BUILDING WIRING AND THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT; PROVIDED, HOWEVER THAT DWELLING UNITS IN EXISTING BUILDINGS MAY, IN THE ALTERNATIVE BE EQUIPPED WITH BATTERY-OPERATED SMOKE DETECTING DEVICES EXCEPT WHERE SUCH BUILDINGS ΓIALLY IMPROVED OR ALTERED ON OR AFTER JANUARY 1, 198:
- BATTERY OPERATED SMOKE DETECTORS SHALL BE CONSIDERED CAPABLE OF BEING CONVERTED TO AUDIBLE AND
- ALL SMOKE DETECTING DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A NATIONALLY RECOGNIZED INDEPENDENT LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS OF EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE.
- SMOKE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS: A. ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET (4572 MM) FROM THE DOOR TO SUCH ROOM
- IN EACH ROOM USED FOR SLEEPING PURPOSES. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS
- CARBON MONOXIDE DETECTION DEVICES SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING. THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVERCURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.
- CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS: A. OUTSIDE OF ANY ROOM USED FOR SLEEPING PURPOSES, WITHIN 15 FEET (4572 MM) OF THE ENTRANCE TO SUCH
- B. IN ANY ROOM USED FOR SLEEPING PURPOSES.
- ON ANY STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- 33. INTERIOR WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING OF 0-75 AND A SMOKE DEVELOPMENT RATING OF
 - ALL CARBON MONOXIDE DETECTION DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER. APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A
 - NATIONALLY RECOGNIZED INDEPENDENT LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS OF EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE.

THAN ONE FULL STORY BELOW THE UPPER LEVEL.

LIME RICH MORTAR RECIPE

SALTS AND VEGETABLE MATTER. AGGREGATE SHALL CONFORM TO THE FOLLOWING SIZE GRADATION. WATER: SHALL BE CLEAN AND FREE OF ACIDS, ALKALINES OR ORGANIC MATERIALS.

40. ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" WIDE SHEET OF PLYWOOD SHEATHING SHALL BE	NO. 16	0	10
PROVIDED EVERY 20 FEET OF WALL LENGTH.	NO. 30	10	40
	NO. 50	30	65

- 41. INSTALL 2X BLOCKING AT MID-SPAN WITHIN ALL NEW WALLS THAT HAVE CEILING HEIGHTS GREATER THAN 8'-0". 42. PROVIDE (2) 2X10 HEADERS FOR ALL NEW OPENINGS BETWEEN 3'-0" AND 5'-0" WIDE. PROVIDE (2) 2X8 HEADERS TO ALL
- NEW OPENINGS LESS THAT 3'-0" WIDE.
- 43. ALL NEW WOOD FRAMING AND FASTENERS SHALL COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUAL 9WFCM) BY
- THE AMERICAN FOREST AND PAPER ASSOCIATION.
- 44. ALL NEW FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE, S4S, NO. 2 OR BETTER, 15% MAXIMUM MOISTURE
- 45. NEW PLYWOOD SUB-FLOORING SHALL BE 3/4 TONGUE AND GROOVE, APA RATED 48/24, NAILED AND GLUED TO FLOOR JOIST WITH 8D NAILS. NAIL SPACING SHALL BE 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE
- A. ALL NEW WOOD THAT COME INTO CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. ALL EXPOSED

- EXTERIOR WOOR SHALL BE TREATED TO THE FOLLOWING SPECIFICATIONS. a. .25 TREATED WOOD NOT IN CONTACT WITH THE GROUND.
- b. .40 TREATED WOOD IN CONTACT WITH THE GROUND & MASONRY.
- 80 TREATED WOOD IN CONTACT WITH WATER
- 47. PAINTED EXTERIOR WOOD: SHALL BE TREATED AND FULLY AIR DRIED BEFORE BACK, END AND EDGE PRIMING AND TWO (2) COATS OF PREMIUM GRADE EXTERIOR PAINT.
- 48. NATURAL EXTERIOR WOOD: SHALL BE FULLY CURED, SELECTED FOR STRAIGHTNESS AND QUALITY. MOSTLY FREE OF CHECKS, KNOTS, AND SPLITS AND TREATED WITH PREMIUM DECK SEALER.

STUCCO USED OVER OLD BRICKS SHOULD BE OF A SOFTNESS COMPATIBLE WITH THE OLD BRICK. WHERE SCORING IS EMPLOYED, JOINTS SHALL NOT BE DEEPER THAN 1/8", NOR WIDER THAN 1/8" AND PATTERNS SHOULD MATCH ORIGINAL.

LIME: HYDRATED MASONS LIME ASTIM C207
AGGREGATE: SHALL CONSIST OF FINE GRANULAR MATERIAL COMPOSED OF NATURAL SAND FREE OF LOAM, SILT, SOLUBLE

SLEEVE SIZE MINIMUM MAXIMUM 60

PROPORTIONS1 PART BY VOLUME HYDRATED LIME 3 PARTS BY VOLUME AGGREGATE

WATER-ENOUGH TO FORM A WORKABLE MIX

• REMOVE ALL PORTLAND CEMENT MORTAR BY HAND USING A CHISEL AND MALLET. DO NOT USE POWER TOOLS. RAKE JOINTS TO A DEPTH OF AT LEAST 1" OR TO SOUND MORTAR.

- BRUSH, VACUUM OR FLUSH JOINTS TO REMOVE ALL DIRT AND LOOSE DEBRIS. MEASURE AND PROPORTION ALL MATERIALS TO INSURE UNIFORMITY OF BATCHES.
- USE AND PLACE MORTAR IN FINAL POSITION WITHIN 2 1/2 HOURS OF MIXING. DO NOT RETEMPER OR USE MATERIAL THAT HAS PARTIALLY SET IS CRACKED OR IS LUMPY USE ONLY CLEAN TOOLS AND EQUIPMENT, FREE FROM HARDENED OR PARTIALLY HARDENED MATERIALS. MACHINE MIX THE MORTAR FOR AT LEAST THREE MINUTES.
- DAMPEN BRICKS (SURFACE DRY) PRIOR TO REPOINTING. PACK JOINTS WITH NEW MORTAR LEAVING NO VOIDS.
- RECESS THE SURFACE OF THE POINTING SLIGHTLY. DO NOT ALLOW THE MORTAR TO EXTEND OVER THE EDGES OF THE
- AS SOON AS THE MORTAR HAS TAKEN ITS INITIAL SET, TOOL THE JOINT TO MATCH THE ORIGINAL JOINT CONFIGURATION. STIPPLE WITH A STIFF BRUSH TO GIVE THE JOINT A WEATHERED APPEARANCE AND TO REMOVE ANY EXCESS OR RAGGEDNESS AND LEAVE THE WORK CLEAN. SHOULD BE ASSISTED BY SPRAYING FROM A FINE MIST HAND SPRAY. KEEP POINTING (90% HUMIDITY) FOR 48 TO 72 HOURS.

VARIATIONS IN SOME CASES IT MAY BE DESIRABLE AND/OR NECESSARY TO MATCH THE COLOR AND TEXTURE OF THE ORIGINAL MORTAR EXACTLY. IN SUCH CASES THE AGGREGATE SHOULD BE MATCHED TO THE ORIGINAL CONTENT, COLOR AND GRADATION. THE ABOVE RECOMMENDED PROPORTION OF SAND TO LIME MAY NEED ALSO TO BE ALTERED. PORTLAND CEMENT IS SOMETIMES Key Value ADDED TO THE MIX TO INCREASE WORKABILITY AND DECREASE SETTING TIME BUT UNDER NO CIRCUMSTANCES SHOULD THE PORTLAND CEMENT CONTENT EXCEED ONE PART TO TWELVE PARTS OF LIME AND SAND. PORTLAND CEMENT IN GENERAL, HOWEVER, IS NOT RECOMMENDED FOR USE IN POINTING MORTAR. RETAIN EXIST. CAST IRON VENTS & LIGHTING. STORE & PROTECT AS REQ'D DURING CONSTRUCTION. • IDENTIFICATION OF DETERIORATION CRACKING - CRACKING OCCURS IN TWO WAYS. LARGE CRACKS AND SMALL ALL OVER CRACKS. SPALLING - THE OUTER SURFACE OF THE STUCCO COATING BECOMES DETACHED AND FALLS OFF. LOSS OF BOND - THE STUCCO COATING IS NO LONGER ATTACHED TO THE BRICK MASONRY. LARGE CRACKS ARE MOST OFTEN CAUSED BY SETTLEMENT OF THE WALLS OR BY DIFFERENCES IN THE MOVEMENT OF THE STUCCO AND THE BACKING MASONRY DUE TO EXPANSION AND CONTRACTION. HAIRLINE CRACKING IS CAUSED BY THE IMPROPER CURING OF THE STUCCO WHEN IT WAS APPLIED. THE STUCCO WAS ALLOWED TO DRY TOO QUICKLY AND AS IT DRIED IT CONTRACTED. LOSS OF BOND IN MOST CASES OCCURS AFTER THE STUCCO HAS CRACKED AND WATER HAS ENTERED THE WALL THROUGH THE CRACKS IN THE STUCCO COATING. BONDING FAILURE MAY ALSO BE CAUSED BY THE IMPROPER PREPARATION OF THE MASONRY SURFACE BEFORE THE STUCCO WAS APPLIED.

KEYNOTES - PROJECT

HATCH INDICATES AREA OF DEMO. TYP.: PROVIDE SHORING WHERE REQ.

Keynote Text

REMOVE EXIST. WINDOW AT THIS LOCATION; RETAIN EXIST. ASSEMBLY FOR INSTALLATION

PROJECT KEYNOTES

Key Value

D-01

D-02

	AT NEW LOCATION. PREPARE OPENING FOR INFILL. RE: WINDOW SCHEDULE
D-03	REMOVE EXIST. WINDOW / DOOR. PREPARE OPENING FOR INFILL.
D-04	REMOVE EXIST. DOOR AND/OR TRANSOM, PREPARE OPENING FOR RE-INSTALLATION OF NEW DOOR AND/OR TRANSOM TO MATCH HISTORIC STYLE. RE: DOOR SCHEDULE
D-05	REMOVE EXIST. FLOORING AT THIS LOCATION; REPAIR / PREPARE SUBSTRATE FOR
	INSTALLATION OF NEW FLOOR AS PER FINISH PLANS.
D-06	REMOVE EXIST. ROOFING, GUTTERS AND D.S. AS REQ'D.; PREPARE FOR NEW AS PER
D-07	PROPOSED PLANS. REMOVE EXIST. SIDING & TRIM AT THIS WALL; PREPARE WALL FOR INSTALLATION OF NEW
D-07	SIDING.
D-08	REMOVE EXIST. SIDING & TRIM AT THIS WALL; PREPARE WALL FOR INSTALLATION OF GYP (RE: WALL TYPES)
D-09	REMOVE EXIST. LIGHTING.
D-10	EXIST. SIDING TO REMAIN, THIS WALL. REPAIR / REFINISH AS REQ'D.
D-11 D-12	REMOVE EXIST. PLUMBING FIXTURES. REMOVE EXIST. A/C CONDENSERS TO BE RELOCATED; RE: MEP
D-12 D-13	REMOVE EXIST. AC CONDENSERS TO BE RELOCATED; RE. MEP
D-14	REMOVE EXIST. DATA TO BE RELOCATED; RE: MEP
D-15	EXIST. ACCESSORY STRUCTURE TO REMAIN.
D-16	RETAIN EXIST. CAST IRON VENTS & LIGHTING. STORE & PROTECT AS REQ'D DURING CONSTRUCTION.
D-17	EXIST. LIGHTING TO REMAIN THIS AREA.
D-18	PREPARE EXIST. WALL FOR INSTALLATION OF NEW DOOR / WINDOW; RE: DOOR SCHEDULE
D-19	EXIST. PAVERS / FLATWORK TO REMAIN; CLEAN AND REPAIR AS REQ'D.
D-20	EXIST. DRIEVWAY TO REMAIN; CLEAN AND REPAIR AS REQ'D.
D-21	EXIST. LANDSCAPING / FOLIAGE TO REMAIN THROUGHOUT; PROVIDE PROTECTION DURING CONSTRUCTION.
D-22	REPAIR / REFINISH EXIST. DECK. REPAIR DAMAGED FRAMING AT CEILING ABOVE, PER STRUC. INSPECTION.
D-23	REPAIR / REFINISH EXIST. WOOD PORCH / RAILINGS AS REQ'D.
D-24	REMOVE / REPLACE EXIST. RAILINGS.
D-25	REMOVE EXIST. FENCE / GATE AT THIS LOCATION TO PREPARE FOR NEW CONSTRUCTION.
D-26	EXIST. FENCE TO REMAIN THROUGHOUT EXCEPT WHERE NOTED; PROVIDE PROTECTION DURING CONSTRUCTION.
D-27	REMOVE EXIST. ELEC. PANEL / METER AT AREA OF DEMO. RELOCATE / PROVIDE NEW
NI 04	SUB-PANEL AS REQ'D FOR NEW ADDITION.
N-01	HATCH INDICATES NEW CRUSHED GRAVEL WITH WEED BARRIER BELOW, TYP.; WHERE GRAVEL IS EXIST., INFILL AS REQ'D. TO BE PROVIDED BY GC. GC TO PROVIDE FINISH GRADE.
N-02	HATCH INDICATES NEW SOD AS REQ'D FOR INFILL / PATCHING EXIST. SOD, TYP.; TO BE
	PROVIDED BY LANDSCAPER. GC TO PROVIDE FINISH GRADE.
N-03	HATCH INDICATES EXIST. PAVERS / FLATWORK.
N-04	EXIST. PLANTINGS TO REMAIN, TYP. THROUGHOUT.
N-05	EXIST. FENCE / GATE TO REMAIN.
N-06	NEW ALUMINUM BAKED 6"HALF-ROUND GUTTERS CONNECTED TO 3 1/2" CIRCULAR. D.S. BELOW. TYP.
N-07	NEW ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RE.
	STRUC. FOR SHEATHING SIZE.
N-08	EXIST. ROOF TO REMAIN.
N-09	NEW LOW PROFILE THERMOSTATIC ROOF VENT
N-10 N-11	NEW EXT. WALL, TYP. PER TAG; RE. WALL SCHED. & STRUC. NEW INT. WALL, TYP. PER TAG; RE. WALL SCHED. & STRUC.
N-11 N-12	NEW GYP. OVER EXIST. EXTERIOR WALL
N-12 N-13	NEW WALL / CLG. INFILL AT THIS LOCATION TO MATCH EXIST IN THICKNESS & FINISH.
N-14	NEW GYP. CEILING
N-15	NEW BEAM AS REQ'D (CONCEALED AT JOIST LEVEL); RE: STRUC.
N-16	REPAIR / REFINISH EXIST. DAMAGE AT CEILING, AS REQ'D.
N-17	REPAIR / REFINISH EXIST. WOOD PORCH / DECKING AS REQ'D.
N-18	REPAIR / REFINISH EXIST. WOOD COLUMNS / RAILINGS AS REQ'D. ADD ENDPOST WHERE
N 40	EXIST. RAILING AT SIDE PORCH IS CUT FOR DEMO WORK. REPAINT TO MATCH EXIST.
N-19	NEW OLDS TALL MOOD HANDBAR AND TO SEE THE SECOND SE
	NEW 3'-0" TALL WOOD HANDRAIL (W/ WOOD PILASTERS, BALUSTERS, & END-RAIL) TO MATCH EXISTTYP.: RE. DTL 4/A501
N-20	EXIST.,TYP.; RE. DTL 4/A501
N-20	
	EXIST.,TYP.; RE. DTL 4/A501 EXIST. HARDWOOD FLOORING TO REMAIN. REPAIR / REFINISH AS REQ'D, TYP. RE: ROOM SCHED. NEW HARDWOOD FLOORING THROUGHOUT FIRST FLOOR TO MATCH EXIST., TYP. RE: ROOM
N-21	EXIST.,TYP.; RE. DTL 4/A501 EXIST. HARDWOOD FLOORING TO REMAIN. REPAIR / REFINISH AS REQ'D, TYP. RE: ROOM SCHED. NEW HARDWOOD FLOORING THROUGHOUT FIRST FLOOR TO MATCH EXIST., TYP. RE: ROOM SCHED.
N-21 N-22	EXIST.,TYP.; RE. DTL 4/A501 EXIST. HARDWOOD FLOORING TO REMAIN. REPAIR / REFINISH AS REQ'D, TYP. RE: ROOM SCHED. NEW HARDWOOD FLOORING THROUGHOUT FIRST FLOOR TO MATCH EXIST., TYP. RE: ROOM SCHED. NEW TILE FLOORS AT THIS LOCATION; RE: ROOM SCHED.
N-21 N-22 N-23	EXIST.,TYP.; RE. DTL 4/A501 EXIST. HARDWOOD FLOORING TO REMAIN. REPAIR / REFINISH AS REQ'D, TYP. RE: ROOM SCHED. NEW HARDWOOD FLOORING THROUGHOUT FIRST FLOOR TO MATCH EXIST., TYP. RE: ROOM SCHED. NEW TILE FLOORS AT THIS LOCATION; RE: ROOM SCHED. SYMBOL INDICATES NEW WOOD THRESHOLD TO MATCH WOOD FLOORING, TYP.
N-21 N-22 N-23 N-24	EXIST.,TYP.; RE. DTL 4/A501 EXIST. HARDWOOD FLOORING TO REMAIN. REPAIR / REFINISH AS REQ'D, TYP. RE: ROOM SCHED. NEW HARDWOOD FLOORING THROUGHOUT FIRST FLOOR TO MATCH EXIST., TYP. RE: ROOM SCHED. NEW TILE FLOORS AT THIS LOCATION; RE: ROOM SCHED. SYMBOL INDICATES NEW WOOD THRESHOLD TO MATCH WOOD FLOORING, TYP. NEW SHUTTERS TO MATCH EXIST
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N-21 N-22 N-23 N-24 N-25 N-26 N-27 N-28 N-29 N-30	EXIST.,TYP.; RE. DTL 4/A501 EXIST. HARDWOOD FLOORING TO REMAIN. REPAIR / REFINISH AS REQ'D, TYP. RE: ROOM SCHED. NEW HARDWOOD FLOORING THROUGHOUT FIRST FLOOR TO MATCH EXIST., TYP. RE: ROOM SCHED. NEW TILE FLOORS AT THIS LOCATION; RE: ROOM SCHED. SYMBOL INDICATES NEW WOOD THRESHOLD TO MATCH WOOD FLOORING, TYP. NEW SHUTTERS TO MATCH EXIST NEW INTERIOR DOOR, TYP. PER TAG; RE. DOOR SCHED. NEW EXTERIOR DOOR AND/OR TRANSOM IN EXIST. LOCATION TO MATCH HISTORIC STYLE. FLASH AND REPAIR DAMAGE AS REQ'D FOR PROPER FUNCTION. RE: DOOR SCHEDULE NEW WINDOW, TYP. PER TAG; RE. WINDOW SCHED. RESTORE EXIST. WINDOW AS REQ. FOR PROPER FUNCTION. WEATHERPROOF AND PAINT TO MATCH NEW, TYP. EXIST. WINDOW RELOCATED TO THIS LOCATION. RESTORE EXIST. WINDOW AS REQ. FOR PROPER FUNCTION. WEATHERPROOF AND PAINT TO MATCH NEW, TYP. (RE: SCHEDULE). NEW COUNTERTOP AT THIS LOCATION; GC TO COORD. SELECTION W/ OWNER & VENDOR AS REQ.
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N-42	NEW (SINGLE / DOUBLE) ROD W/ (SINGLE / DOUBLE) SHELF AT THIS LOCATION; GC. TO COORD. LAYOUT, HEIGHT, & SPACING W/ OWNER.
N-43	BUILT-IN SHELVING; COORD. W/ ID & OWNER.
N-44	EXIST. PULL-DOWN ATTIC ACCESS ABOVE AT CEILING.
N-44.01	NEW INSULATED ACCESS PANEL
N-45	EXIST. STAIRS TO REMAIN. REFINISH AS REQ'D; COORD. W/ ID & OWNER.
N-46	NEW FOUNDATION (W/ SKIRT BOARDING, RE. DTL 1/A501); RE. STRUC.
N-47	REPAIR EXIST. PIERS W/ LIME RICH MORTAR RECIEPE, TYP.
N-48	R-13 RIGID FOAM INSUL. AT FLOOR JOIST, TYP.
N-49	R-13 BATT INSULATION MIN. AT EXT. WALLS. TYP.
N-50	R-30 BATT INSULATION AT CLG, TYP.
N-51	NEW 2X FLOOR, WALL, & CLG. FRAMING, TYP.; RE. STRUC.
N-52	EXIST. SIDING TO REMAIN. REPAIR / REFINISH AS REQ'D.
N-53	NEW HARDIEPLANK LAPSIDING W/ SMOOTH FINISH AND 5 1/2" EXPOSURE. TRIM & CORNERBOARDS TO BE 5 1/2" HARDIETRIM.
N-55	PROPOSED LOCATION OF EXIST. ELECTRICAL METER (RELOCATED). ELECTRICIAN TO COORD. LOCATION W/ OWNER. REVIEW IF EXIST. METER IS ADEQUATE FOR ADDITION & COORD. UPGRADE W/ ENTERGY AS REQ.
N-56	PROPOSED LOCATION OF EXIST. ELECTRICAL PANEL (RELOCATED). ELECTRICIAN TO COORD. LOCATION W/ OWNER.
N-57	RELOCATE HOT WATER HEATER TO THIS LOCATION; RE: MEP
N-58	RELOCATE EXIST. A/C CONDENSER ON METAL PLATFROM; PROVIDE REQ. CLEARANCES I.A.W. CODE.
N-59	NEW SUPPLY AIR CHASE AT JOIST LEVEL (TIE INTO EXIST.), FRAMED ON THE FLAT; HVAC INSTALLER TO COORD. SIZE & LOCATION W/ FRAMER. RE. STRUC.
N-60	NEW SUPPLY AIR FROM ATTIC LEVEL (TIE INTO EXIST.)
N-61	ETHERNET / DATA
N-62	EXIST. RETURN / DIFFUSERS TO REMAIN.
N-63	EXIST. MECH. SUPPLY (UNDER JOIST)
N-64	NEW DUCTS BETWEEN JOISTS; RE: MEP; DUCTS TO BE @ 26" ABOVE C/L OF STREET.
N-65	FLOOR DIFFUSER; RE: MEP
N-66	NEW BEAM AT SOFFIT LEVEL AT REAR PORCH. INFILL ABOVE W/ 2X FRAMING / HARDI CLAD TO MATCH EXIST. SIDING.
	NEW GANG AT EXIST. SWITCH LOCATION.
N-67	

KEYNOTES - PROJECT

Keynote Text

CODE REVIEW

SINGLE FAMILY RESIDENCE - CODE REVIEW DONE USING 2015 - IRC.

06 JUL. 2022	100 % CD
20 MAY. 2022	90% CD
23 MAR. 2022	DD-1
04 FEB. 2022	SD-1

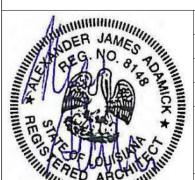
Project: #2021-40

01 FEB. 2022

ROLDAN RESIDENCE RENOVATION/ADDITION

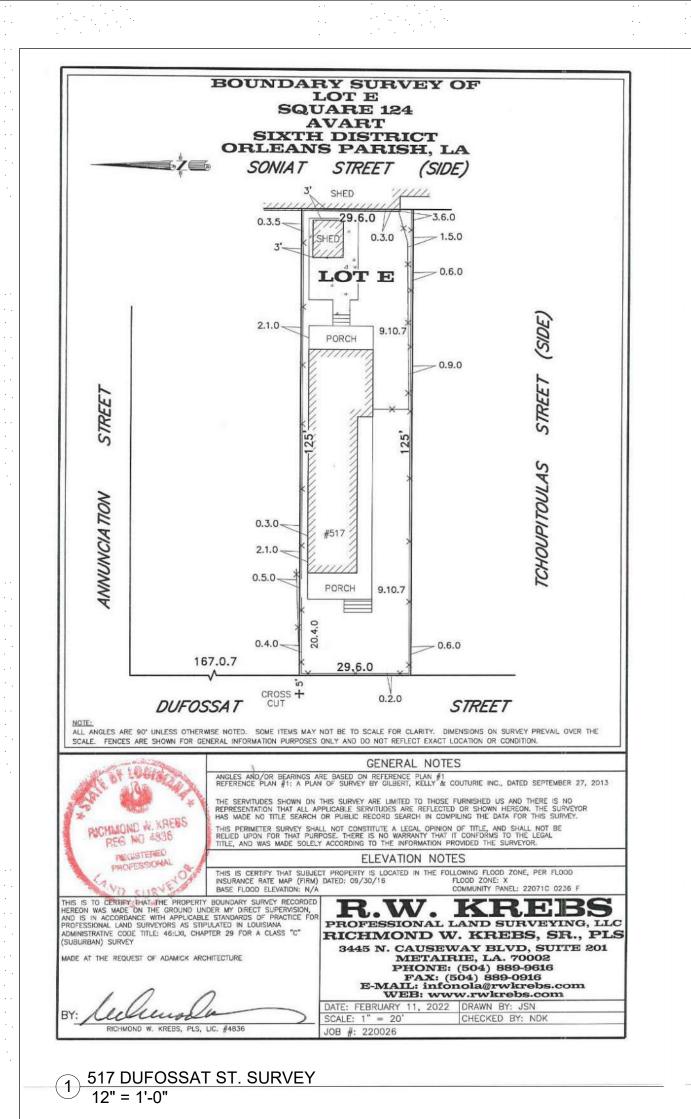
517 DUFOSSAT ST. NEW ORLEANS, LA 70115

GENERAL NOTES, **PROJECT** KEYNOTES, & CODE



DATE: 6/7/2022 9:53:58 AM PROJECT NO.: 2022-XX DRAWING BY:: CHECKED BY:

CAD FILE NO: 2021-XX\PDF OUT\SD 2/26





3 12" = 1'-0"

Key Velue	Voynata Toyt
Key Value	Keynote Text
D 45	EVICE ACCESCODY CEDITORING TO DEMAIN
D-15	EXIST. ACCESSORY STRUCTURE TO REMAIN.
N-01	HATCH INDICATES NEW CRUSHED GRAVEL WITH WEED BARRIER BELOW, TYP.; WHERE GRAVEL IS
*****	EXIST., INFILL AS REQ'D. TO BE PROVIDED BY GC
	TO PROVIDE FINISH GRADE.
N-02	HATCH INDICATES NEW SOD AS REQ'D FOR INFIL
	PATCHING EXIST. SOD, TYP.; TO BE PROVIDED BY
	LANDSCAPER. GC TO PROVIDE FINISH GRADE.
N-03	HATCH INDICATES EXIST. PAVERS / FLATWORK.
N-04	EXIST. PLANTINGS TO REMAIN, TYP. THROUGHOU
N-05	EXIST. FENCE / GATE TO REMAIN.
N-06	NEW ALUMINUM BAKED 6"HALF-ROUND GUTTERS
	CONNECTED TO 3 1/2" CIRCULAR, D.S. BELOW, TY
N-07	NEW ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RE. STF
	FOR SHEATHING SIZE.
N-08	EXIST. ROOF TO REMAIN.
N-09	NEW LOW PROFILE THERMOSTATIC ROOF VENT
N-51	NEW 2X FLOOR, WALL, & CLG. FRAMING, TYP.; RE
	STRUC.
N-57	RELOCATE HOT WATER HEATER TO THIS LOCATI
	RE: MEP
N-58	RELOCATE EXIST. A/C CONDENSER ON METAL
	PLATFROM; PROVIDE REQ. CLEARANCES I.A.W. CODE.
N-68	NEW WOOD GATE AT SIDE YARD. RE: DETAIL 3/A5
N-68	NEW WOOD GATE AT SIDE YARD. RE: DETAIL 3/A

NEW ORLEANS / ORLEANS 70115
124
E/046
HU-RD2
SINGLE-FAMILY DWELLING
HDLC - UPTOWN NEIGHBORHO
_

OTHERWISE.

AROUND THE MACHINE.

2. CONTRACTOR RESPONSIBLE FOR LOCATING AND

WITH CONSTRUCTION OF THE BUILDING.

COORDINATING ALL NEW FOUNDATIONS, PILES, GRADE

BEAMS ETC. WITH SURVEYOR PRIOR TO PROCEEDING

3. CONTRACTOR IS RESPONSIBLE FOR PROVIDING NEW

WEED BARRIER AS INDICATED ON THE SITE PLAN.

GRADING, SOD, HARDSCAPING, AND GRAVEL WITH A

4. ALL NEW A/C CONDENSERS REQUIRED TO BE 3'-0" ABOVE

GRADE, 3'-0" AWAY FROM ALL SIDEYARD LOT LINES, 5'-0"

FROM REAR LOT LINE, AND 6'-0" FROM ALL ROOF EDGES.

HVAC INSTALLER TO SIZE MACHINE ACCORDINGLY AND

PROVIDE ADEQUATE SERVICE AND CLEARANCE SPACE

<u>NOTE</u>: EXISTING CONDITIONS TO REMAIN UNLESS NOTED OTHERWISE.

	REQUIRED	EXIST / PROP
LOT AREA (SQ.FT.) :	2,250 SQ.FT.	3,625 SQ.FT.*
LOT WIDTH:	30'-0"	29'-0" *
LOT DEPTH :	90'-0"	125'-0" *
BLDG. HEIGHT :	35'-0"	28'-2" *
PERM. OPEN SPACE:	30%	54% (1,965)
MIN. OPEN SPACE :		-
MAX. IMPERV. FRONT 'ARD:	40% LOT SQ.	*
FRONT SETBACK :	11.3.A.2	15'-0"
SIDE SETBACK :	3'-0"	2'-1" */ 3'-0"
REAR SETBACK :	20% OF LOT DEPTH OR 15'-0"	29'-4"

GENERAL SITE PLAN NOTES 1. ALL DIMENSIONS ARE "FINISH TO FINISH," UNLESS NOTED ADAMICIA ARCHITECTU

1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

No.	Description		Description		Date	
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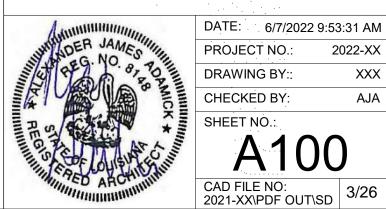
06 JUL. 2022		100 % CD
20 MAY. 2022		90% CD
23 MAR. 2022		DD-1
04 FEB. 2022	· .	SD-1
01 FEB. 2022		EC-1

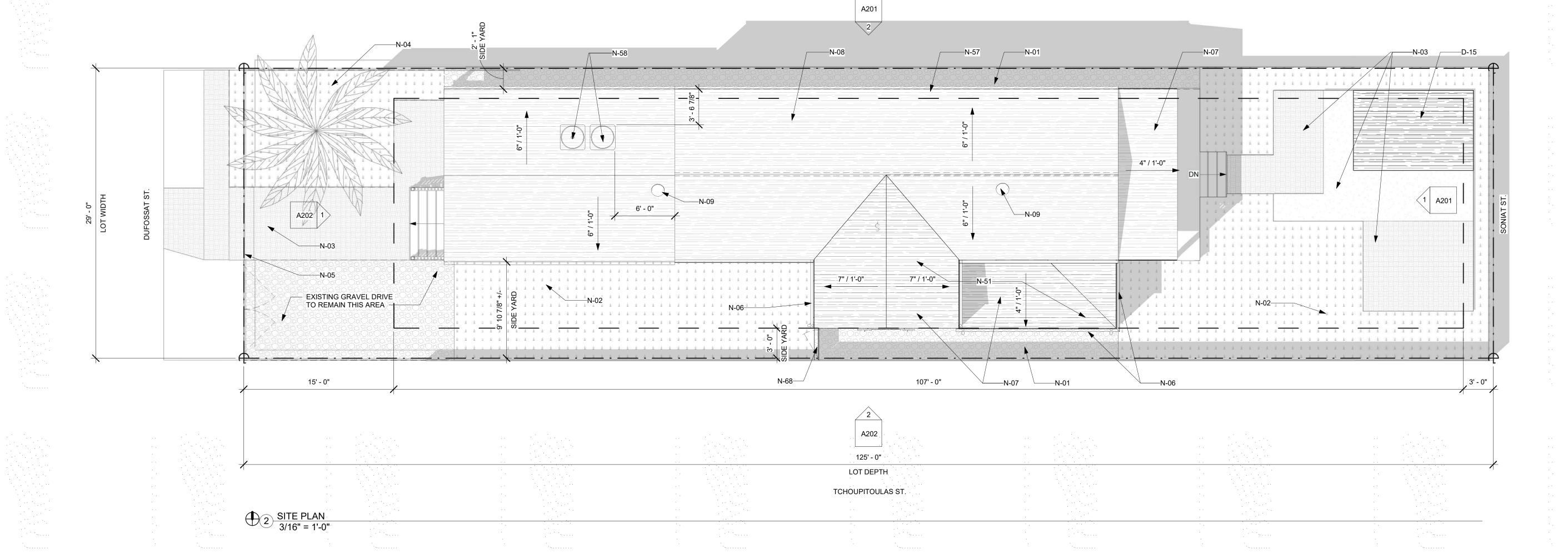
Project: #2021-40

ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

SITE PLAN, ZONING, SURVEY, & ELEV. CERT.





ANNUNCIATION ST.

GENERAL STRUCTURAL NOTES:

- UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FABRICATION, TESTING, AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING NOTES. SHOULD CODES OR STANDARDS CONFLICT WITH THE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- 2. FOR THE FOLLOWING REFERENCE CODES AND STANDARDS, ONLY THE LATEST EDITION IS APPLICABLE, UNLESS OTHERWISE INDICATED:
 - (A) AMERICAN CONCRETE INSTITUTE (ACI)
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
 - AMERICAN IRON AND STEEL INSTITUTE (AISI)

 - AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM)
 - AMERICAN WELDING SOCIETY (AWS)
 - RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCSC)
 - (G) STEEL STRUCTURES PAINTING COUNCIL (SSPC)
 - (H) OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
- 3. SPECIFIED MATERIALS INCLUDING GROUTS, SEALANTS, ANCHORAGE, MECHANICAL DEVICES, ETC. SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS SET OUT IN THE SPECIFICATIONS.
- STRUCTURAL DRAWINGS SHALL BE USED AND INTERPRETED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, SHOP DRAWINGS, AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS SET OUT IN THE ARCHITECT'S DRAWINGS BEFORE COMMENCING WORK.
- CONTRACTOR SHALL VERIFY ALL CAMBER, DEPRESSIONS, SLOPES, OPENINGS, PENETRATIONS, ETC. THROUGH OR WITHIN STRUCTURAL ELEMENTS. ANY STRUCTURAL ELEMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING ANY WORK. ANY INTERFERENCE OR CONFLICT SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER OF RECORD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL DIMENSIONS AND FIT-UP OF THE STRUCTURE, INCLUDING BUT NOT LIMITED TO, VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK AND ALL AS-BUILT CONDITIONS AS THE WORK
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ERECTION, PLACEMENT, MAINTENANCE, DURATION AND REMOVAL OF ANY SHORING, RE-SHORING, BACK-SHORING, BRACING, TIE-BACKS, OR OTHER TEMPORARY SUPPORT STRUCTURES REQUIRED TO SUPPORT ANY PART OF THE NEW OR EXISTING CONSTRUCTION OR SURROUNDING IMPROVEMENTS DURING THE ENTIRE CONSTRUCTION PROCESS TO ENSURE THE SAFETY AND STABILITY OF THE STRUCTURE.
- 10. ALL WORK AREAS SHALL BE KEPT NEAT, CLEAN, AND SAFE AT ALL TIMES BY THE CONTRACTOR. TRASH AND DEMOLISHED MATERIALS SHALL NOT BE ALLOWED TO ACCUMULATE AT THE SITE DURING EXECUTION OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS. ALL DEBRIS SHALL BE PROPERLY AND LEGALLY DISPOSED OF. ALL ASPECTS OF JOB SITE SAFETY ARE COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR.
- 11. STEEL FRAMES ARE "NON-SELF SUPPORTING". ADEQUATE TEMPORARY SUPPORT SHALL BE PROVIDED BY THE CONTRACTOR UNTIL REQUIRED CONNECTIONS OR ELEMENTS ARE INSTALLED AND COMPLETED.
- 12. DETAILS SHOWN ON DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
- 13. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL AND CHARGE OF THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, AND FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

FOUNDATION NOTES:

- 1. NO SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT. UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE SOIL SUPPORT FOR THE FOUNDATION DESIGN AND SHALL REPORT UNEXPECTED CONDITIONS TO THE ENGINEER OF RECORD.
- 2. UNLESS SHOWN OTHERWISE, GRADE BEAMS TO BE CENTERED ON COLUMNS AND WALLS.
- GRADE BEAMS MAY BE EARTH FORMED PROVIDED DIMENSIONAL TOLERANCES LISTED IN THE APPLICABLE ACI CODES ARE ADHERED TO.
- 4. ALL SLABS, BEAMS, AND FOOTINGS NOT PILE-SUPPORTED SHALL BE SUPPORTED ON EXISTING UNDISTURBED SOIL OR NON-EXPANSIVE TYPE FILL COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY.
 - DESIGN SOIL PRESSURE = 1500 LBS. PER SQ. FT.
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINTS OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION. GRADE SHALL FALL A MINIMUM 6 INCHES WITHIN THE FIRST 10 FEET.

CONCRETE NOTES:

- 1. APPLICABLE CODES OR STANDARDS:
 - ALL DESIGN, FABRICATION, TESTING, AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
 - (A) ACI 117 SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS
 - (B) ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE
 - (C) ACI 304 RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE
 - (D) ACI 308 RECOMMENDED PRACTICE FOR CURING CONCRETE
 - (E) ACI 315 AND 315R DETAILS AND DETAILING OF CONCRETE REINFORCEMENT
 - (F) ACI 316 RECOMMENDED PRACTICE FOR CONSTRUCTION OF CONCRETE PAVEMENTS AND CONCRETE BASES
 - (G) ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - (H) ACI 336 SUGGESTED DESIGN AND CONSTRUCTION PROCEDURES FOR PIER FOUNDATIONS
 - (I) ACI 347 RECOMMENDED PRACTICE FOR CONCRETE FORM WORK
 - (J) ASTM STANDARDS FOR THE MATERIALS LISTED.
- MATERIALS:
 - MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - (A) CONCRETE SHALL A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 - (B) CONCRETE SHALL BE NORMAL WEIGHT (APPROXIMATELY 150 LBS. PER CUBIC FT.)
 - (C) PORTLAND CEMENT SHALL MEET ASTM C150 TYPE II.
 - (D) AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33.
 - (E) REINFORCING STEEL SHALL MEET ASTM A615 GRADE 60.
 - (F) WELDED WIRE FABRIC (WWF) SHALL MEET ASTM A185.
 - (G) STEEL PLAIN WIRE SHALL MEET ASTM A82.

CONCRETE NOTES (CONT.):

3. SLUMPS:

CONCRETE SLUMPS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) CONCRETE WITHOUT WATER-REDUCING ADMIXTURES OR PRIOR TO THEIR ADDITIONS SHALL HAVE A MAXIMUM SLUMP OF
- (B) CONCRETE WITH LOW TO MODERATE RANGE WATER-REDUCING ADMIXTURES SHALL HAVE A MAXIMUM SLUMP OF 6
- (C) CONCRETE WITH HIGH RANGE WATER-REDUCING ADMIXTURES SHALL HAVE A MAXIMUM SLUMP OF 8 INCHES.

4. EXPOSED EDGE CONDITIONS:

(A) EXPOSED EDGES OF CONCRETE ABOVE GRADE SHALL BE CHAMFERED 3/4" AT 45 DEGREES (AS SHOWN ON SECTIONS IF REQUIRED).

5. BONDING:

BONDING SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) CONSTRUCTION JOINTS BETWEEN NEW AND HARDENED CONCRETE SHALL BE CLEAN, FREE OF LAITANCE, AND INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF 1/4".
- (B) FOR INSTALLATION OF DOWELS IN HARDENED CONCRETE, CONTRACTOR SHALL DRILL AND EPOXY WITH HILTI HY-HIT 200 OR APPROVED EQUAL.
- (C) FOR INSTALLATION OF DOWELS IN BRICK MASONRY, CONTRACTOR SHALL DRILL AND EPOXY WITH HILTI HY-HIT 270 OR APPROVED EQUAL.
- 6. CONCRETE PROTECTION FOR REINFORCEMENTS

CONTRACTOR SHALL PROVIDE PROTECTIVE COVER FOR REINFORCING LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) 3" FOR CONCRETE GRADE BEAMS AND FOOTINGS DEPOSITED DIRECTLY AGAINST THE GROUND.
- (B) 2" FOR FORMED CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND.
- (C) 1" FOR CONCRETE SLABS AND WALLS NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND
- (D) 1 1/2" FOR CONCRETE BEAMS, GIRDERS, AND COLUMNS NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND.

PLACEMENT:

PLACEMENT SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) BARS SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE
- (B) REINFORCING BARS OR FABRIC ON GRADE SHALL BE CHAIRED WITH 3000 PSI CONCRETE BRICKETTES SPACED ADEQUATELY TO SUPPORT THE REINFORCING, BUT NOT GREATER THAN 3'-0" O.C. EACH WAY. AT RAISED FLOORS
- (C) PROVIDE A 90 DEGREE HOOK ON ALL TOP REINFORCING IN ALL BEAMS AT DISCONTINUOUS ENDS AND LAP SPLICE 30 BAR DIAMETERS AT MID-SPAN.
- (D) CONTINUOUS BOTTOM BARS SHOULD BE LAP SPLICED 6" AT CENTER OF SUPPORT.
- (E) LAP ALL WELDED WIRE FABRIC ONE WIRE SPACING PLUS 6 INCHES.
- (F) COLUMN VERTICAL REINFORCING SHALL HAVE STANDARD HOOKS AT THE TOP OF THE UPPERMOST SECTION OF EACH
- (G) PROVIDE CORNER BARS AT EACH OUTSIDE CORNER FOR EACH HORIZONTAL BAR IN WALLS AND BEAMS. HOOK INSIDE
- (H) PLACEMENT OF SLEEVES, HOLES, OR OPENINGS THROUGH BEAMS, FOOTINGS, PILE CAPS, SLABS, ETC. IS NOT PERMITTED WITHOUT ENGINEER OF RECORD'S APPROVAL
- (I) WHERE POSSIBLE, EXISTING REINFORCEMENT SHALL NOT BE CUT, BENT, OR DAMAGED, WHENEVER REINFORCEMENT IS CUT. DAMAGED OR BENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD. REINFORCEMENT SHALL BE REPAIRED OR REPLACED AS DIRECTED.

8. SPLICES:

REINFORCEMENT STEEL SPLICES SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) REINFORCING BARS SHALL BE SPLICED WITH CLASS "B" LAP SPLICES.
- (B) PROVIDE REQUIRED LAP LENGTHS FOR CORNER BARS, TEMPERATURE BARS IN SLAB, INTERMEDIATE HORIZONTAL BARS IN WALLS AND BEAMS, ETC.

9. EXPANSION JOINTS AND JOINT SEALERS:

EXPANSION JOINTS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) EXPANSION JOINT MATERIAL SHALL BE 1/2" THICK SEAL-TIGHT ASPHALT EXPANSION JOINT FILLER OR APPROVED
- (B) EXPANSION JOINTS SHALL SEPARATE PAVING FROM FOUNDATION GRADE BEAMS, FOOTINGS, ETC. AS SHOWN ON

10. EMBEDMENTS:

CONDUITS, PIPES, ETC. EMBEDDED IN CONCRETE SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) CONTRACTOR SHALL SUBMIT FOR APPROVAL A DIAGRAM DEPICTING ALL CONDUITS, PIPES, OR SLEEVES EMBEDDED IN
- (B) CONTRACTOR SHALL FOLLOW ALL REGULATIONS OUTLINED IN THE APPLICABLE ACI CODES FOR EMBEDDING CONDUITS,
- (C) CONDUITS, PIPES, AND SLEEVES OF ANY MATERIAL NOT HARMFUL TO CONCRETE SHALL BE PERMITTED TO BE
- EMBEDDED IN CONCRETE WITH THE ENGINEER OF RECORD'S APPROVAL. (D) IT WILL NOT BE PERMITTED TO CUT, BEND, OR DISPLACE THE REINFORCING STEEL FROM ITS PROPER LOCATION TO
- INSTALL CONDUITS, PIPES, ETC. WITHOUT THE ENGINEER OF RECORD'S APPROVAL. (E) CONDUITS, PIPES, AND SLEEVES PASSING THROUGH A SLAB, BEAM, OR WALL SHALL NOT SIGNIFICANTLY IMPAIR THE STRENGTH OF CONSTRUCTION.
- (F) OUTSIDE DIMENSIONS FOR SINGLE CONDUITS AND PIPES OR INTERSECTING CONDUITS AND PIPES SHALL NOT OCCUPY MORE THAN AN 1/3 THE OVERALL THICKNESS OF SLAB, BEAM, OR WALL IN WHICH THEY ARE EMBEDDED. ANY CONDUIT OR PIPE LARGER SHALL BE LOCATED BELOW THE RESPECTIVE SLAB OR BEAM.
- (G) CONDUITS, PIPES, ETC. SHALL NOT BE SPACED CLOSER THAN THREE DIAMETERS OR WIDTHS ON CENTER.

CONCRETE NOTES (CONT.):

11. DRILLING HOLES OR CORING HOLES IN EXISTING CONCRETE

DRILLING OR CORING HOLES IN EXISTING CONCRETE SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED

- (A) PRIOR TO DRILLING OR CORING HOLES, THE CONTRACTOR SHALL LOCATE ALL EXISTING REINFORCING STEEL POST-TENSIONING, CONDUIT, PIPING, ETC. THROUGH NON-DESTRUCTIVE TESTING SUCH AS WITH AN X-RAY, RADAR,
- (B) CONTRACTOR SHALL MARK THE LOCATION OF ALL REINFORCING STEEL, POST-TENSIONING, CONDUIT, PIPING, AND OTHER EXISTING INTERFERENCES ON THE SURFACE OF THE CONCRETE.
- (C) CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD FOR ALL CONFLICTS BETWEEN NEW HOLES AND EXISTING REINFORCING, POST-TENSIONING, CONDUIT, PIPING, ETC.
- (D) CONTRACTOR SHALL DRILL SMALL PILOT HOLES AT NEW HOLE LOCATIONS TO VERIFY NO CONFLICTS EXIST. IF NO CONFLICTS EXIST, COMPLETE THE INSTALLATION. IN THE CASE OF STEEL TO BE FASTENED TO THE EXISTING CONCRETE WITH MULTIPLE ANCHORS, FABRICATE FROM A FIELD TEMPLATE, THE STEEL TO BE FASTENED TO THE CONCRETE BY THE ANCHORS AND COMPLETE THE INSTALLATION.
- (E) CONTRACTOR SHALL EXERCISE CARE WHEN INSTALLING NEW HOLES TO PREVENT "NICKING" OR CUTTING EXISTING REINFORCING STEEL, POST-TENSIONING, CONDUIT, PIPING, ETC.
- 12. QUALITY CONTROL TESTING DURING CONSTRUCTION
 - (A) GENERAL: EMPLOY A TESTING AGENCY TO PERFORM TESTS AND TO SUBMIT TEST REPORTS
 - (B) SAMPLING AND TESTING FOR QUALITY CONTROL DURING CONCRETE PLACEMENT SHALL INCLUDE THE FOLLOWING, AS DIRECTED BY
 - SAMPLING FRESH CONCRETE: ASTM C 172, EXCEPT MODIFIED FOR SLUMP TO COMPLY WITH ASTM C 94

 - ASTM C 143; ONE TEST AT POINT OF DISCHARGE FOR EACH DAY'S POUR OF EACH TYPE OF CONCRETE, ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY SEEMS TO HAVE CHANGED.
 - 3. AIR CONTENT:

ASTM C 173, VOLUMETRIC METHOD FOR LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE; ASTM C 231, PRESSURE METHOD FOR NORMAL WEIGHT CONCRETE; ONE FOR EACH DAY'S POUR OF EACH TYPE OF AIR-ENTRAINED CONCRETE.

- ASTM C 1064; ONE TEST HOURLY WHEN AIR TEMPERATURE IS 40 DEG F (4 DEG C) AND BELOW, WHEN 80 DEG F (27 DEG C) AND ABOVE, AND ONE TEST FOR EACH SET OF COMPRESSIVE-STRENGTH SPECIMENS.
- COMPRESSION TEST SPECIMEN:

ASTM C 31, ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPRESSIVE-STRENGTH TEST, UNLESS OTHERWISE DIRECTED. MOLD AND STORE CYLINDERS FOR LABORATORY-CURED TEST SPECIMENS EXCEPT WHEN FIELD-CURED TEST SPECIMENS ARE REQUIRED.

6. COMPRESSIVE—STRENGTH TESTS:

AS DIRECTED.

ASTM C 39; ONE SET FOR EACH DAY'S POUR EXCEEDING 5 CU. YD. PLUS ADDITIONAL SETS FOR EACH 50 CU. YD MORE THAN THE FIRST 25 CU. YD. OF EACH CONCRETE CLASS PLACED IN ANY ONE DAY; ONE SPECIMEN TESTED 7 DAYS, TWO SPECIMENS TESTED AT 28 DAYS, AND ONE SPECIMEN RETAINED IN RESERVE FOR LATER TESTING IF

- (C) WHEN FREQUENCY OF TESTING WILL PROVIDE FEWER THAN FIVE STRENGTH TESTS FOR A GIVEN CLASS OF CONCRETE, CONDUCT TESTING FROM AT LEAST FIVE RANDOMLY SELECTED BATCHES OR FROM EACH BATCH IF FEWER THAN FIVE ARE USED.
- (D) TEST RESULTS WILL BE REPORTED IN WRITING TO ARCHITECT, STRUCTURAL ENGINEER, READY—MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TEST.
- (E) NONDESTRUCTIVE TESTING: IMPACT HAMMER, SONOSCOPE, OR OTHER NONDESTRUCTIVE DEVICE MAY BE PERMITTED BY SHALL NOT BE USED AS THE SOLE BASIS FOR ACCEPTANCE OR REJECTION.
- THE TESTING AGENCY WILL MAKE ADDITIONAL TESTS OF IN-PLACE CONCRETE WHEN TEST RESULTS (F) ADDITIONAL TEST: INDICATE SPECIFIED CONCRETE STRENGTHS AND OTHER CHARACTERISTICS HAVE NOT BEEN ATTAINED IN THE STRUCTURE, AS DIRECTED BY ARCHITECT. TESTING AGENCY MAY CONDUCT TESTS TO DETERMINE ADEQUACY OF CONCRETE BY CORED CYLINDERS COMPLYING WITH ASTM C 42, OR BY OTHER METHODS



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Project: #2021-40

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ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

> GENERAL STRUCTURAL **NOTES**



DATE: PROJECT NO.: 2022-XX DRAWING BY: CHECKED BY: SHEET NO.: S1.0A

CAD FILE NO: 2021-XX\PDF OUT\SD

WMF

ENGINEER: JAMES B HEASLIP AE PROJECT #: 22094 31593 ICENSE NUMBER:

ENGINEERING

CIVIL I STRUCTURAL

LOCAL, REGIONAL AND NATIONAL REQUIREMENTS.

I AM NOT OBSERVING THE WORK.

WOOD FRAMING NOTES:

1. APPLICABLE CODES OR STANDARDS:

- ALL DESIGN, FABRICATION, TESTING, AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
- (A) IRC INTERNATIONAL RESIDENTIAL CODE (IRC)
- (B) AWC NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)
- (C) AWC WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM)
- (D) APA PLYWOOD DESIGN SPECIFICATION (PDS)

2. WALL SYSTEMS:

WALL SYSTEMS SHALL MEET THE SPECIFICATIONS LISTED IN THE PLAN NOTES (UNLESS NOTED OTHERWISE).

3. MATERIALS:

MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) FRAMING LUMBER SHALL BE SOUTHERN PINE GRADE MARKED AND KILN DRIED, NO. 2.
- (B) ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. LUMBER, PLYWOOD, PSL, OR OTHER STRUCTURAL WOOD ELEMENTS SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA.
- (C) FLOOR PLYWOOD SHEATHING SHALL BE 3/4" THICK.
- (D) WALL PLYWOOD SHEATHING SHALL BE 1/2" THICK.
- (E) ATTIC PLYWOOD SHEATHING SHALL BE 1/2" THICK.
- (F) ROOF PLYWOOD SHEATHING SHALL BE 5/8" THICK.
- (G) MEMBERS DESIGNATED AS "LVL" SHALL BE LAMINATED VENEER LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE I-LEVELTRUSS JOIST COMPANY'S "MICROLLAM" OR APPROVED EQUAL.
- MEMBERS DESIGNATED AS "PSL" SHALL BE PARALLEL STRAND LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE I-LEVEL TRUSS JOIST COMPANY'S "PARALLAM" OR APPROVED EQUAL.
- MEMBERS DESIGNATED AS "TJI" SHALL BE "I-SHAPED" WOOD JOIST LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE I-LEVEL TRUSS JOIST COMPANY'S "TRUS JOIST" OR APPROVED EQUAL.
- MEMBERS DESIGNATED AS "PPG" SHALL BE GLULAM LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE

ANTHONY FOREST PRODUCTS COMPANY'S "POWER PRESERVED GLULAM" OR APPROVED EQUAL

- (K) JOIST HANGERS, BEAM HANGERS, HURRICANE CLIPS, ANCHORS, AND CONNECTORS SHALL BE SUPPLIED BY SIMPSON STRONG-TIE CO., INC. OR APPROVED EQUAL AND ATTACHED WITH MANUFACTURER RECOMMENDATIONS.
- (L) HANGERS, CLIPS, CONNECTORS, ANCHORS, TIES, ETC. SHALL BE GALVANIZED.
- (M) HANGERS, CLIPS, CONNECTORS, ANCHORS, TIES, ETC. EXPOSED TO WEATHER, IN CONTACT WITH EARTH OR WATER, OR BELOW THE FIRST FLOOR LEVEL SHALL RECEIVE THE SIMPSON "Z-MAX" TRIPLE ZINC COATING OR APPROVED EQUAL.
- (N) STUD WALL BOTTOM PLATES CONNECTED TO CONCRETE SHALL BE SUPPLIED BY RAMSET OR APPROVED EQUAL.

4. CONNECTIONS:

CONNECTIONS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) WOOD MEMBERS (INCLUDING PLYWOOD SHEATHING OR BRACING) SHALL BE CONNECTED OR FASTENED WITH STEEL NAILS, SCREWS, OR BOLTS. ALL EXPOSED NAILS, SCREWS, OR BOLTS SHALL BE POLYMER COATED OR GALVANIZED.
- (B) NO STAPLES SHALL BE PERMITTED.
- (C) WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE LISTED IN IRC 2015 TABLE R602.3.
- (D) MEMBER END PIECES, JOINTS, OR SPLICES SHALL BE OVER SUPPORTS.
- (E) MULTIPLE PIECES OF LUMBER OR MANUFACTURED WOOD PRODUCTS USED TO FORM BEAM OR HEADER MEMBERS SHALL BE ATTACHED TOGETHER WITH (2) ROWS OF 12d NAILS SPACED AT 12" FOR PIECES UP TO 12" DEEP. ALL OTHER PIECES SHALL BE ATTACHED TOGETHER WITH (3) ROWS OF 12d NAILS SPACED AT 12".
- (F) MULTIPLE PIECES OF LUMBER USED TO FORM PACKED STUDS SHALL BE ATTACHED TOGETHER WITH (2) ROWS OF NAILS SPACED AT 8".
- (G) PLYWOOD WALL SHEATHING SHALL HAVE SOLID BLOCKING AT ALL HORIZONTAL JOINTS.
- (H) PLYWOOD ROOF SHEATHING VERTICAL JOINTS SHALL BE STAGGERED EVERY 4 FEET OR LESS.
- (I) FLOOR JOISTS SHALL HAVE BRIDGING AT 8'-0" O.C. (MAX.).
- (J) BOTTOM PLATE OF STUD WALLS TO CONCRETE SHALL BE CONNECTED WITH 1/4" RAMSETS AT 16" O.C.
- (K) PRE-ENGINEERED STRUCTURAL MEMBERS INCLUDING PSL, PPG, LVL, ETC. SHALL BE ERECTED AND BRACED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

OPENINGS:

OPENINGS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) OPENINGS IN WALLS SHALL HAVE HEADERS CONSISTING OF A MINIMUM OF TWO 2x12's OR THREE 2x10's (4'-0" MAX.).
- (B) OPENINGS IN EXTERIOR WALLS SHALL BE IN ACCORDANCE WITH THE FULL HEIGHT STUD REQUIREMENTS LISTED IN WFCM TABLE 3.23C.
- (C) FULL HEIGHT STUDS MAY BE REDUCED IN ACCORDANCE WITH THE REQUIREMENTS LISTED IN WFCM TABLE 3.23D.
- (D) JACK STUDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS LISTED IN WFCM TABLE 3.22F.

CONCRETE MASONRY UNIT (CMU) NOTES:

1. APPLICABLE CODES OR STANDARDS:

- ALL DESIGN. FABRICATION. TESTING. AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
- (A) TMS "BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES"
- (B) ASTM STANDARDS FOR THE MATERIALS LISTED.

MATERIALS:

MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) HOLLOW CORE CONCRETE MASONRY UNITS SHALL MEET ASTM C90, LIGHTWEIGHT, TYPE 1, AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1,900 PSI ON THE NET AREA FOR INDIVIDUAL UNITS.
- (B) CMU MORTAR SHALL MEET ASTM C270, TYPE "M" OR "S" AND HAVE A MINIMUM COMPRESSIVE CUBE STRENGTH OF 1,800 PSI AT 28 DAYS.
- (C) CMU GROUT (POURED OR PUMPED) SHALL MEET ASTM C476 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000
- (D) REINFORCED MASONRY WALLS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI.
- (E) STEEL REINFORCING BARS SHALL MEET ASTM A615 GRADE 60.
- (F) JOINT REINFORCING SHALL MEET ASTM A82.

REINFORCEMENT:

REINFORCEMENT SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) REINFORCEMENT SHALL BE HELD IN PLACE PRIOR TO GROUTING WITH WIRE POSITIONERS SPACED AT INTERVALS NOT EXCEEDING 192 REINFORCING BAR DIAMETERS FOR 10 FEET. ADDITIONAL POSITIONERS SHALL BE PLACED AT ALL REINFORCING BAR SPLICES.
- (B) PROVIDE HORIZONTAL BOND BEAMS AT THE TOP OF ALL WALLS AND AT ROOF. BOND BEAMS SHALL BE REINFORCED AS FOLLOWS:

WALL WIDTH: 8"

PSI AT 28 DAYS.

REINFORCING: 2 - #5

- (C) CONCRETE MASONRY WALLS SHALL HAVE 2 NO. 9 WIRE GALVANIZED HORIZONTAL JOINT REINFORCEMENT EVERY OTHER COURSE, IN ADDITION TO HORIZONTAL BOND BEAM REINFORCEMENT. TERMINATE BOND BEAM AND HORIZONTAL JOINT REINFORCING AT CONTROL JOINTS.
- (D) REINFORCE MASONRY AT BEARING POINTS OF ALL BEAMS, LINTELS, ETC. WITH 1 #6 (CONTINUOUS TO FOUNDATION) IN EACH BLOCK CORE BENEATH BEARING PLATES.
- (E) PROVIDE DOWELS FOR CMU WALL CONNECTION TO CONCRETE BEAMS, SLABS, AND FOOTINGS. LAP DOWELS 2'-0" (MIN.)
- (F) REINFORCEMENT, REBAR POSITIONERS, AND TIES SHALL BE PLACED PRIOR TO GROUTING.

4. GROUTING

- (A) CMU TO BE LAID IN RUNNING BOND PATTERN
- (B) GROUT PLACEMENT SHALL CONFORM TO APPLICABLE DESIGN STANDARDS; HOWEVER, THE MAXIMUM GROUT POUR HEIGHT SHALL NOT EXCEED 8 FEET AND THE MAXIMUM HEIGHT WHICH GROUT IS PLACED IN ONE CONTINUOUS OPERATION (GROUT LIFT) SHALL NOT EXCEED 4 FEET. THERE SHALL BE A MINIMUM OF 1 HOUR SETTING TIME BETWEEN EACH GROUT LIFT.
- (C) CLEANOUTS SHALL BE CONSTRUCTED ADJACENT TO EACH VERTICAL BAR IN THE BOTTOM COURSE OF MASONRY FOR EACH GROUT POUR HEIGHT THAT EXCEEDS 5 FEET. CONSTRUCT CLEANOUTS WITH AN OPENING OF SUFFICIENT SIZE TO PERMIT REMOVAL OF DEBRIS, BUT NO LESS THAN 3 IN. DIMENSION. AFTER CLEANING, CLOSE CLEANOUTS WITH CLOSURES BRACED TO RESIST GROUT PRESSURE. ALL CLEANOUTS SHALL BE LOCATED ON WALL FACE NOT EXPOSED TO VIEW.
- (D) THE TOP OF EACH GROUT POUR SHALL BE 1" BELOW THE BED JOINT.

SHORING

- (A) SHORE ALL MASONRY LINTELS UNTIL MASONRY AND GROUT HAVE BEEN ALLOWED TO SET FOR A MINIMUM OF 7 DAYS.
- (B) CONTRACTOR SHALL DESIGN, FABRICATE AND INSTALL BRACING THAT WILL ASSURE THE STABILITY OF THE MASONRY DURING CONSTRUCTION.

DESIGN INFORMATION:

- DESIGN LOADS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE).
 - (A) DESIGN BUILDING CODE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
 - (B) <u>DESIGN GRAVITY LOADS:</u>

FIRST FLOOR DL = 10 PSFLL = 40 PSFSECOND FLOOR DL = 10 PSFLL = 30 PSF

LL = 20 PSFDL = 15 PSFLL = 20 PSF

(C) WIND LOADS SHALL BE IN ACCORDANCE WITH ASCE 7-10: MAIN WIND FORCE RESISTING SYSTEM

ENCLOSURE CLASSIFICATION

INTERNAL PRESSURE COEFFICIENT

PARAMETER REFERENCE RISK CATEGORY TABLE 1.5-1 Vult. = 144 MPH | FIGURE 26.5-1B BASIC WIND SPEED Vasd. = 113 MPH $Kd = 0.85 \mid FIGURE 26.6-1$ DIRECTIONALITY EXPOSURE CATEGORY B | SECTION 26.7 Kzt = 1.0 | FIGURE 26.8-1 TOPOGRAPHIC FACTOR GUST EFFECT FACTOR 0.85 | SECTION 26.9

ENCLOSED | SECTION 26.10

 $CGpi = +/-0.18 \mid SECTION 26.11$

qh = 31.15 PSF | SECTION 28.3.2

DL = 10 PSF

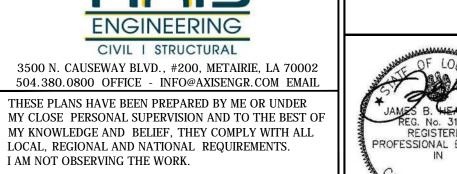
1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

Project: #2021-40

ROLDAN RESIDENCE **RENOVATION/ADDITION**

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

> **GENERAL** STRUCTURAL **NOTES**



31593

ENGINEER: JAMES B HEASLIP AE PROJECT #: 22094

LICENSE NUMBER:

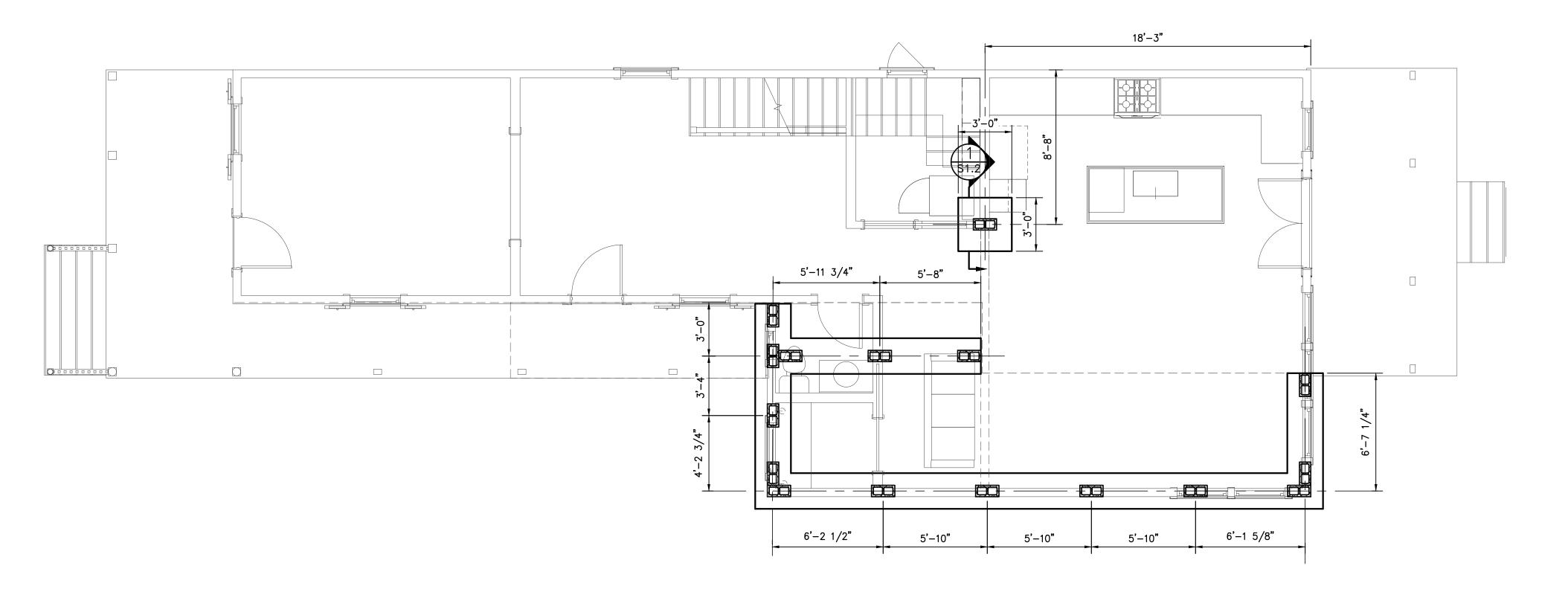
PROFESSIONAL ENGINEER

PROJECT NO.: DRAWING BY: CHECKED BY: SHEET NO.: S1.0B

2022-XX

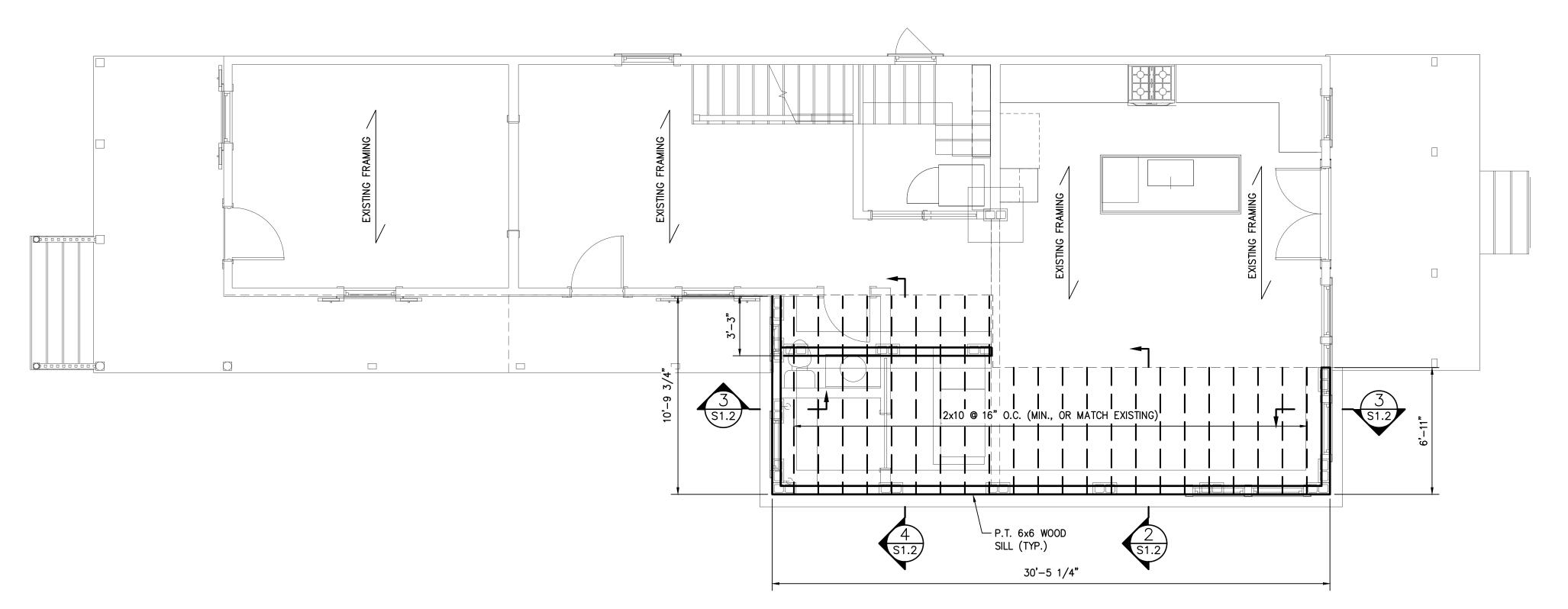
WMF

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FOUNDATION / CMU LAYOUT PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

PLAN NOTES:

- 1. FOR ALL NOTES, SEE DRAWING S1.0A S1.0B.
- 2. SYMBOL ON PLAN INDICATES 8" CMU BLOCK PIER:

A. GROUT FILL ALL CELLS

- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL ELEVATIONS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- 4. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AS SHOWN ON DRAWINGS. CONTACT ENGINEER OF RECORD IF ANY CONDITIONS DIFFER IN FIELD.



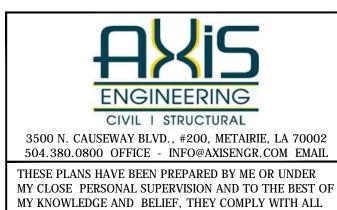
1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

Project: #2021-40

ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

FOUNDATION / CMU LAYOUT AND FIRST FLOOR FRAMING PLANS



LOCAL, REGIONAL AND NATIONAL REQUIREMENTS.
I AM NOT OBSERVING THE WORK.

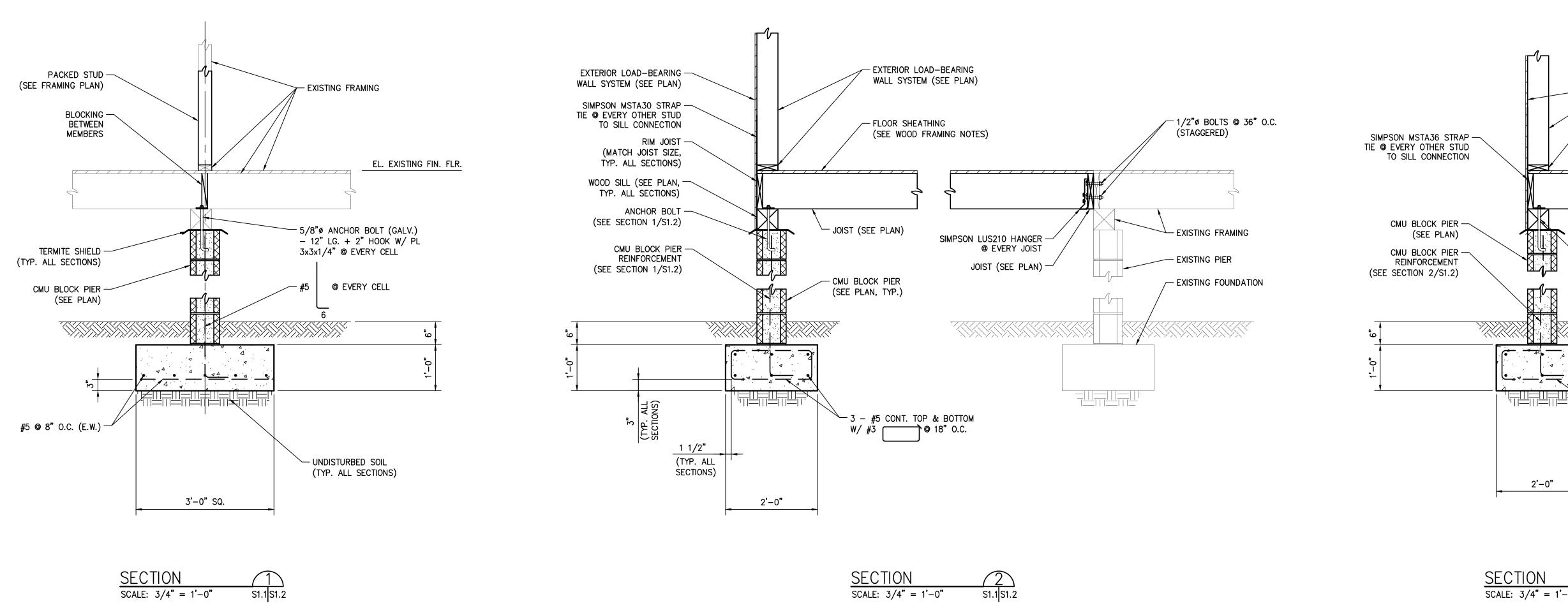
ENGINEER: JAMES B HEASLIP AE PROJECT #: 22094

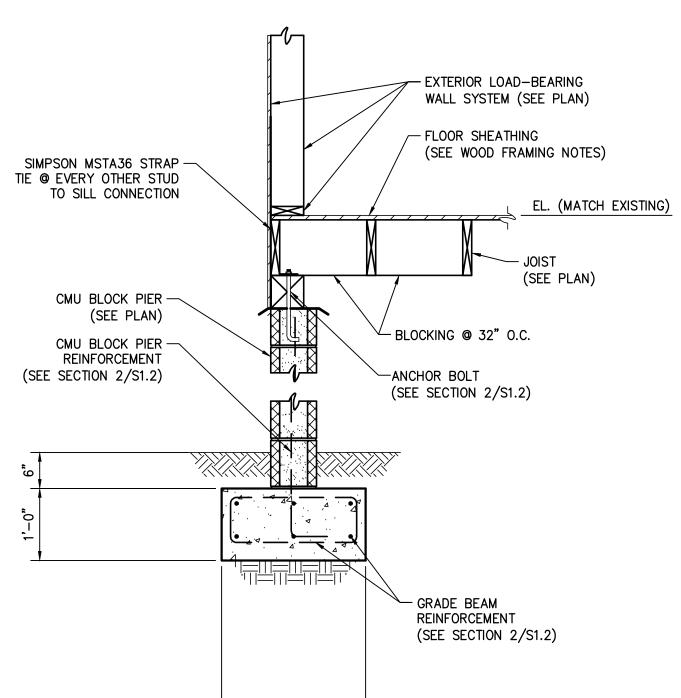
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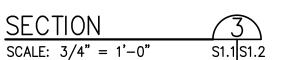
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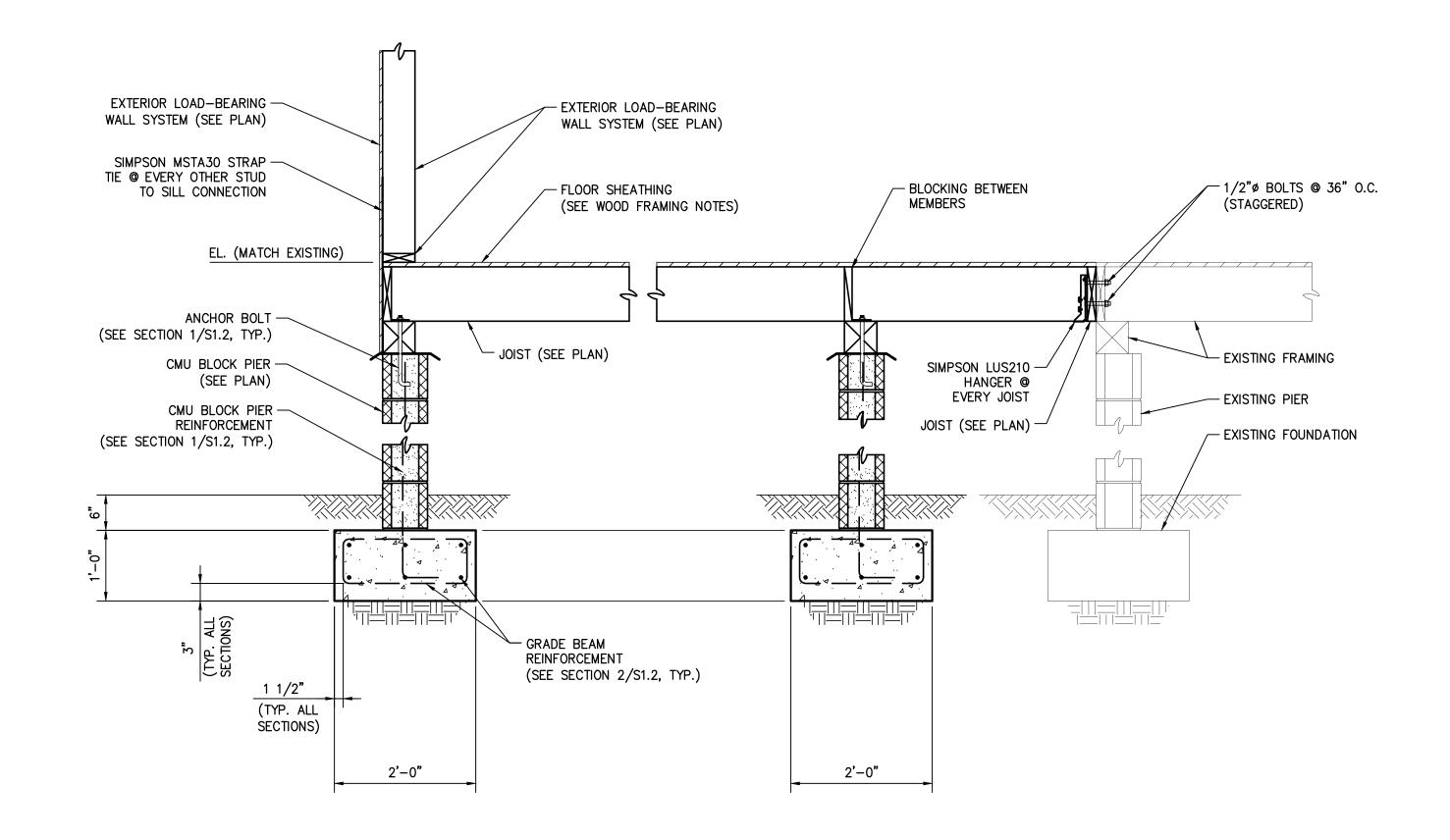
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CHECKED BY:	JBH
DRAWING BY:	WMF
PROJECT NO.:	2022-XX
DATE:	
	PROJECT NO.: DRAWING BY: CHECKED BY:

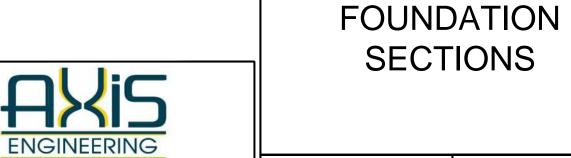
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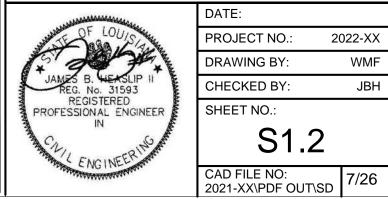












PROJECT NO.:

DRAWING BY:

CHECKED BY:

S1.2

SHEET NO.:

2022-XX

Project: #2021-40

ADDRESS:

ROLDAN RESIDENCE

517 DUFOSSAT ST.

RENOVATION/ADDITION

NEW ORLEANS, LA 70115

1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113

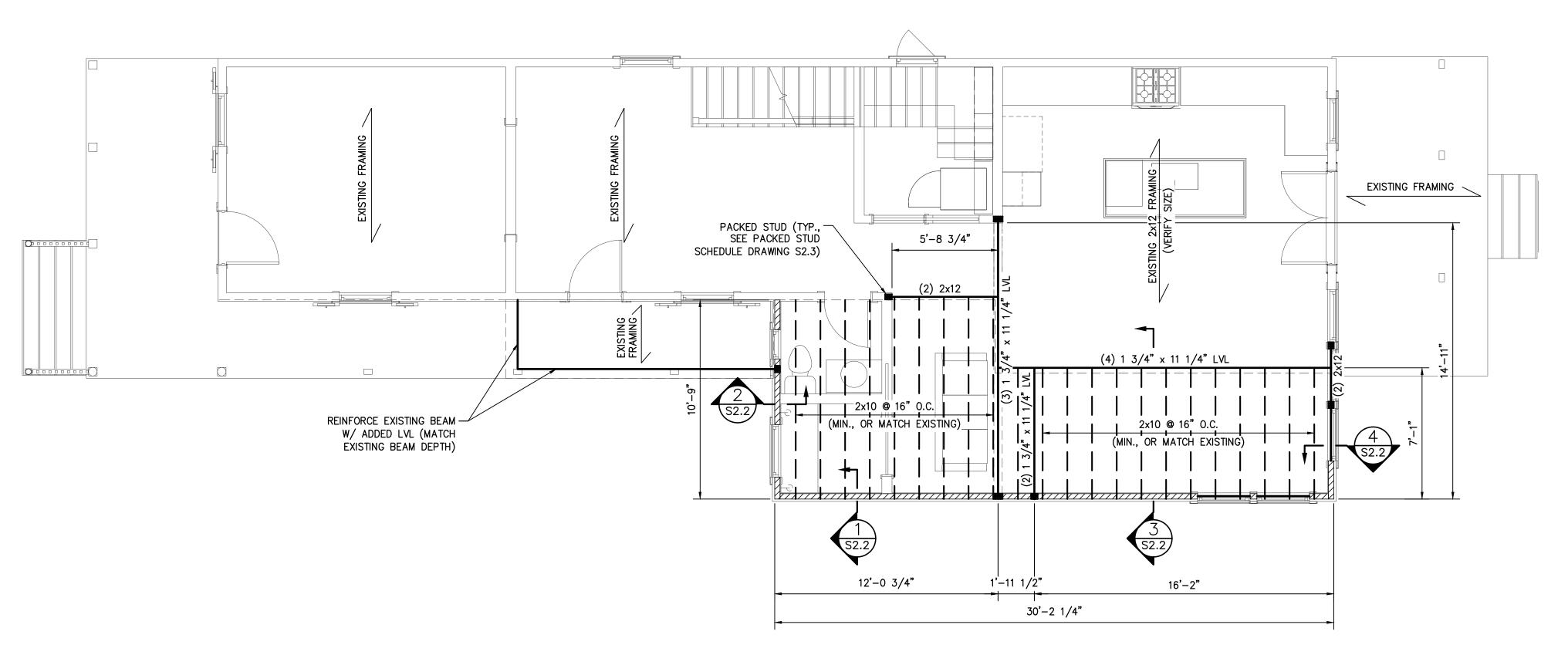
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	STATE OF THE STATE	
	JAMES B. HEASLIP II	
WWW P	REGISTERED ROFESSIONAL ENGINEER	
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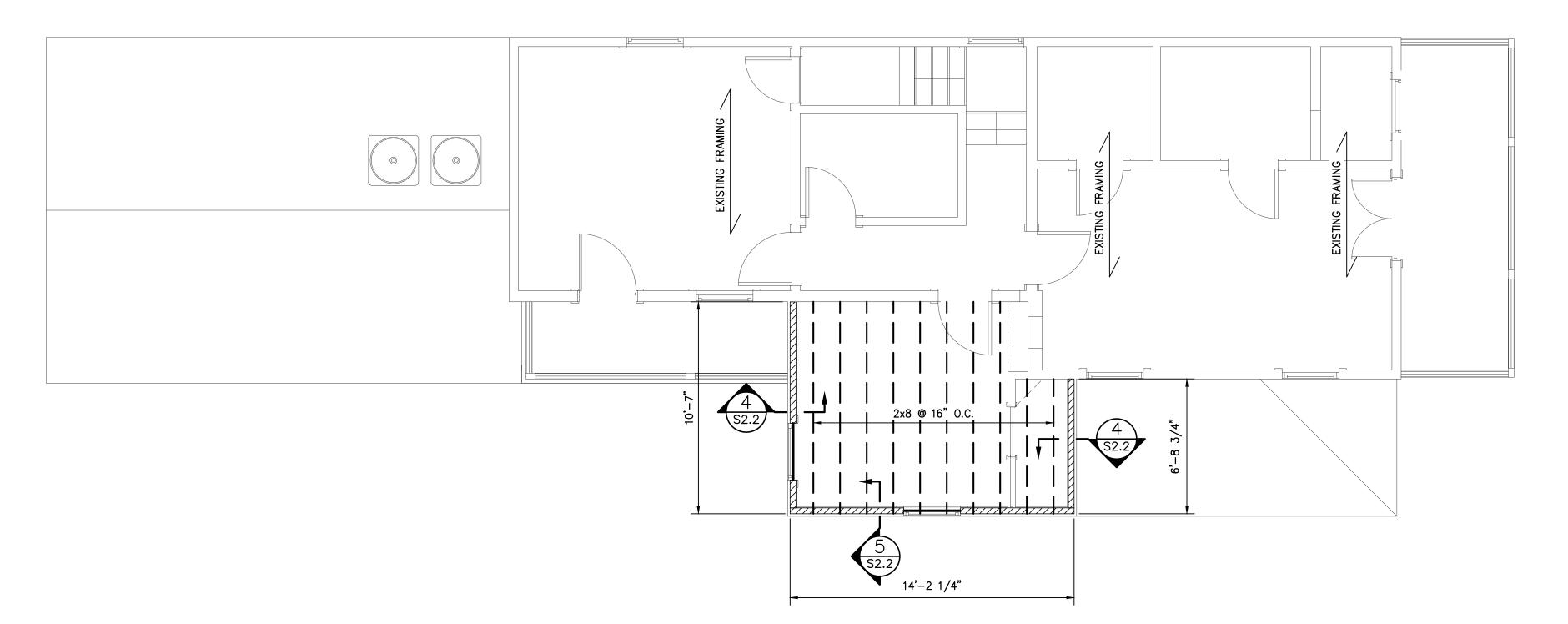
MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL LOCAL, REGIONAL AND NATIONAL REQUIREMENTS. I AM NOT OBSERVING THE WORK. ENGINEER: JAMES B HEASLIP AE PROJECT #: 22094 LICENSE NUMBER:

3500 N. CAUSEWAY BLVD., #200, METAIRIE, LA 70002 504.380.0800 OFFICE - INFO@AXISENGR.COM EMAIL

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF



FIRST FLOOR CEILING/ SECOND FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



SECOND FLOOR CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"

PLAN NOTES:

- 1. FOR ALL NOTES, SEE DRAWING S1.0A S1.0B.
- 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
- 3. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AS SHOWN ON DRAWINGS. CONTACT ENGINEER OF RECORD IF ANY CONDITIONS DIFFER IN FIELD.
- 4. MEASUREMENTS ARE TO EDGE OF FRAMING. SEE ARCHITECTURAL DRAWINGS FOR FINISHED DIMENSIONS.
- 5. UNLESS SHOWN ON PLANS, SEE WOOD FRAMING NOTES FOR HEADER SIZING.
- 6. Z///// SYMBOL ON PLAN INDICATES 2x4 EXTERIOR LOAD-BEARING WALL SYSTEM:

- A. 2x4 STUD @ 16" O.C. (MAX.)
 B. 2x4 BOTTOM PLATE
 C. DOUBLE 2x4 TOP PLATE
 D. SHEATHING SEE WOOD FRAMING NOTES
- E. BLOCKING @ 48" O.C. (MAX.)

1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

Project: #2021-40

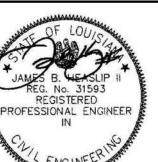
ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

> FRAMING **PLANS**



3500 N. CAUSEWAY BLVD., #200, METAIRIE, LA 70002 504.380.0800 OFFICE - INFO@AXISENGR.COM EMAIL THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL LOCAL, REGIONAL AND NATIONAL REQUIREMENTS.
I AM NOT OBSERVING THE WORK.



PROJECT NO.: DRAWING BY: CHECKED BY: SHEET NO.: S2.0

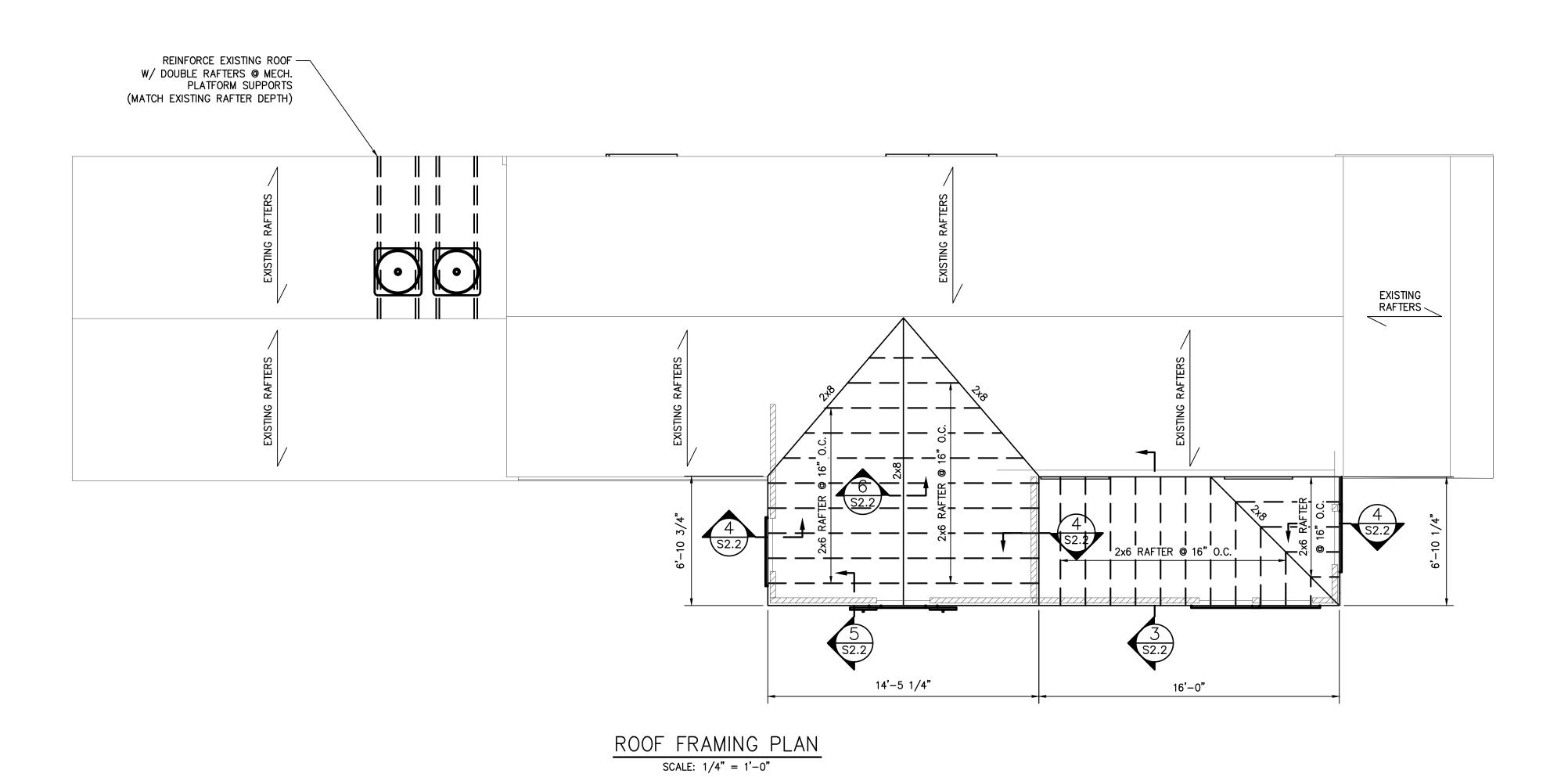
CAD FILE NO: 2021-XX\PDF OUT\SD 8/26

PLAN NOTES:

- 1. FOR ALL NOTES, SEE DRAWING S1.0A S1.0B.
- 2. FOR ALL PLAN NOTES, SEE DRAWING S2.0.



1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

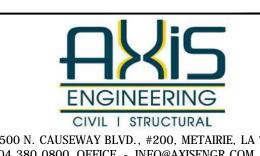


Project: #2021-40

ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

> ROOF FRAMING PLAN



CIVIL | STRUCTURAL

3500 N. CAUSEWAY BLVD., #200, METAIRIE, LA 70002
504.380.0800 OFFICE - INFO@AXISENGR.COM EMAIL

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER
MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF
MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL
LOCAL, REGIONAL AND NATIONAL REQUIREMENTS.
I AM NOT OBSERVING THE WORK.

I AM NOT OBSERVING THE WORK.

ENGINEER: JAMES B HEASLIP

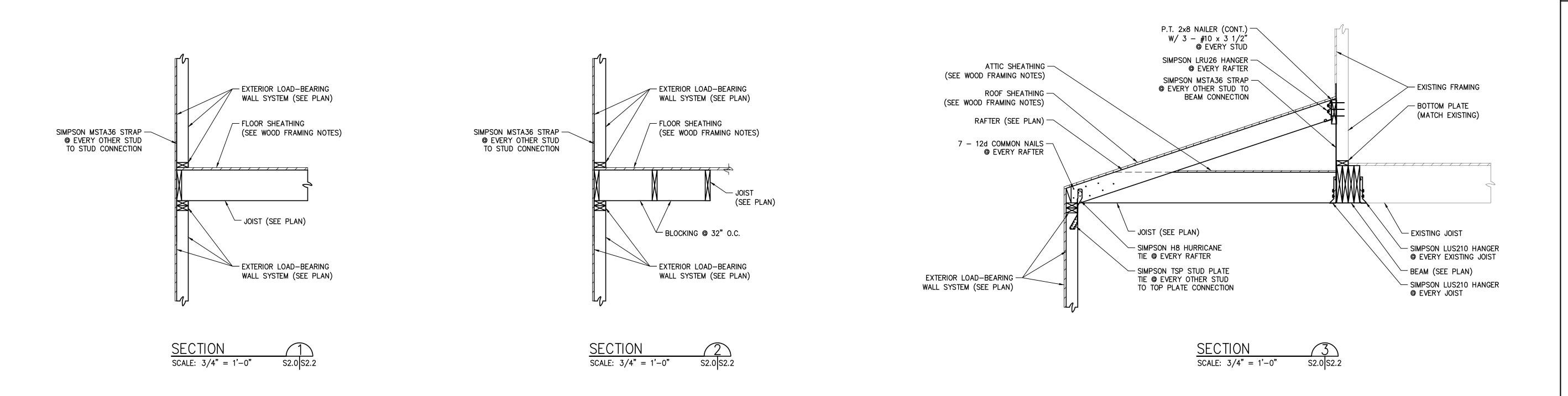
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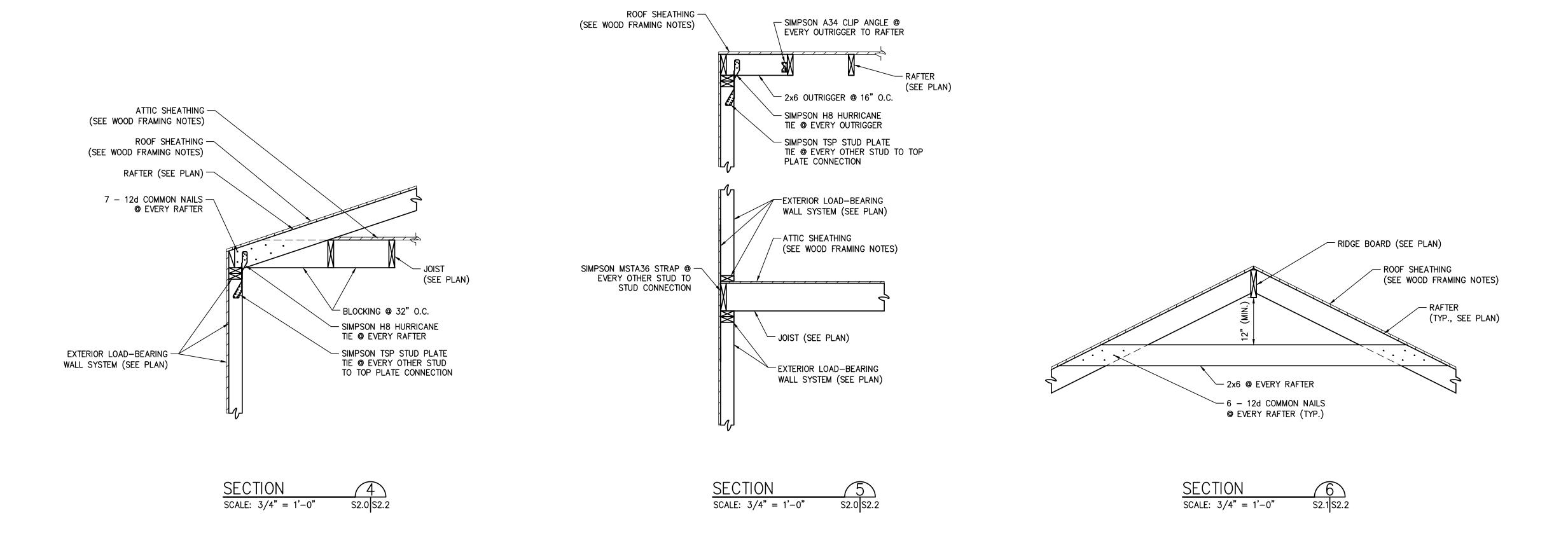
AE PROJECT #: 22094

LICENSE NUMBER:

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	DATE:	
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NEW ORLEANS, LA 70113 504.322.1220

Project: #2021-40

ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

> FRAMING SECTIONS

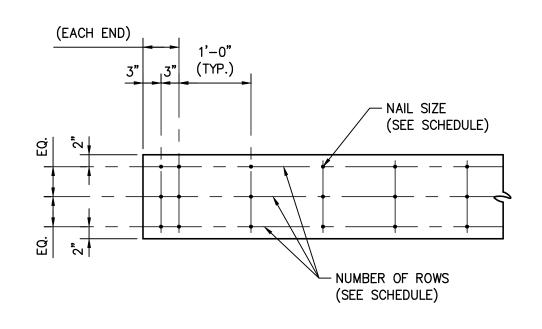
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CIVIL I STRUCTURAL	NAME OF LO
3500 N. CAUSEWAY BLVD., #200, METAIRIE, LA 70002 504.380.0800 OFFICE - INFO@AXISENGR.COM EMAIL	
THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL	JAMES B. HEAS REG. No. 315 REGISTERE
LOCAL, REGIONAL AND NATIONAL REQUIREMENTS. I AM NOT OBSERVING THE WORK.	PROFESSIONAL EI

LICENSE NUMBER:

ENGINEER: JAMES B HEASLIP AE PROJECT #: 22094

SSIONAL ENGINEER IN	SHEET NO.:	2
G. No. 31593 REGISTERED	CHECKED BY:	JB
	DRAWING BY:	WM
OF LOUISIAN	PROJECT NO.:	2022-X
MANAGAMAGA.	DATE:	

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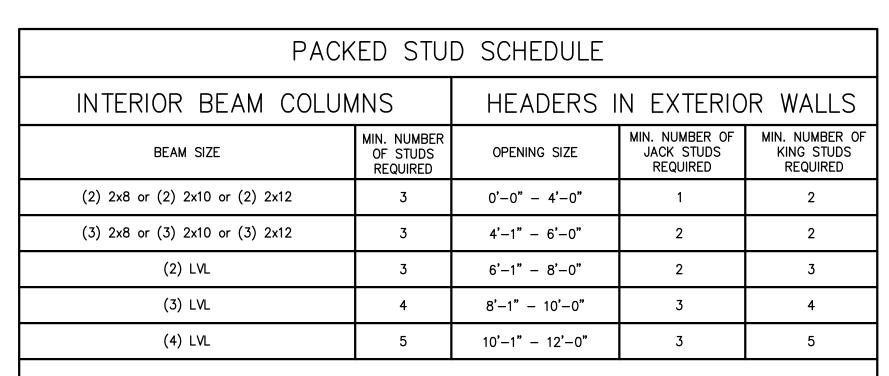


BEAM AND HEADER MEMBER SIZE	NUMBER OF ROWS	NAIL SIZE (COMMON NAIL)
(2) 2x8	2	12d
(2) 2x10	2	12d
(2) 2x12	3	12d
(3) 2x8	2	16d
(3) 2x10	2	16d
(3) 2x12	3	16d
(2) 1 3/4" x 11 1/4" LVL	3	16d
(3) 1 3/4" x 11 1/4" LVL	3	16d

NOTE:

ALL BEAM AND HEADER MEMBERS TO BE PROPERLY SHORED BY CONTRACTOR PRIOR TO NAILING MEMBERS TOGETHER.

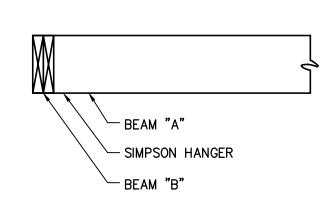
BEAM AND HEADER FASTENING PATTERN DETAIL SCALE: N.T.S.



1. PACKED STUD IS REQUIRED UNDER EACH BEAM END (UNLESS SHOWN OTHERWISE). 2. ALL PACKED STUDS SHALL BE CARRIED DOWN TO THE FOUNDATION.

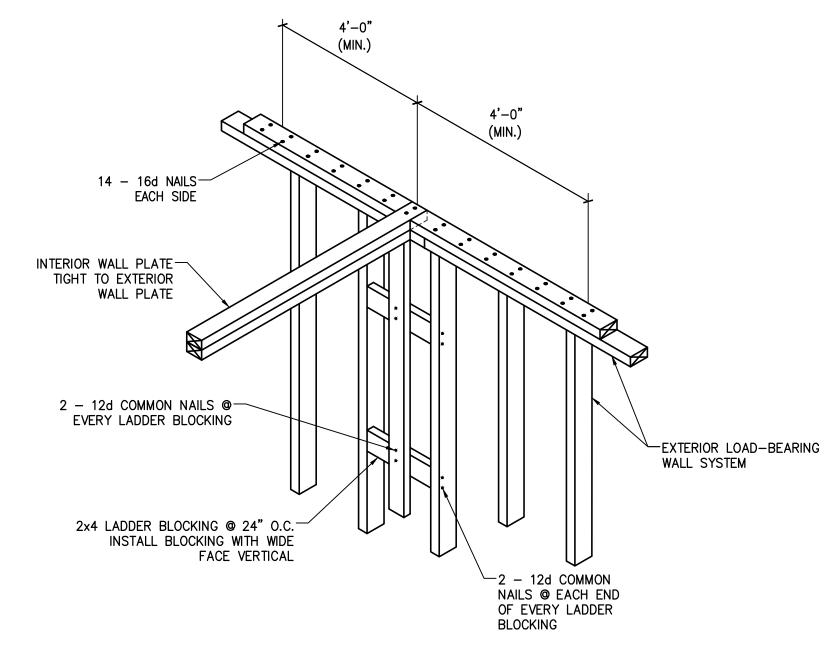
3. FULL HEIGHT STUDS ARE REQUIRED FOR PACKED STUD CONSTRUCTION.

4. SEE PACKED STUD DETAIL, THIS DRAWING.

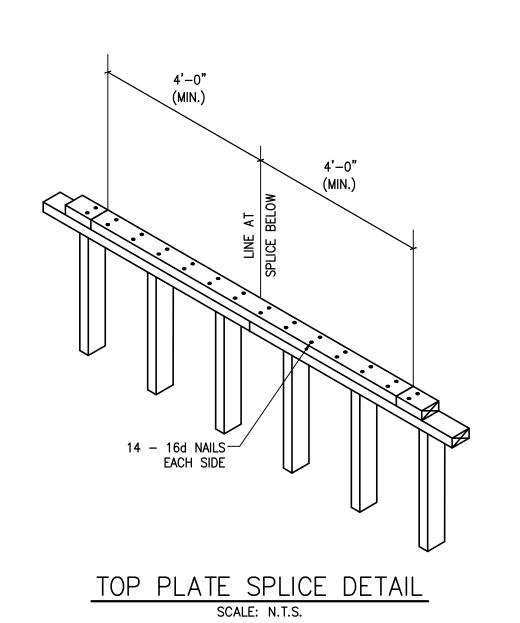


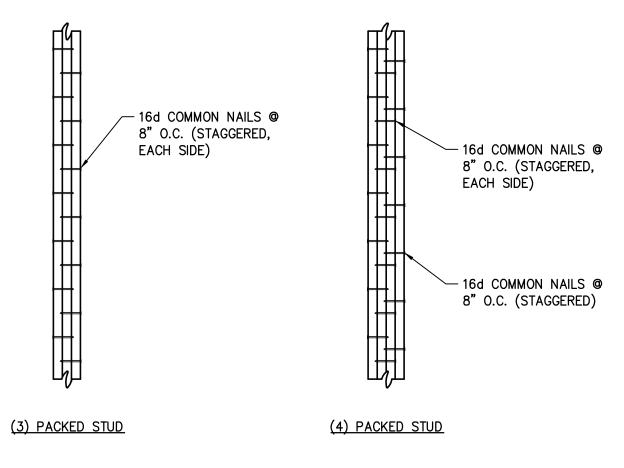
BEAM "A"	BEAM "B"	SIMPSON HANGER
(2) 1 3/4" x 11 1/4" LVL	(4) 1 3/4" x 11 1/4" LVL	HUS412
(4) 1 3/4" x 11 1/4" LVL	(3) 1 3/4" x 11 1/4" LVL	HGUS7.25/12

WOOD BEAM TO WOOD BEAM CONNECTION DETAIL SCALE: N.T.S.



INTERIOR WALL INTERSECTION DETAIL





PACKED STUD DETAIL SCALE: N.T.S.

3500 N. CAUSEWAY BLVD., #200, METAIRIE, LA 70002 504.380.0800 OFFICE - INFO@AXISENGR.COM EMAIL THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL LOCAL, REGIONAL AND NATIONAL REQUIREMENTS. I AM NOT OBSERVING THE WORK.

ENGINEER: JAMES B HEASLIP AE PROJECT #: 22094

Project: #2021-40

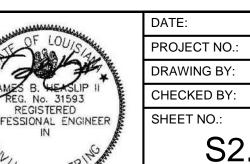
ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113

504.322.1220

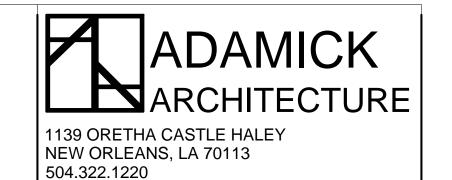
FRAMING **DETAILS**

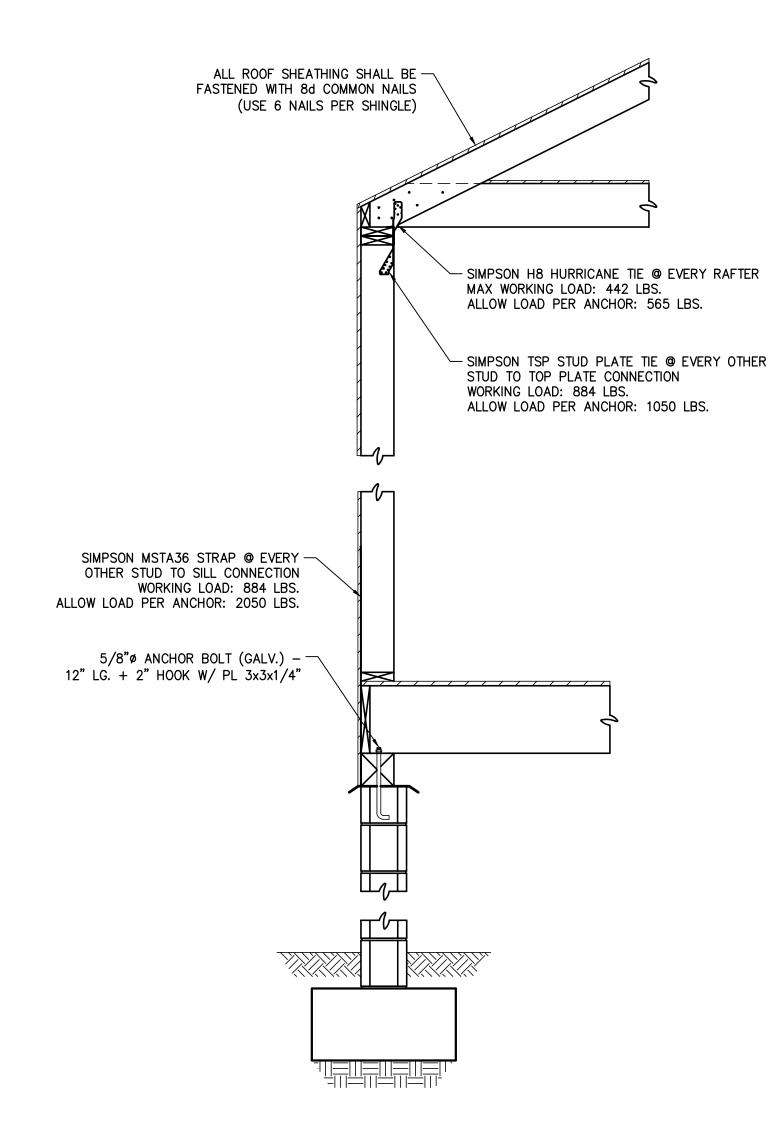


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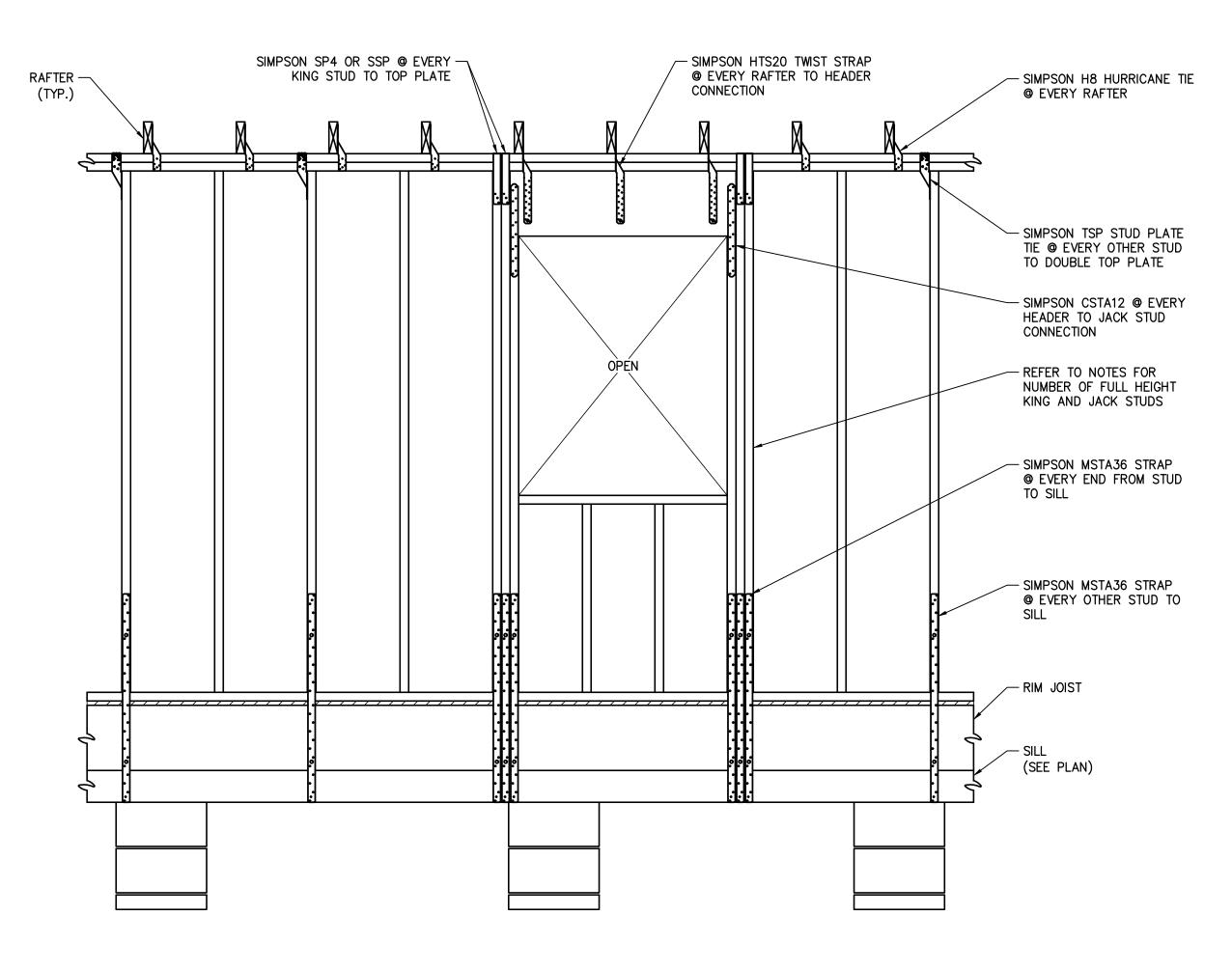
2022-XX

WMF





HURRICANE STRAPPING DIAGRAM SCALE: 3/4" = 1'-0"



CONTINUOUS LOAD PATH @ OPENINGS SCALE: 3/4" = 1'-0"

Project: #2021-40

ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

> FRAMING DETAILS



3500 N. CAUSEWAY BLVD., #200, METAIRIE, LA 70002 504.380.0800 OFFICE - INFO@AXISENGR.COM EMAIL THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL LOCAL, REGIONAL AND NATIONAL REQUIREMENTS.

I AM NOT OBSERVING THE WORK. ENGINEER: JAMES B HEASLIP AE PROJECT #: 22094 LICENSE NUMBER:

. NAMES AND STREET OF THE STRE	DATE:	
JAMES B. HEASLIP II REG. No. 31593 REGISTERED PROFESSIONAL ENGINEER IN ENGINEERING	PROJECT NO.: 20	022-XX
	DRAWING BY:	WMF
	CHECKED BY:	JBH
	SHEET NO.:	
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	DATE:	



Key Value	Keynote Text
1toy value	regreta Tox
D-01	HATCH INDICATES AREA OF DEMO, TYP.; PROVIDE SHORING WHERE REQ.
D-02	REMOVE EXIST. WINDOW AT THIS LOCATION; RETAI EXIST. ASSEMBLY FOR INSTALLATION AT NEW LOCATION. PREPARE OPENING FOR INFILL. RE: WINDOW SCHEDULE
D-03	REMOVE EXIST. WINDOW / DOOR. PREPARE OPENING FOR INFILL.
D-04	REMOVE EXIST. DOOR AND/OR TRANSOM, PREPARE OPENING FOR RE-INSTALLATION OF NEW DOOR AND/OR TRANSOM TO MATCH HISTORIC STYLE. RE: DOOR SCHEDULE
D-05	REMOVE EXIST. FLOORING AT THIS LOCATION; REPAIR / PREPARE SUBSTRATE FOR INSTALLATION OF NEW FLOOR AS PER FINISH PLANS.
D-07	REMOVE EXIST. SIDING & TRIM AT THIS WALL; PREPARE WALL FOR INSTALLATION OF NEW SIDING
D-10	EXIST. SIDING TO REMAIN, THIS WALL. REPAIR / REFINISH AS REQ'D.
D-11	REMOVE EXIST. PLUMBING FIXTURES.
D-12	REMOVE EXIST. A/C CONDENSERS TO BE RELOCATED; RE: MEP
D-13	REMOVE EXIST. HOT WATER HEATER TO BE RELOCATED; RE: MEP
D-14	REMOVE EXIST. DATA TO BE RELOCATED; RE: MEP
D-15	EXIST. ACCESSORY STRUCTURE TO REMAIN.
D-16	RETAIN EXIST. CAST IRON VENTS & LIGHTING. STOP & PROTECT AS REQ'D DURING CONSTRUCTION.
D-17	EXIST. LIGHTING TO REMAIN THIS AREA.
D-18	PREPARE EXIST. WALL FOR INSTALLATION OF NEW DOOR / WINDOW; RE: DOOR SCHEDULE
D-19	EXIST. PAVERS / FLATWORK TO REMAIN; CLEAN AN REPAIR AS REQ'D.
D-20	EXIST. DRIEVWAY TO REMAIN; CLEAN AND REPAIR AS REQ'D.
D-21	EXIST. LANDSCAPING / FOLIAGE TO REMAIN THROUGHOUT; PROVIDE PROTECTION DURING CONSTRUCTION.
D-22	REPAIR / REFINISH EXIST. DECK. REPAIR DAMAGED FRAMING AT CEILING ABOVE, PER STRUC. INSPECTION.
D-25	REMOVE EXIST. FENCE / GATE AT THIS LOCATION T PREPARE FOR NEW CONSTRUCTION.
D-26	EXIST. FENCE TO REMAIN THROUGHOUT EXCEPT WHERE NOTED; PROVIDE PROTECTION DURING CONSTRUCTION.
D-27	REMOVE EXIST. ELEC. PANEL / METER AT AREA OF DEMO. RELOCATE / PROVIDE NEW SUB-PANEL AS REQ'D FOR NEW ADDITION.

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS
 PRIOR TO BEGINNING DEMOLITION AND REPORT
 DISCREPANCIES IN EXISTING CONDITIONS DRAWINGS TO
 ARCHITECT.
- 2. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING & BRACING, TO ENSURE PLUMBNESS, STABILITY AND SAFETY, WHENEVER REQUIRED TO SUPPORT LOADS THAT MAY BE IMPOSED ON THE STRUCTURE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING & OBJECTS OUTSIDE THE DEMO SCOPE DUE TO DEMOLITION.
- 4. CONTRACTOR SHALL REMOVE FROM BUILDING SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION.
- 5. CONTRACTOR SHALL REMOVE EXISTING ELECTRICAL WORK AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING ELECTRICAL NOT UP TO CODE.
- 6. CONTRACTOR SHALL REMOVE ALL EXISTING PLUMBING LINES & BRANCHES AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING PLUMBING NOT UP TO CODE.
- 7. CONTRACTOR SHALL PREPARE BUILDING AS REQUIRED FOR PROPOSED HVAC WORK. ADDITIONAL SELECTIVE DEMOLITION MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING HVAC EQUIPMENT & DUCTWORK NOT UP TO CODE.
- 8. CONTRACTOR SHALL REMOVE ALL EXISTING ACCESSORIES, LIGHT FIXTURES AND APPLIANCES. SAVE FOR REVIEW BY (OWNER & ARCHITECT).
- ALL REMOVED DOORS, WINDOWS, AND ASSOCIATED HARDWARE AS NOTED BY THE PLANS TO BE REVIEWED BY OWNER AND (ARCHITECT) PRIOR TO DISPOSAL.
- 10. CONTRACTOR TO INSPECT ALL EXISTING FRAMING AND DEMOLISH ALL TERMITE DAMAGED FRAMING; PREPARE FOR REPLACEMENT WITH NEW TREATED MEMBERS TO MATCH EXISTING IN SIZE.
- 11. CONTRACTOR SHALL DONATE ALL MATERIALS, DOORS, WINDOWS, APPLIANCES, CABINETS, VANITIES, HISTORICAL DETAILS DESIGNATED FOR REMOVAL TO THE NON-PROFIT SALVAGE BUILDING SUPPLY STORE, 'THE GREEN PROJECT'. CONTRACTOR SHALL ARRANGE PICK-UP OF MATERIALS DIRECTLY WITH A 'GREEN PROJECT' REPRESENTATIVE & PROVIDE RECEIPT TO CLIENT. ANY ITEMS DONATED WITHOUT OWNER CONSENT, SHALL BE REPLACED & INSTALLED BY CONTRACTOR AT NO COST TO OWNER.

NOTE: EXISTING CONDITIONS TO REMAIN UNLESS NOTED OTHERWISE.

D-15

(1-) D201-

 06 JUL. 2022
 100 % CD

 20 MAY. 2022
 90% CD

 23 MAR. 2022
 DD-1

 04 FEB. 2022
 SD-1

 01 FEB. 2022
 EC-1

1139 ORETHA CASTLE HALEY

Description

Date

NEW ORLEANS, LA 70113

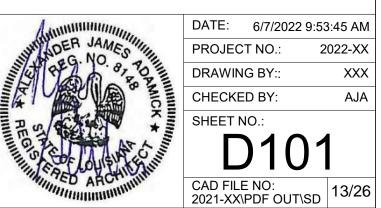
504.322.1220

Project: #2021-40

ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

EXISTING/DEMO FIRST FLOOR PLAN & NOTES



Det | Det |

1/4" = 1'-0"

∕—D-26

D-10-

	SHEET - KEYNOTES	
Key Value Keynote Text		
D-01	HATCH INDICATES AREA OF DEMO, TYP.; PROVIDE SHORING WHERE REQ.	
D-03	REMOVE EXIST. WINDOW / DOOR. PREPARE OPENING FOR INFILL.	
D-04	REMOVE EXIST. DOOR AND/OR TRANSOM, PREPARI OPENING FOR RE-INSTALLATION OF NEW DOOR AND/OR TRANSOM TO MATCH HISTORIC STYLE. RE: DOOR SCHEDULE	
D-07	REMOVE EXIST. SIDING & TRIM AT THIS WALL; PREPARE WALL FOR INSTALLATION OF NEW SIDING	
D-08	REMOVE EXIST. SIDING & TRIM AT THIS WALL; PREPARE WALL FOR INSTALLATION OF GYP (RE: WALL TYPES)	
D-10	EXIST. SIDING TO REMAIN, THIS WALL. REPAIR / REFINISH AS REQ'D.	
D-23	REPAIR / REFINISH EXIST. WOOD PORCH / RAILINGS AS REQ'D.	
D-24	REMOVE / REPLACE EXIST. RAILINGS.	

GENERAL DEMOLITION NOTES

- 1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND REPORT DISCREPANCIES IN EXISTING CONDITIONS DRAWINGS TO ARCHITECT.
- 2. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING & BRACING, TO ENSURE PLUMBNESS, STABILITY AND SAFETY, WHENEVER REQUIRED TO SUPPORT LOADS THAT MAY BE IMPOSED ON THE STRUCTURE DURING DEMOLITION AND CONSTRUCTION.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING & OBJECTS OUTSIDE THE DEMO SCOPE DUE TO DEMOLITION.
- 4. CONTRACTOR SHALL REMOVE FROM BUILDING SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION.
- 5. CONTRACTOR SHALL REMOVE EXISTING ELECTRICAL WORK AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING ELECTRICAL NOT UP TO CODE.
- 6. CONTRACTOR SHALL REMOVE ALL EXISTING PLUMBING LINES & BRANCHES AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING PLUMBING NOT UP TO CODE.
- 7. CONTRACTOR SHALL PREPARE BUILDING AS REQUIRED FOR PROPOSED HVAC WORK. ADDITIONAL SELECTIVE DEMOLITION MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING HVAC EQUIPMENT & DUCTWORK NOT UP TO CODE.
- 8. CONTRACTOR SHALL REMOVE ALL EXISTING ACCESSORIES, LIGHT FIXTURES AND APPLIANCES. SAVE FOR REVIEW BY (OWNER & ARCHITECT).
- 9. ALL REMOVED DOORS, WINDOWS, AND ASSOCIATED HARDWARE AS NOTED BY THE PLANS TO BE REVIEWED BY OWNER AND (ARCHITECT) PRIOR TO DISPOSAL.
- 10. CONTRACTOR TO INSPECT ALL EXISTING FRAMING AND DEMOLISH ALL TERMITE DAMAGED FRAMING; PREPARE FOR REPLACEMENT WITH NEW TREATED MEMBERS TO MATCH EXISTING IN SIZE.
- 11. CONTRACTOR SHALL DONATE ALL MATERIALS, DOORS, WINDOWS, APPLIANCES, CABINETS, VANITIES, HISTORICAL DETAILS DESIGNATED FOR REMOVAL TO THE NON-PROFIT SALVAGE BUILDING SUPPLY STORE, 'THE GREEN PROJECT'. CONTRACTOR SHALL ARRANGE PICK-UP OF MATERIALS DIRECTLY WITH A 'GREEN PROJECT' REPRESENTATIVE & PROVIDE RECEIPT TO CLIENT. ANY ITEMS DONATED WITHOUT OWNER CONSENT, SHALL BE REPLACED & INSTALLED BY CONTRACTOR AT NO COST TO OWNER.

<u>NOTE</u>: EXISTING CONDITIONS TO REMAIN UNLESS NOTED OTHERWISE.

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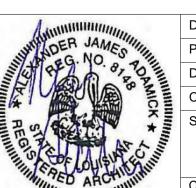
1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

No.	Description	Date

EXISTING/DEMO SECOND FLOOR PLAN & NOTES

100 % CD

90% CD



06 JUL. 2022

20 MAY. 2022

23 MAR. 2022

04 FEB. 2022

01 FEB. 2022

Project: #2021-40

517 DUFOSSAT ST.

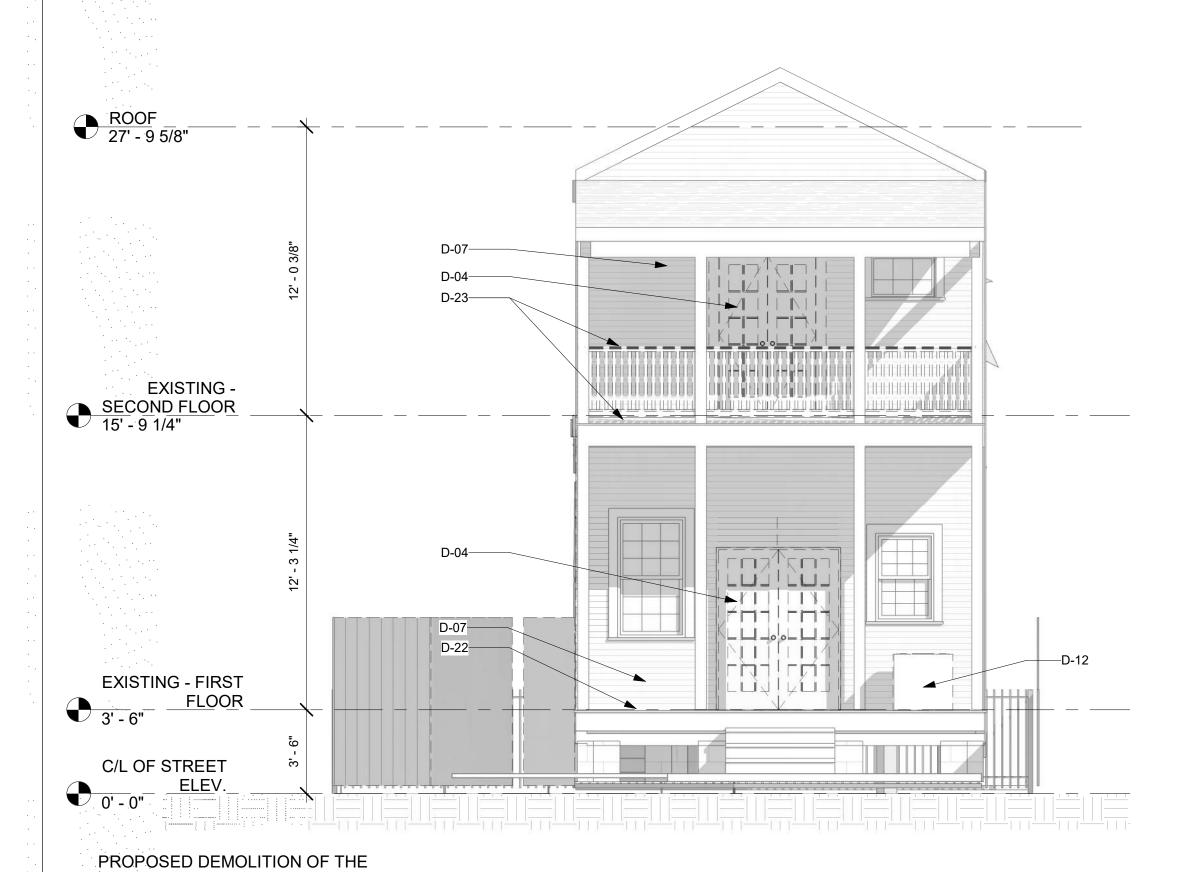
ROLDAN RESIDENCE RENOVATION/ADDITION

NEW ORLEANS, LA 70115

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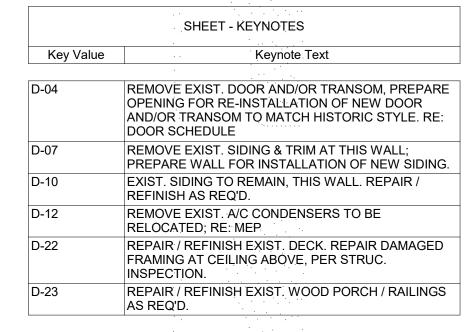
DEMOLITION PLAN - SECOND FLOOR 1/4" = 1'-0"



1) FRONT ELEVATION 1/4" = 1'-0"

PROPOSED DEMOLITION OF THE RIGHT

2 SIDE ELEVATION 1/4" = 1'-0"



GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND REPORT DISCREPANCIES IN EXISTING CONDITIONS DRAWINGS TO ARCHITECT.
- . CONTRACTOR SHALL PROVIDE TEMPORARY SHORING & BRACING, TO ENSURE PLUMBNESS, STABILITY AND SAFETY, WHENEVER REQUIRED TO SUPPORT LOADS THAT MAY BE IMPOSED ON THE STRUCTURE DURING
- DEMOLITION AND CONSTRUCTION. 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING & OBJECTS OUTSIDE THE DEMO SCOPE
- DUE TO DEMOLITION. CONTRACTOR SHALL REMOVE FROM BUILDING SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING
- 5. CONTRACTOR SHALL REMOVE EXISTING ELECTRICAL WORK AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING ELECTRICAL NOT UP TO CODE.

FROM DEMOLITION.

- 6. CONTRACTOR SHALL REMOVE ALL EXISTING PLUMBING LINES & BRANCHES AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING PLUMBING NOT UP TO CODE.
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NOTE: EXISTING CONDITIONS TO REMAIN UNLESS NOTED OTHERWISE.



1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

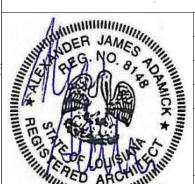
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Project: #2021-40		

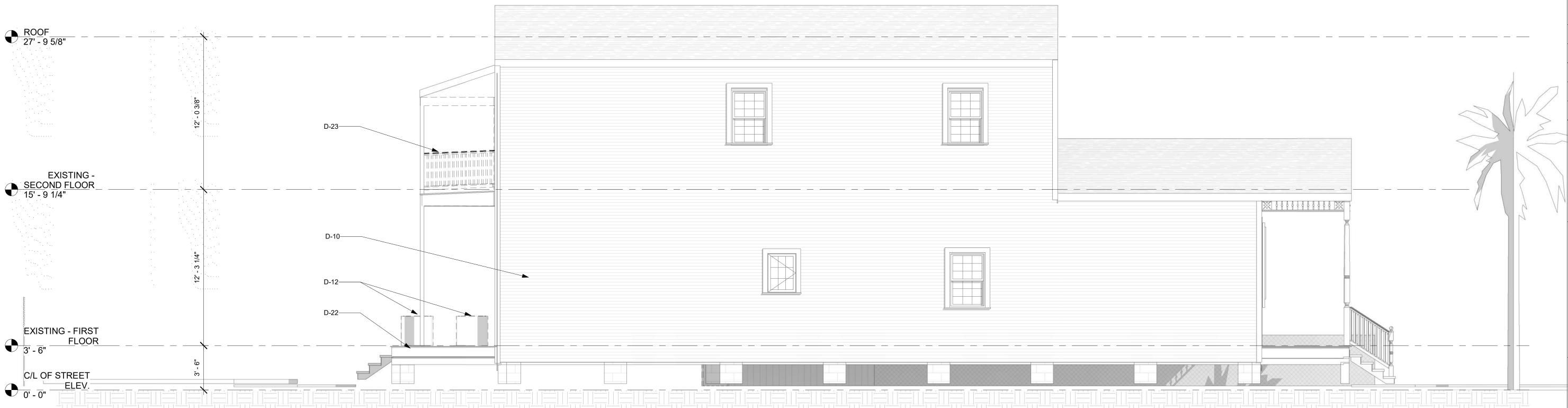
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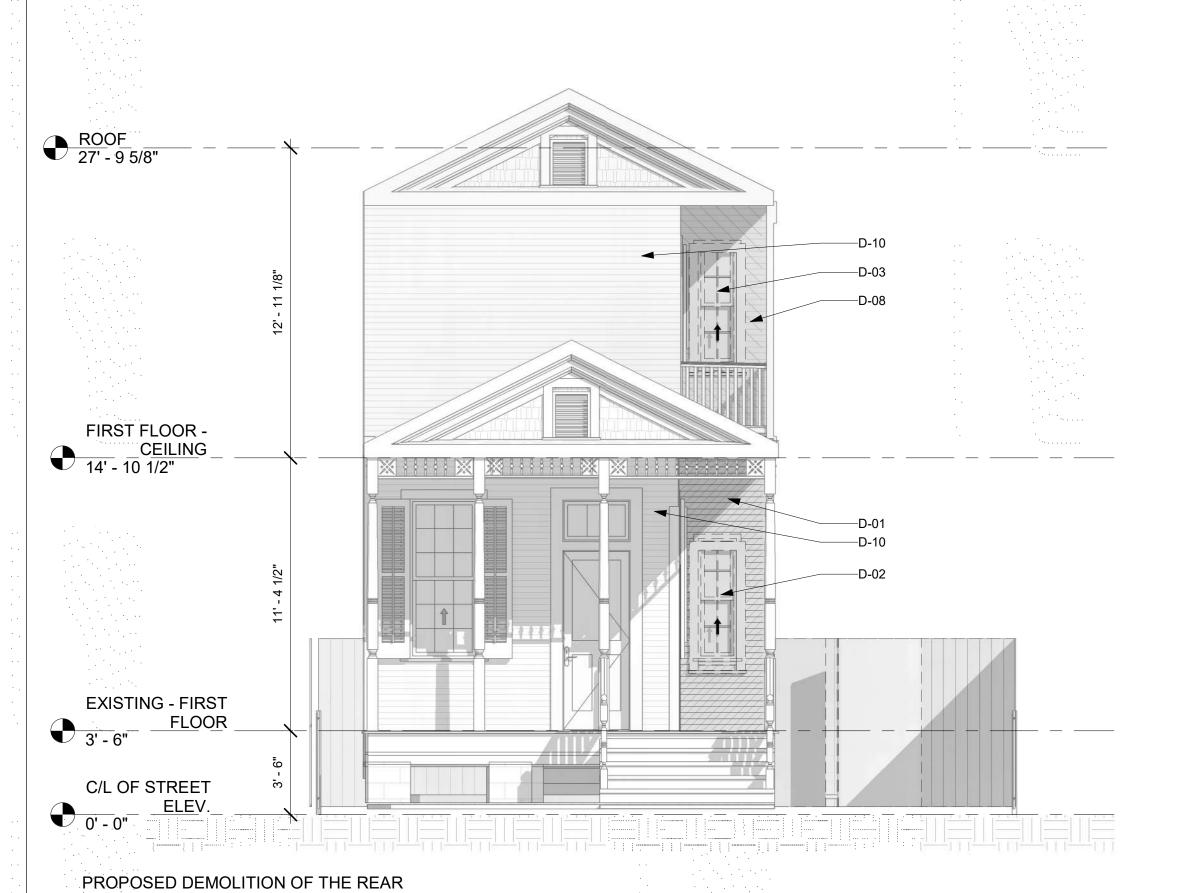
517 DUFOSSAT ST. NEW ORLEANS, LA 70115

> EXISTING/DEMO **EXTERIOR ELEVATIONS &** NOTES



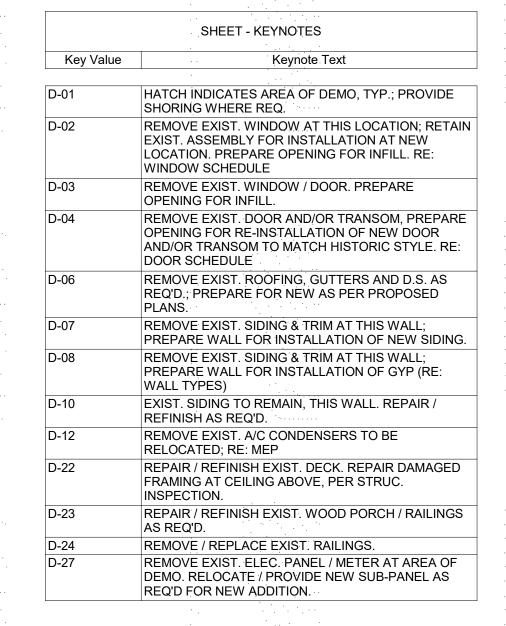
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PROPOSED DEMOLITION OF THE LEFT

2 SIDE ELEVATION 1/4" = 1'-0"



GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND REPORT DISCREPANCIES IN EXISTING CONDITIONS DRAWINGS TO ARCHITECT.
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- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING & OBJECTS OUTSIDE THE DEMO SCOPE DUE TO DEMOLITION.
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- 5. CONTRACTOR SHALL REMOVE EXISTING ELECTRICAL WORK AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING ELECTRICAL NOT UP TO CODE.

FROM DEMOLITION.

- 6. CONTRACTOR SHALL REMOVE ALL EXISTING PLUMBING LINES & BRANCHES AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING PLUMBING NOT UP TO CODE.
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1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

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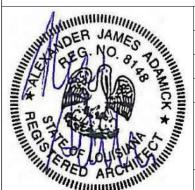
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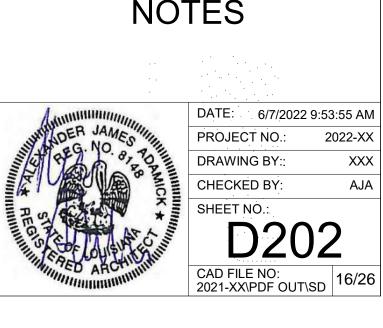
Project: #2021-40

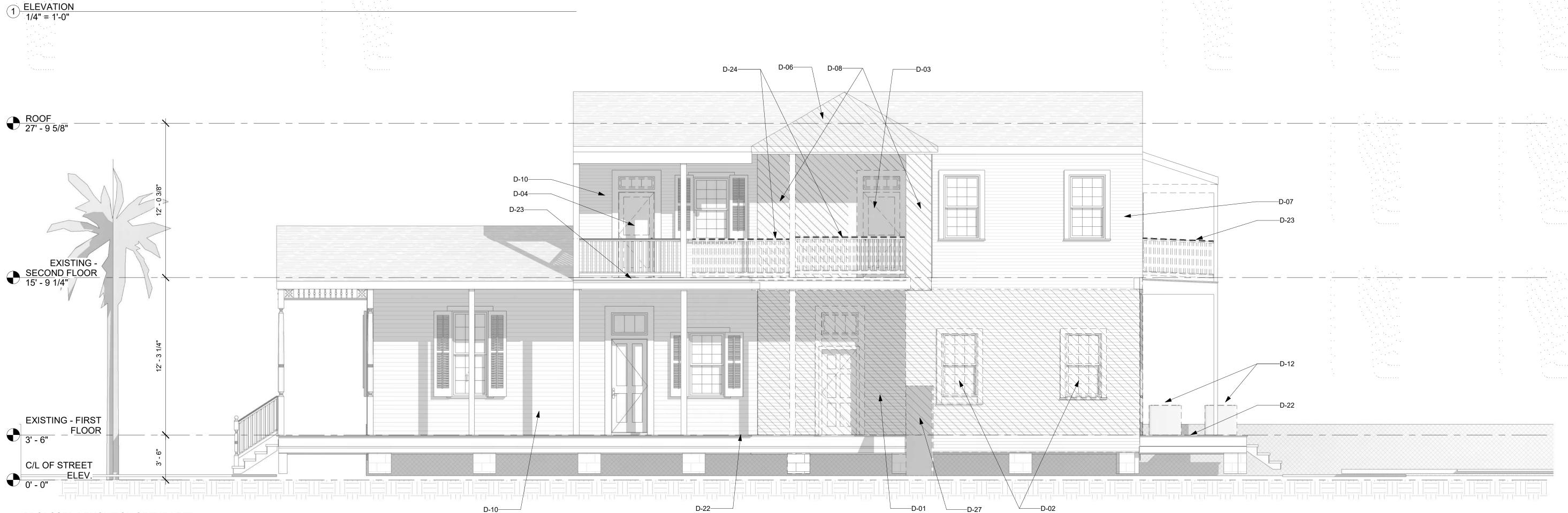
ROLDAN RESIDENCE RENOVATION/ADDITION

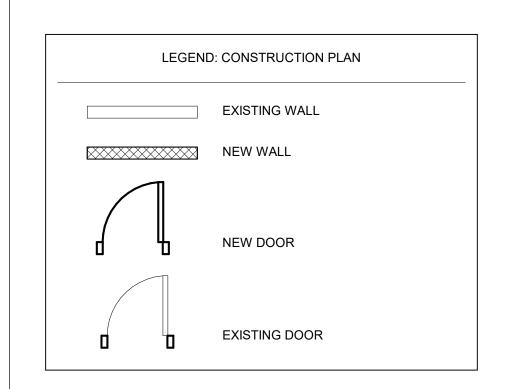
ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

EXISTING/DEMO **EXTERIOR ELEVATIONS &** NOTES









1/4" = 1'-0"

SHEET - KEYNOTES		
Key Value	Keynote Text	
N-06	NEW ALUMINUM BAKED 6"HALF-ROUND GUTTERS CONNECTED TO 3 1/2" CIRCULAR. D.S. BELOW, TYP.	
N-15	NEW BEAM AS REQ'D (CONCEALED AT JOIST LEVEL); RE: STRUC.	
N-17	REPAIR / REFINISH EXIST. WOOD PORCH / DECKING AS REQ'D.	
N-18	REPAIR / REFINISH EXIST. WOOD COLUMNS / RAILINGS AS REQ'D. ADD ENDPOST WHERE EXIST. RAILING AT SIDE PORCH IS CUT FOR DEMO WORK. REPAINT TO MATCH EXIST.	
N-21	NEW HARDWOOD FLOORING THROUGHOUT FIRST FLOOR TO MATCH EXIST., TYP. RE: ROOM SCHED.	
N-22	NEW TILE FLOORS AT THIS LOCATION; RE: ROOM SCHED.	
N-23	SYMBOL INDICATES NEW WOOD THRESHOLD TO MATCH WOOD FLOORING, TYP.	
N-25	NEW INTERIOR DOOR, TYP. PER TAG; RE. DOOR SCHED.	
N-26	NEW EXTERIOR DOOR AND/OR TRANSOM IN EXIST. LOCATION TO MATCH HISTORIC STYLE. FLASH AND REPAIR DAMAGE AS REQ'D FOR PROPER FUNCTION. RE: DOOR SCHEDULE	
N-27	NEW WINDOW, TYP. PER TAG; RE. WINDOW SCHED.	
N-28	RESTORE EXIST. WINDOW AS REQ. FOR PROPER FUNCTION. WEATHERPROOF AND PAINT TO MATCH NEW, TYP.	
N-29	EXIST. WINDOW RELOCATED TO THIS LOCATION. RESTORE EXIST. WINDOW AS REQ. FOR PROPER FUNCTION. WEATHERPROOF AND PAINT TO MATCH NEW, TYP. (RE: SCHEDULE).	
N-30	NEW COUNTERTOP AT THIS LOCATION; GC TO COORD. SELECTION W/ OWNER & VENDOR AS REQ.	
N-31	NEW MILLWORK & FIXTURES AT THIS LOCATION; GC TO COORD. SELECTIONS W/ OWNER & VENDOR AS REQ.	

Key Value	Keynote Text		
N-32	EXIST. MILLWORK TO REMAIN. REPAIR ANY WATER DAMAGE.		
N-33	RELOCATE EXIST. DATA TO THIS LOCATION; RE: MEP		
N-35	NEW BANQUETTE SEATING W/ STORAGE BELOW. COORDINATE HEIGHT WITH WINDOW SILL. COORDINATE ELEC. AND FINISH SELECTIONS W/ ID & OWNER.		
N-36	NEW PLUMBING FIXTURES, AT THIS ROOM; GC & PLUMBER TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.		
N-37	NEW STACKED WASHER AND DRYER AT THIS LOCATION; GC & PLUMBER TO COORD. SELECTIONS W/OWNER & VENDORS AS REQ.		
N-38	NEW WALL TILE UP TO 4'-0" DATUM GC TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.		
N-45	EXIST. STAIRS TO REMAIN. REFINISH AS REQ'D; COORD. W/ ID & OWNER.		
N-52	EXIST. SIDING TO REMAIN. REPAIR / REFINISH AS REQ'D.		
N-53	NEW HARDIEPLANK LAPSIDING W/ SMOOTH FINISH AND 5 1/2" EXPOSURE. TRIM & CORNERBOARDS TO BE 5 1/2" HARDIETRIM.		
N-55	PROPOSED LOCATION OF EXIST. ELECTRICAL METER (RELOCATED). ELECTRICIAN TO COORD. LOCATION W/OWNER. REVIEW IF EXIST. METER IS ADEQUATE FOR ADDITION & COORD. UPGRADE W/ENTERGY AS REQ.		
N-56	PROPOSED LOCATION OF EXIST. ELECTRICAL PANEL (RELOCATED). ELECTRICIAN TO COORD. LOCATION W/OWNER.		
N-57	RELOCATE HOT WATER HEATER TO THIS LOCATION; RE: MEP		

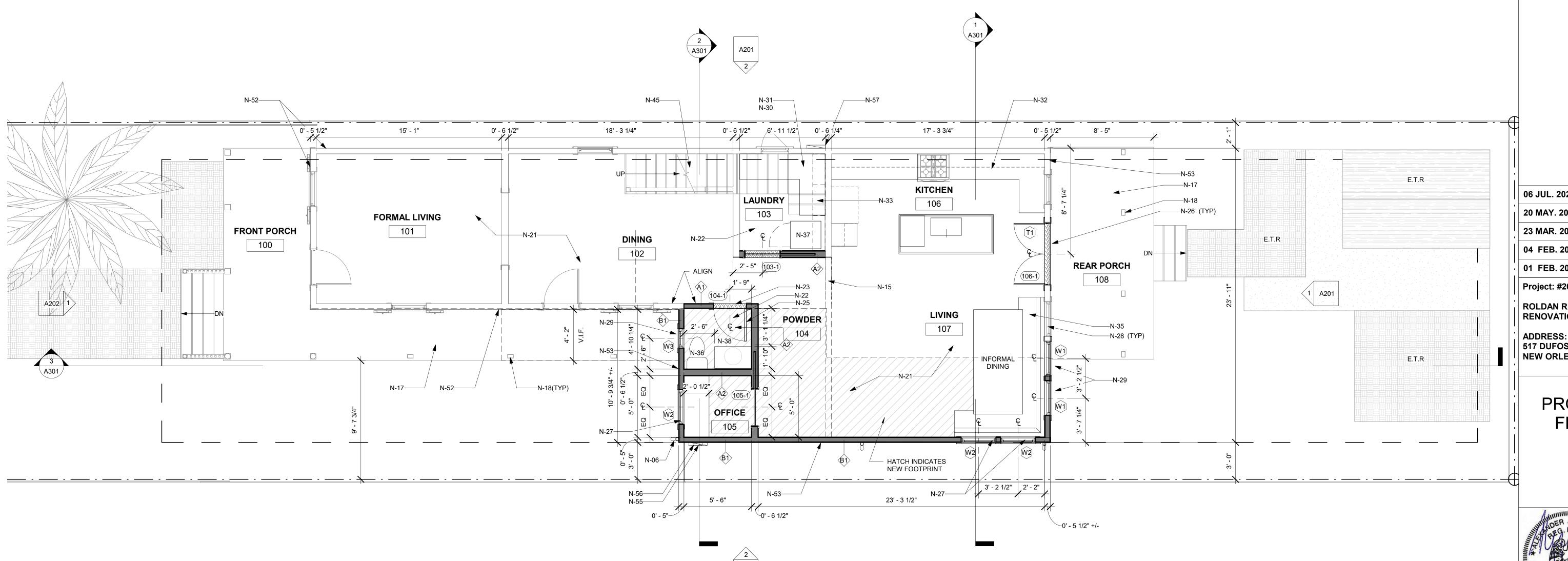
GENERAL CONSTRUCTION NOTES

- 1. ALL DIMENSIONS ARE "FINISH TO FINISH," UNLESS NOTED OTHERWISE.
- 2. CONTRACTOR WILL PROVIDE BATT INSULATION IN CAVITIES OF ANY EXTERIOR WALL. SEE SHEETS A351 & A501 FOR INSULATION STRATEGY.
- 3. CONTRACTOR TO INSTALL DRAFT STOPS IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED IN ACCORDANCE WITH IRC 2015 SECTION R302.12.
- 4. CONTRACTOR WILL REPLACE FIREPROOFING IF DISTURBED OR FOUND DEFICIENT DURING THE COURSE OF CONSTRUCTION.
- 5. ALL NEW WINDOWS & DOORS TO BE SELECTED BY CONTRACTOR, AND APPROVED BY THE OWNER PRIOR TO PURCHASE AND INSTALL. ALL NEW WINDOWS & DOORS TO BE INSTALLED USING MANUFACTURES SPECS. ALL EXTERIOR DOORS & WINDOWS TO HAVE NEW DRIP CAP. CASING <u>(TO MATCH EXISTING)</u>. SEE WINDOW & DOORS SCHEDULE ON SHEET A601 FOR SIZING AND GENERAL WINDOW NOTES.
- 6. ALL NEW SIDING TO BE HARDIE BOARD WITH SMOOTH FINISH WITH 5 1/2" EXPOSURE, OR EXPOSURE TO MATCH EXISTING. ALL NEW TRIM AND CORNER BOARDS TO BE 5" HARDIE BOARD UNLESS SPECIFIED OTHERWISE. FINISH COLOR TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE A MIN. OF TWO (2) SAMPLES.



1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

No.	Description	Date



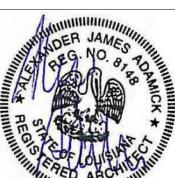
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Project: #2021-40

ROLDAN RESIDENCE RENOVATION/ADDITION

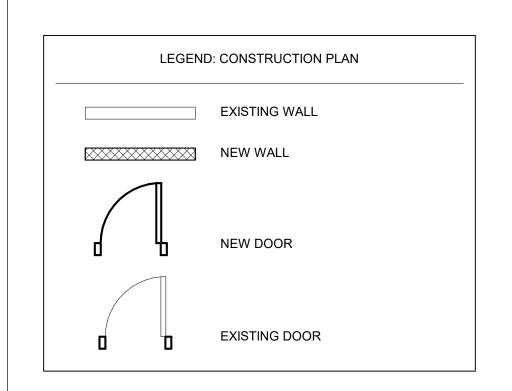
517 DUFOSSAT ST. NEW ORLEANS, LA 70115

> PROPOSED FIRST FLOOR PLAN & NOTES



DATE: 6/7/2022 9:53:31 AM DRAWING BY:: CHECKED BY:

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SHEET - KEYNOTES		
Key Value Keynote Text		
N-06	NEW ALUMINUM BAKED 6"HALF-ROUND GUTTERS CONNECTED TO 3 1/2" CIRCULAR. D.S. BELOW, TYP.	
N-07	NEW ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RE. STRUC. FOR SHEATHING SIZE.	
N-12	NEW GYP. OVER EXIST. EXTERIOR WALL	
N-13	NEW WALL / CLG. INFILL AT THIS LOCATION TO MATCH EXIST IN THICKNESS & FINISH.	
N-17	REPAIR / REFINISH EXIST. WOOD PORCH / DECKING AS REQ'D.	
N-18	REPAIR / REFINISH EXIST. WOOD COLUMNS / RAILINGS AS REQ'D. ADD ENDPOST WHERE EXIST. RAILING AT SIDE PORCH IS CUT FOR DEMO WORK. REPAINT TO MATCH EXIST.	
N-19	NEW 3'-0" TALL WOOD HANDRAIL (W/ WOOD PILASTERS, BALUSTERS, & END-RAIL) TO MATCH EXIST.,TYP.; RE. DTL 4/A501	
N-20	EXIST. HARDWOOD FLOORING TO REMAIN. REPAIR / REFINISH AS REQ'D, TYP. RE: ROOM SCHED.	
N-21	NEW HARDWOOD FLOORING THROUGHOUT FIRST FLOOR TO MATCH EXIST., TYP. RE: ROOM SCHED.	
N-23	SYMBOL INDICATES NEW WOOD THRESHOLD TO MATCH WOOD FLOORING, TYP.	
N-26	NEW EXTERIOR DOOR AND/OR TRANSOM IN EXIST. LOCATION TO MATCH HISTORIC STYLE. FLASH AND REPAIR DAMAGE AS REQ'D FOR PROPER FUNCTION. RE: DOOR SCHEDULE	
N-27	NEW WINDOW, TYP. PER TAG; RE. WINDOW SCHED.	
N-42	NEW (SINGLE / DOUBLE) ROD W/ (SINGLE / DOUBLE) SHELF AT THIS LOCATION; GC. TO COORD. LAYOUT, HEIGHT, & SPACING W/ OWNER.	
N-43	BUILT-IN SHELVING; COORD. W/ ID & OWNER.	
N-44.01	NEW INSULATED ACCESS PANEL	
N-45	EXIST. STAIRS TO REMAIN. REFINISH AS REQ'D; COORD. W/ ID & OWNER.	
N-52	EXIST. SIDING TO REMAIN. REPAIR / REFINISH AS REQ'D.	
N-53	NEW HARDIEPLANK LAPSIDING W/ SMOOTH FINISH AND 5 1/2" EXPOSURE. TRIM & CORNERBOARDS TO BE 5 1/2" HARDIETRIM.	
N-58	RELOCATE EXIST. A/C CONDENSER ON METAL PLATFROM; PROVIDE REQ. CLEARANCES I.A.W.	

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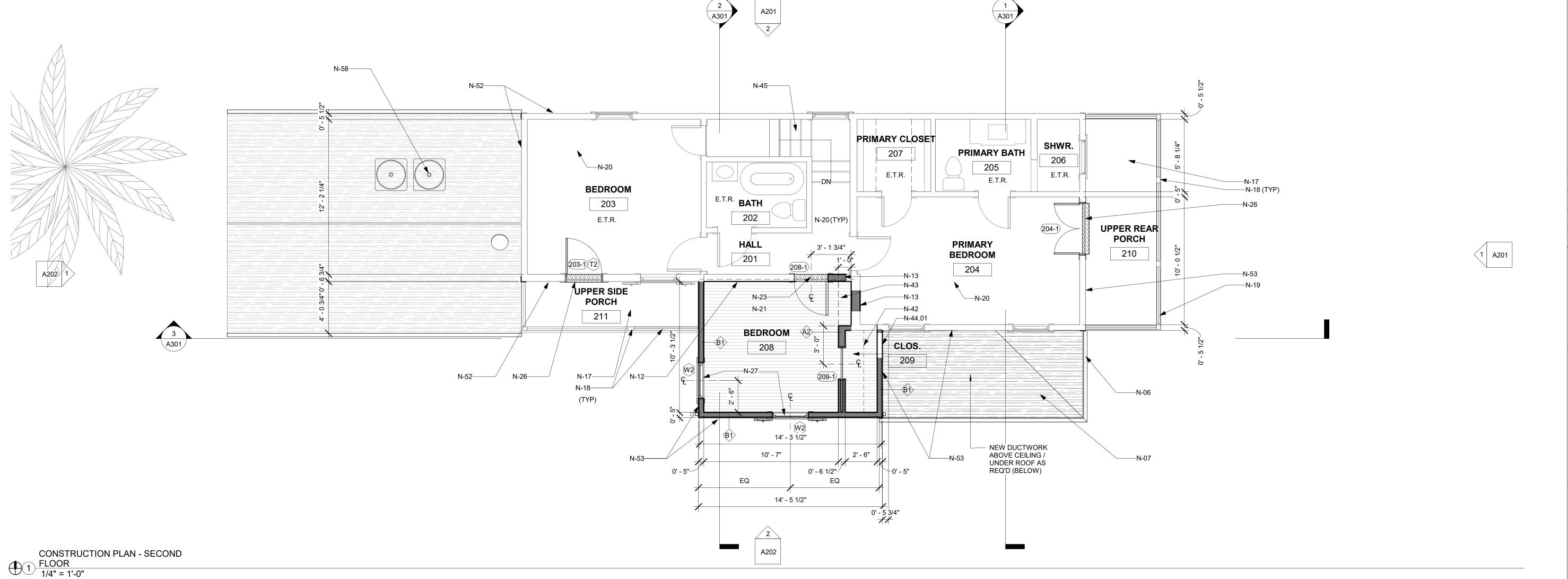
GENERAL CONSTRUCTION NOTES

- 1. ALL DIMENSIONS ARE "FINISH TO FINISH," UNLESS NOTED OTHERWISE.
- 2. CONTRACTOR WILL PROVIDE BATT INSULATION IN CAVITIES OF ANY EXTERIOR WALL. SEE SHEETS A351 & A501 FOR INSULATION STRATEGY.
- 3. CONTRACTOR TO INSTALL DRAFT STOPS IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED IN ACCORDANCE WITH IRC 2015 SECTION R302.12.
- 4. CONTRACTOR WILL REPLACE FIREPROOFING IF DISTURBED OR FOUND DEFICIENT DURING THE COURSE OF CONSTRUCTION.
- 5. ALL NEW WINDOWS & DOORS TO BE SELECTED BY CONTRACTOR, AND APPROVED BY THE OWNER PRIOR TO PURCHASE AND INSTALL. ALL NEW WINDOWS & DOORS TO BE INSTALLED USING MANUFACTURES SPECS. ALL EXTERIOR DOORS & WINDOWS TO HAVE NEW DRIP CAP. CASING <u>(TO MATCH EXISTING)</u>. SEE WINDOW & DOORS SCHEDULE ON SHEET A601 FOR SIZING AND GENERAL WINDOW NOTES.
- 6. ALL NEW SIDING TO BE HARDIE BOARD WITH SMOOTH FINISH WITH 5 1/2" EXPOSURE, OR EXPOSURE TO MATCH EXISTING. ALL NEW TRIM AND CORNER BOARDS TO BE 5" HARDIE BOARD UNLESS SPECIFIED OTHERWISE. FINISH COLOR TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE A MIN. OF TWO (2) SAMPLES.



1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

No.	Description	Date

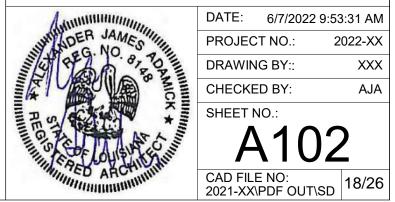


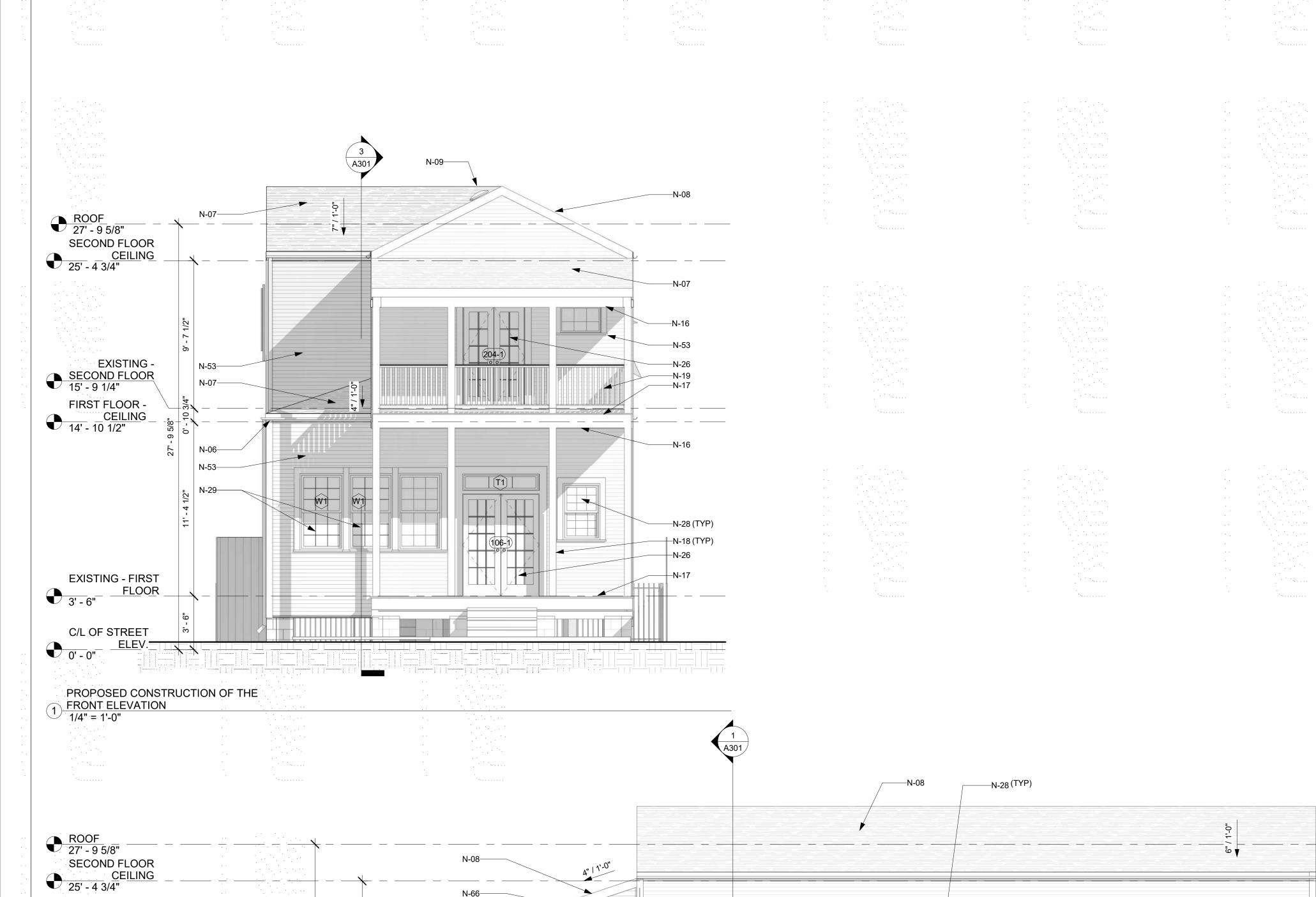
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Project: #2021-40	

ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

PROPOSED SECOND FLOOR PLAN & NOTES





(TYP) N-18---

EXISTING SECOND FLOOR
15' - 9 1/4"

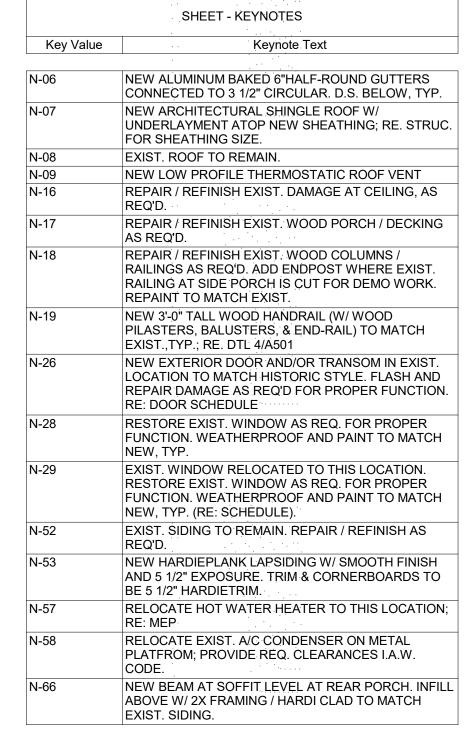
FIRST FLOOR - CEILING 14' - 10 1/2"

EXISTING - FIRST

C/L OF STREET

2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

PROPOSED CONSTRUCTION OF THE



GENERAL CONSTRUCTION NOTES

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1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

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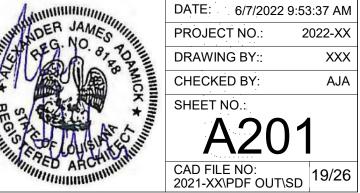
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Project: #2021-40

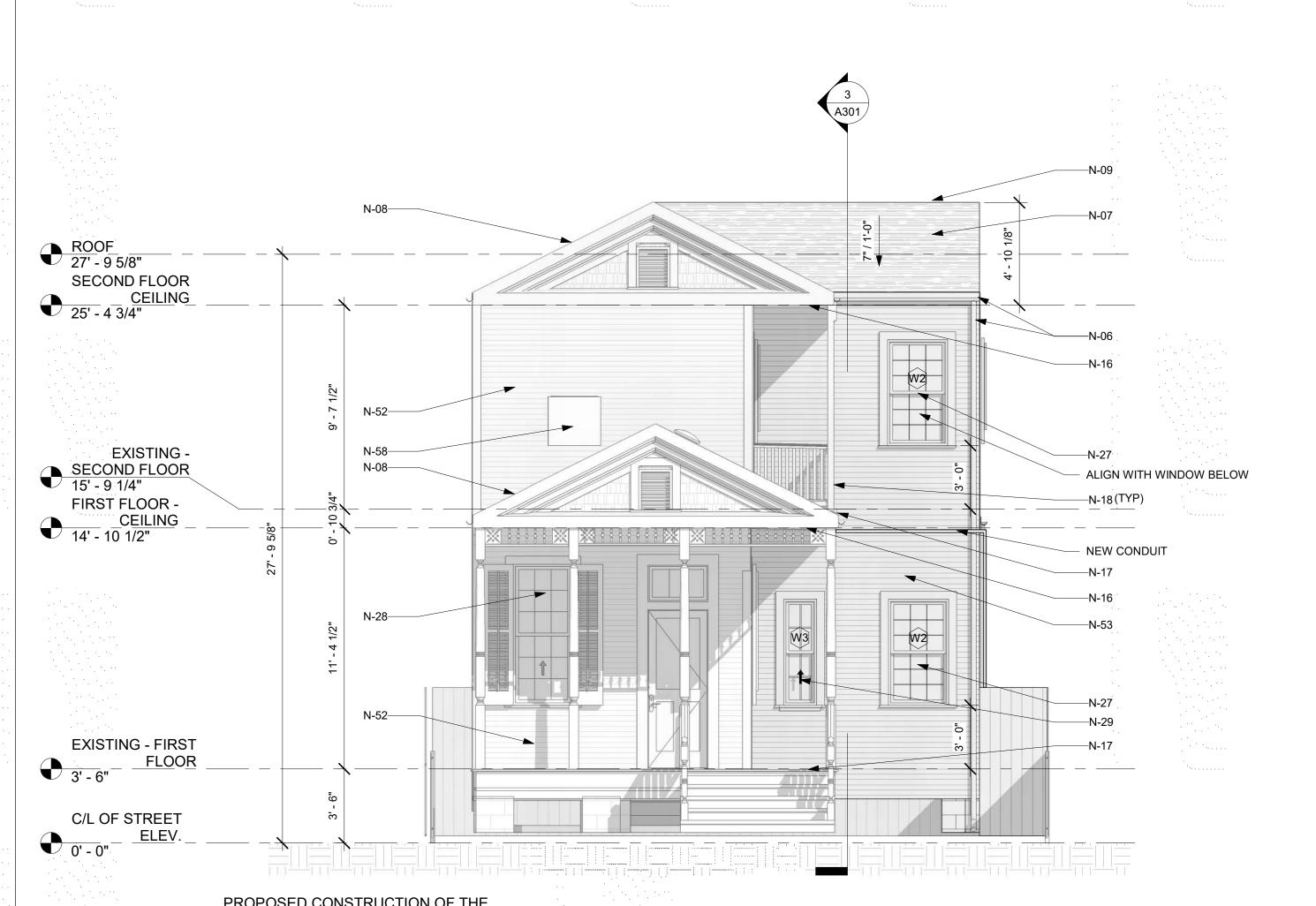
ROLDAN RESIDENCE RENOVATION/ADDITION

517 DUFOSSAT ST. NEW ORLEANS, LA 70115

> PROPOSED EXTERIOR **ELEVATIONS &** NOTES



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Key Value	Keynote Text
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N-06	NEW ALUMINUM BAKED 6"HALF-ROUND GUTTERS CONNECTED TO 3 1/2" CIRCULAR. D.S. BELOW, TYP.
N-07	NEW ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RE. STRU- FOR SHEATHING SIZE.
N-08	EXIST. ROOF TO REMAIN.
N-09	NEW LOW PROFILE THERMOSTATIC ROOF VENT
N-16	REPAIR / REFINISH EXIST. DAMAGE AT CEILING, AS REQ'D.
N-17	REPAIR / REFINISH EXIST. WOOD PORCH / DECKING AS REQ'D.
N-18	REPAIR / REFINISH EXIST. WOOD COLUMNS / RAILINGS AS REQ'D. ADD ENDPOST WHERE EXIST. RAILING AT SIDE PORCH IS CUT FOR DEMO WORK. REPAINT TO MATCH EXIST.
N-19	NEW 3'-0" TALL WOOD HANDRAIL (W/ WOOD PILASTERS, BALUSTERS, & END-RAIL) TO MATCH EXIST.,TYP.; RE. DTL 4/A501
N-24	NEW SHUTTERS TO MATCH EXIST
N-26	NEW EXTERIOR DOOR AND/OR TRANSOM IN EXIST. LOCATION TO MATCH HISTORIC STYLE. FLASH AND REPAIR DAMAGE AS REQ'D FOR PROPER FUNCTION RE: DOOR SCHEDULE
N-27	NEW WINDOW, TYP. PER TAG; RE. WINDOW SCHED.
N-28	RESTORE EXIST. WINDOW AS REQ. FOR PROPER FUNCTION. WEATHERPROOF AND PAINT TO MATCH NEW, TYP.
N-29	EXIST. WINDOW RELOCATED TO THIS LOCATION. RESTORE EXIST. WINDOW AS REQ. FOR PROPER FUNCTION. WEATHERPROOF AND PAINT TO MATCH NEW, TYP. (RE: SCHEDULE).
N-52	EXIST. SIDING TO REMAIN. REPAIR / REFINISH AS REQ'D.
N-53	NEW HARDIEPLANK LAPSIDING W/ SMOOTH FINISH AND 5 1/2" EXPOSURE. TRIM & CORNERBOARDS TO BE 5 1/2" HARDIETRIM.
N-55	PROPOSED LOCATION OF EXIST. ELECTRICAL METE (RELOCATED). ELECTRICIAN TO COORD. LOCATION W/OWNER. REVIEW IF EXIST. METER IS ADEQUATE FOR ADDITION & COORD. UPGRADE W/ENTERGY AS REQ.
N-56	PROPOSED LOCATION OF EXIST. ELECTRICAL PANE (RELOCATED). ELECTRICIAN TO COORD. LOCATION W/OWNER.
N-58	RELOCATE EXIST. A/C CONDENSER ON METAL PLATFROM; PROVIDE REQ. CLEARANCES I.A.W. CODE.
N-66	NEW BEAM AT SOFFIT LEVEL AT REAR PORCH. INFII ABOVE W/ 2X FRAMING / HARDI CLAD TO MATCH EXIST. SIDING.

GENERAL CONSTRUCTION NOTES

- 1. ALL DIMENSIONS ARE "FINISH TO FINISH," UNLESS NOTED OTHERWISE.
- 2. CONTRACTOR WILL PROVIDE BATT INSULATION IN CAVITIES OF ANY EXTERIOR WALL. SEE SHEETS A351 & A501 FOR INSULATION STRATEGY.
- 3. CONTRACTOR TO INSTALL DRAFT STOPS IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED IN ACCORDANCE WITH IRC 2015 SECTION R302.12.
- 4. CONTRACTOR WILL REPLACE FIREPROOFING IF DISTURBED OR FOUND DEFICIENT DURING THE COURSE OF CONSTRUCTION.
- 5. ALL NEW WINDOWS & DOORS TO BE SELECTED BY CONTRACTOR, AND APPROVED BY THE OWNER PRIOR TO PURCHASE AND INSTALL. ALL NEW WINDOWS & DOORS TO BE INSTALLED USING MANUFACTURES SPECS. ALL EXTERIOR DOORS & WINDOWS TO HAVE NEW DRIP CAP. CASING (TO MATCH EXISTING). SEE WINDOW & DOORS SCHEDULE ON SHEET A601 FOR SIZING AND GENERAL WINDOW NOTES.
- 6. ALL NEW SIDING TO BE HARDIE BOARD WITH SMOOTH FINISH WITH 5 1/2" EXPOSURE, OR EXPOSURE TO MATCH EXISTING. ALL NEW TRIM AND CORNER BOARDS TO BE 5" HARDIE BOARD UNLESS SPECIFIED OTHERWISE. FINISH COLOR TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE A MIN. OF TWO (2) SAMPLES.

1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

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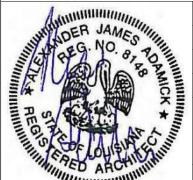
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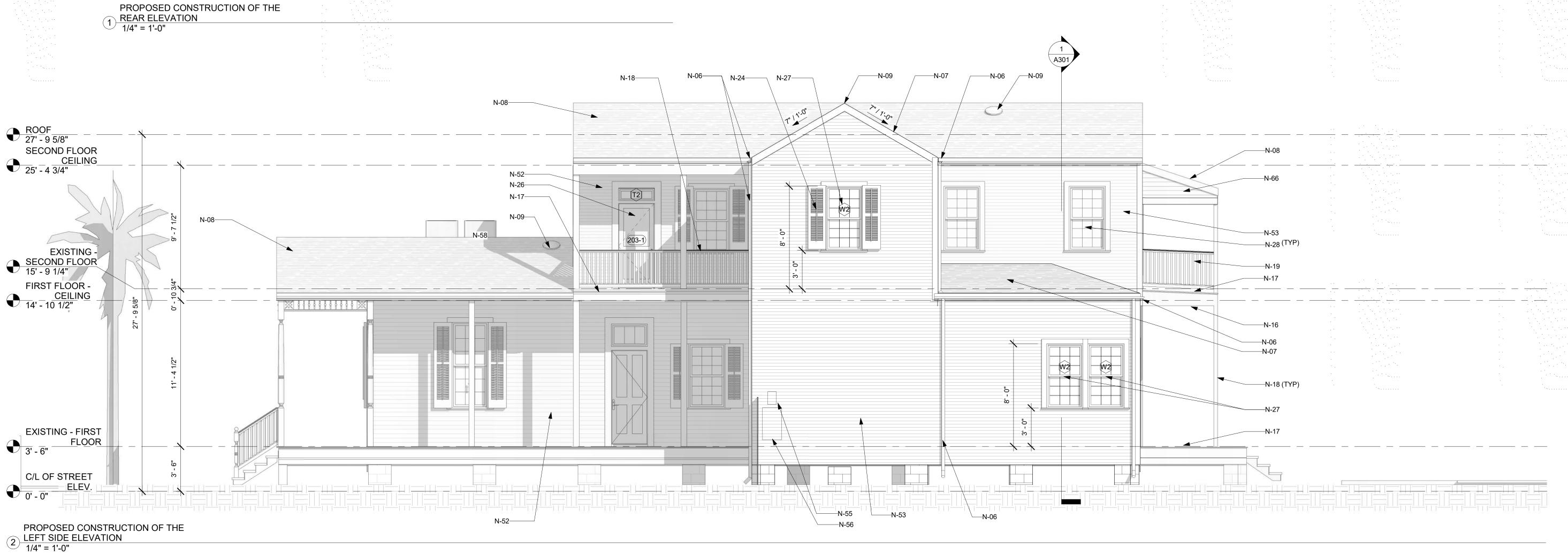
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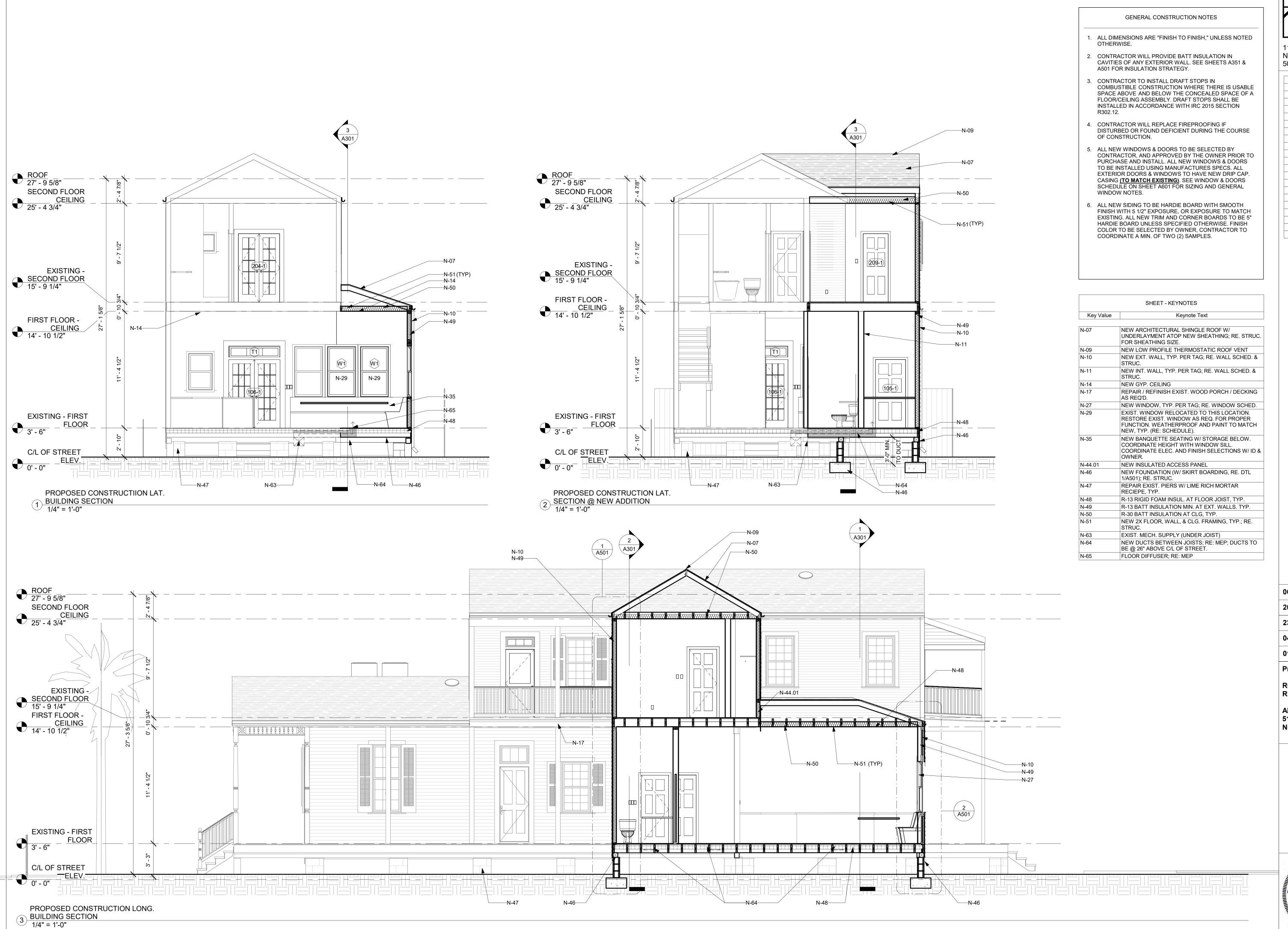
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PROPOSED EXTERIOR **ELEVATIONS &** NOTES



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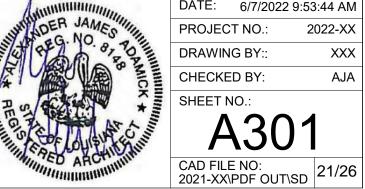
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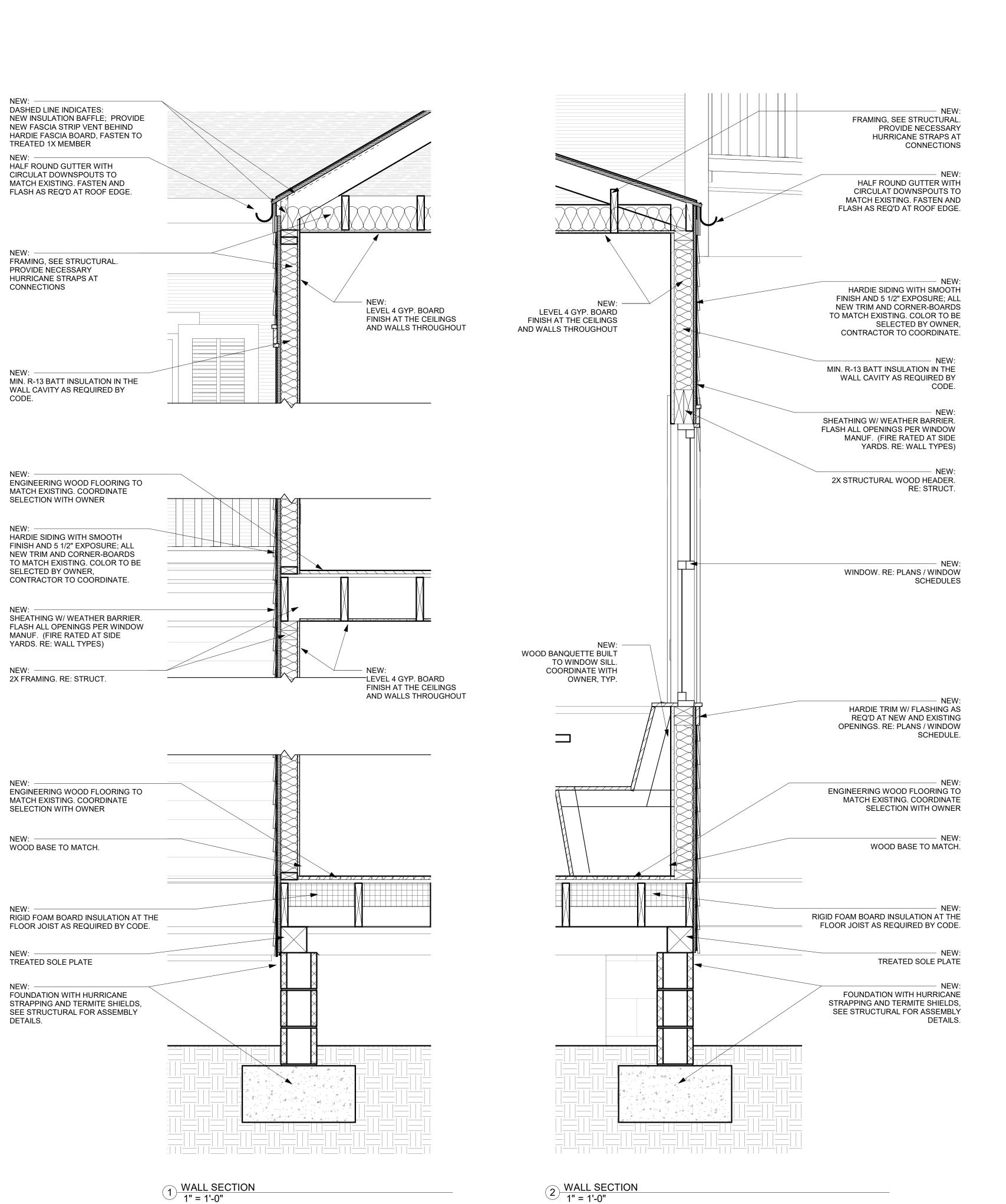
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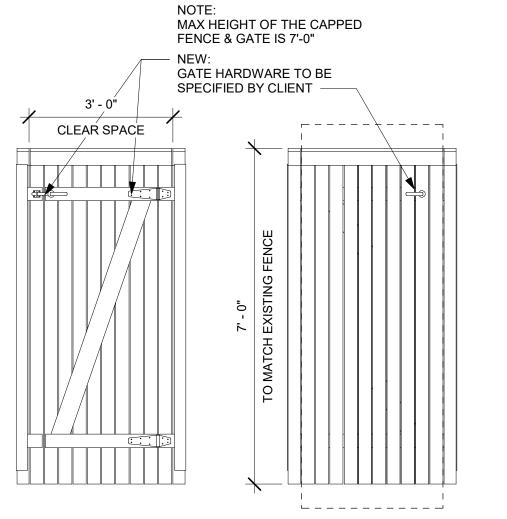
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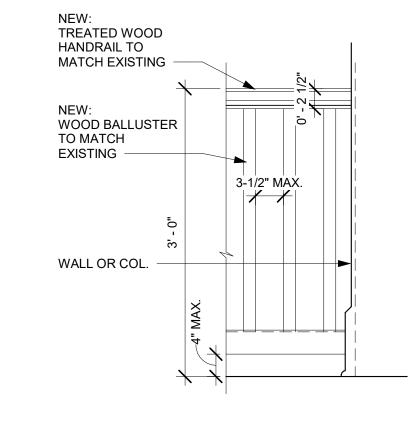
PROPOSED **BUILDING SECTIONS** & NOTES



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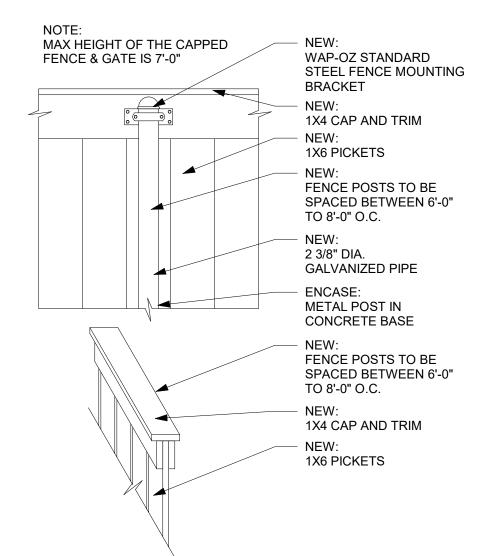




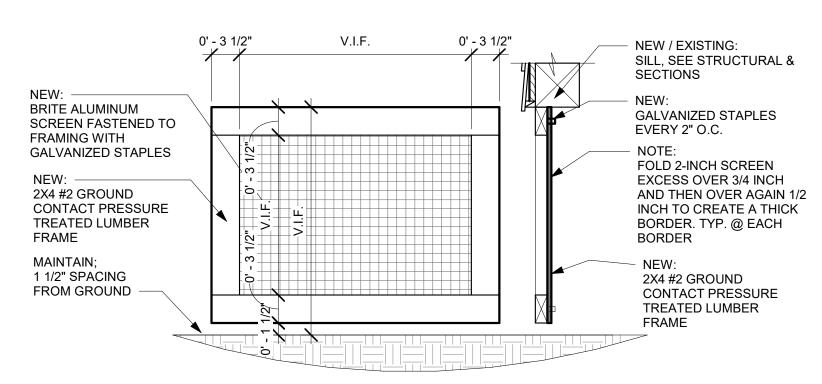


3 <u>DETAIL - WOOD GATE</u> 1/2" = 1'-0"

4 DETIAL - WOOD HANDRAIL 1" = 1'-0"



5 DETAIL - WOOD FENCE
1" = 1'-0"



6 DETIAL - PIER SCREENING 1" = 1'-0"

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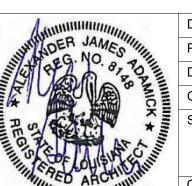
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CONSTRUCTION **DETAILS**

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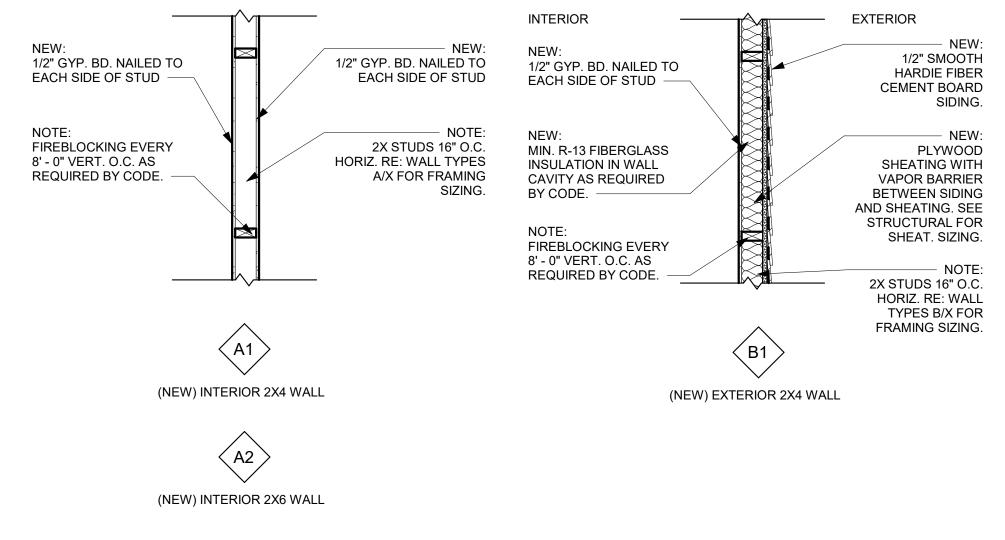
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							WINDOW SCHEDU	LE			
WIN. TAG	TYPE	UNIT WIDTH	UNIT HEIGHT	SILL HEIGHT A.F.	HEAD HEIGHT	COUNT	GLAZING	SASH	EXT. TRIM	INT. TRIM	COMMENTS
T1	D	5' - 0"	1' - 2"	6' - 10"	8' - 0"	1	1/4" GLASS	WD	WD	WD	NEW WOOD TRANSOM TO MATCH EXISTING. NOTES 1-6.
T2	E	2' - 10"	1' - 0"	6' - 10"	7' - 10"	1	1/4" GLASS	WD	WD	WD	NEW WOOD TRANSOM TO MATCH EXISTING. NOTES 1-6.
W1	A	2' - 10"	5' - 0"	3' - 0"	8' - 0"	2	EXISTING	EXISTING	WD	WD	SALVAGED EXISTING (NON HISTORIC) WINDOW INSTALLED IN NEW LOCATION. NOTES 1-6.
W2	В	2' - 10"	5' - 0"	3' - 0"	8' - 0"	5	1/4" GLASS	WD	WD	WD	NEW WOOD WINDOW TO MATCH EXISTING/ADJACENT WINDOWS. NOTES 1-6.
W3	С	1' - 7"	5' - 0"	3' - 0"	8' - 0"	1	EXISTING	EXISTING	WD	WD	SALVAGED EXISTING (HISTORIC) WINDOW INSTALLED IN NEW LOCATION. NOTES 1-6.

GENERAL NOTES: WINDOW & HARDWARE SCHEDULE

- 1. CONTRACTOR SHALL PROVIDE OWNER WITH WINDOW, CASING, & TRIM SPECIFICATIONS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- 2. NEW WINDOWS SHALL BE RECESSED MOUNTED WITH DRIP CAP INSTALLED PER MANUFACTURER'S SPECIFICATIONS (TYP.) AND CLEAR GLAZING WITHOUT TINT OR TEXTURE.
- 3. PER IRC SECTION 301.2.1.2 PROTECTION OF OPENINGS, CONTRACTOR SHALL PROVIDE 1/2" THICK PRECUT WOOD STRUCTURAL PANELS FOR EACH WINDOW COVERING THE EXTERIOR CASING, PROVIDE PREDRILLED ANCHORS FOR FUTURE MOUNTING.
- 4. NO HALF-SCREENS PERMITTED. PREFABRICATED FULL SCREENS ON NON-STREET-FACING ELEVATIONS ONLY.
- 5. ALL WINDOW CASING SHALL BE PRIMED & PAINTED 1X WOOD WITH PROFILE MATCHING EXISTING BUILDING STANDARD OR NEW APPROVED BY OWNER PRIOR TO INSTALL. FOR INSTANCES WHERE JAMB CASING MUST BE CUT, CUT ONLY THAT PIECE AND LEAVING HEADER FULL SIZE.
- 6. CONTRACTOR TO VERIFY EXISTING WINDOW SIZES AND HEAD/SEALL HEIGHTS PRIOR TO ORDERING AND INSTALLING WINDOWS.

2'-10"	2' - 10"	1' - 7"	8' - 0" RE: DOOR SCHED. 1' - 2"	7' - 10" RE: DOOR SCHED. 1' - 0"	
WINDOW TYPE 'A'	WINDOW TYPE 'B'	WINDOW TYPE 'C'	WINDOW TYPE 'D'	WINDOW TYPE 'E'	
EXISTING WINDOW (REINSTALLED)	NEW WINDOW	EXISTING WINDOW REINSTALLED	TRANSOM T1 (DOUBLE DOOR 106-1)	TRANSOM T2 (SINGLE DOOR 203-1)	

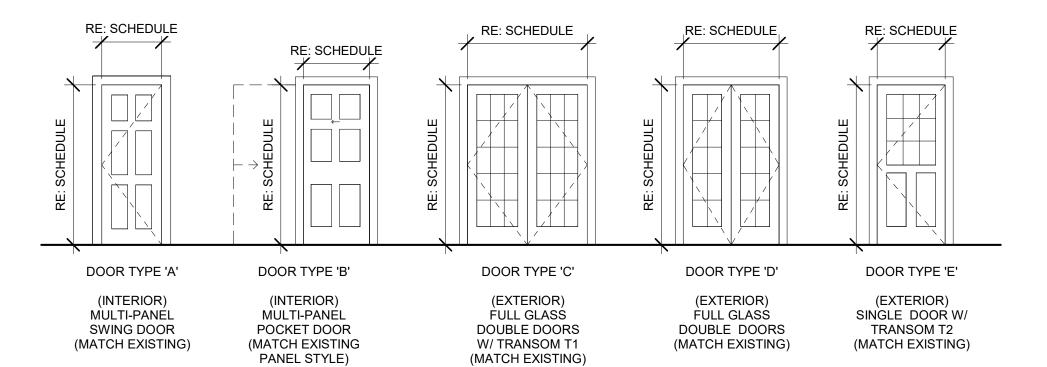


WALL TYPES
3/4" = 1'-0"

DOOR TAG	TYPE	WIDTH	HEIGHT	PANEL	FRAME	MATERIAL	FINISH	COMMENTS
103-1	В	2' - 10"	6' - 8"	WD	WD/PT	WD	PT	SLIDING POCKET DOOR. NOTES 1-9
104-1	Α	2' - 8"	6' - 8"	WD	WD/PT	WD	PT	NOTES 1-9
105-1	В	3' - 0"	6' - 8"	WD	WD/PT	WD	PT	SLIDING POCKET DOOR. NOTES 1-9
106-1	С	5' - 0"	6' - 8"	WD/GLASS	WD/PT	WD	PT	NEW EXTERIOR DOOR - MATCH EXISTING. NOTES 1-9
203-1	E	2' - 10"	6' - 8"	WD/GLASS	WD/PT	WD	PT	NEW EXTERIOR DOOR - MATCH EXISTING. NOTES 1-9
204-1	D	4' - 0"	6' - 8"	WD/GLASS	WD/PT	WD	PT	NEW EXTERIOR DOOR - MATCH EXISTING. NOTES 1-9
208-1	Α	2' - 8"	6' - 8"	WD	WD/PT	WD	PT	NOTES 1-9
209-1	В	2' - 6"	6' - 8"	WD	WD/PT	WD	PT	SLIDING POCKET DOOR. NOTES 1-9

GENERAL NOTES: DOOR & DOOR HARDWARE

- 1. CONTRACTOR SHALL PROVIDE OWNER WITH ALL DOOR, CASING, & TRIM SPECIFICATIONS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- 2. IF EXTERIOR DOORS ARE MILLED LOCALLY, CONTRACTOR SHALL PROVIDE RIGID WEATHER-STRIPPING AT ALL EXTERIOR DOOR LOCATIONS. IF EXTERIOR DOORS ARE MANUFACTURED, THEN MANUFACTURER SHALL PROVIDE WEATHER-STRIPPING WITH DOOR UNIT.
- 3. ALL NEW EXTERIOR LITES SHALL BE TEMPERED, CLEAR GLAZING WITHOUT TINT OR TEXTURE.
- 4. ALL DOOR CASINGS SHALL BE PRIMED & PAINTED 1X WOOD (TREATED FOR EXTERIOR) WITH PROFILE MATCHING EXISTING BUILDING STANDARD OR NEW APPROVED BY OWNER PRIOR TO INSTALL. FOR INSTANCES WHERE JAMB CASING MUST BE CUT, CUT ONLY THAT PIECE, LEAVING HEADER FULL SIZE.
- 5. ALL HARDWARE TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
- 6. CONTRACTOR TO VERIFY PROPOSED DOOR MATCHES EXISTING SIZING AND OVERALL HEAD HEIGHT IN THE FIELD PRIOR TO PURCHASE AND INSTALL.
- 7. FOR POCKET DOORS, ENSURE THAT FINISH NAILS DO NOT SCRAPE DOOR WHEN FINISHED.





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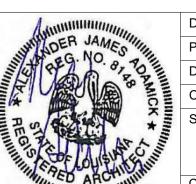
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Project: #2021-40

ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

DOOR & WINDOW & WALL SCHEDULES & NOTES



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					NTERIOR FINISH SC	HEDULE			
ROOM NO.	ROOM NAME	AREA	CEILING HEIGHT	FLOOR	BASE	WALLS	CROWN/TRIM	CEILING MILL	WORK REMARKS
100	FRONT PORCH	245 SF	10' - 0"	STRIP AND FINISH EXISTING WOOD DECK	-	EXT. PT. TBD	MATCH AS REQ'D EX	XT. PT. TBD -	NOTES 1-6.
101	FORMAL LIVING	184 SF	10' - 0"	NEW PRE-FINISHED ENGINEERED HARDWOOD FLOOR	WB-1 / PAINT (PT-T1)	PT-W1	- PT	T-C1 -	NOTES 1-6.
102	DINING	255 SF	10' - 0"	NEW PRE-FINISHED ENGINEERED HARDWOOD FLOOR	WB-1 / PAINT (PT-T1)	GYP. / PT-W1		YP. / PT-C1 -	NEW GYP. CLG, REPAIR EXISTING GYP. DAMAGE AT STAIR WALL. NEW GYP. AS REQ'D. NOTES 1-6.
103	LAUNDRY	55 SF	10' - 0"	FT-1 / GROUT & CLEAN	WB-1 / PAINT (PT-T1)	GYP. / PT-W1 / WT-2	- G\	YP. / PT-C1 -	NOTES 1-6. TILE WAINSCOT
104	POWDER	27 SF	10' - 0"	FT-2 / GROUT & CLEAN	WB-1 / PAINT (PT-T1)	GYP. / PT-W2 / WT-1	- GY	YP. / PT-C1 -	NOTES 1-6. TILE WAINSCOT
105	OFFICE	28 SF	10' - 0"	NEW PRE-FINISHED ENGINEERED HARDWOOD FLOOR	WB-1 / PAINT (PT-T1)	GYP. / PT-W3	- G\	YP. / PT-C1 -	NOTES 1-6. PROVIDE WOOD WAINSCOT @ 48"
106	KITCHEN	220 SF	10' - 0"	NEW PRE-FINISHED ENGINEERED HARDWOOD FLOOR	WB-1 / PAINT (PT-T1)	PT-W1	- GY	YP. / PT-C1 -	NEW GYP. CLG THIS AREA. NOTES 1-6.
107	LIVING	242 SF	10' - 0"	NEW PRE-FINISHED ENGINEERED HARDWOOD FLOOR	WB-1 / PAINT (PT-T1)	GYP. / PT-W1	- G\	YP. / PT-C1 -	NEW GYP. CLG THIS AREA. NOTES 1-6.
108	REAR PORCH	143 SF	10' - 0"	STRIP AND FINISH EXISTING WOOD DECK	-	EXT. PT. TBD	- EX	XT. PT. TBD -	NOTES 1-6.
201	HALL	88 SF	10' - 0"	EXIST. HARDWOOD TO REMAIN	EXIST.; CLEAN & PAINT	GYP. / PT-W1	- G\	YP. / PT-C1 -	NOTES 1-6.
202	BATH	41 SF	10' - 0"	EXIST. TILE TO REMAIN / GROUT & CLEAN	EXIST.; CLEAN & PAINT	PT-W2	- PT	T-C1 -	NOTES 1-6.
203	BEDROOM	167 SF	10' - 0"	EXIST. HARDWOOD TO REMAIN	EXIST.; CLEAN & PAINT	PT-W4	- PT	T-C1 -	NOTES 1-6.
204	PRIMARY BEDROOM	175 SF	10' - 0"	EXIST. HARDWOOD TO REMAIN	EXIST.; CLEAN & PAINT	PT-W5	- PT	T-C1 -	NOTES 1-6.
205	PRIMARY BATH	43 SF	10' - 0"	EXIST. TILE TO REMAIN / GROUT & CLEAN	EXIST.; CLEAN & PAINT	PT-W6	- PT	T-C1 -	NOTES 1-6.
206	SHWR.	19 SF	10' - 0"	EXIST. TILE TO REMAIN / GROUT & CLEAN	EXIST.; CLEAN & PAINT	E.T.R.	- PT	T-C1 -	NOTES 1-6.
207	PRIMARY CLOSET	33 SF	10' - 0"	EXIST. HARDWOOD TO REMAIN	EXIST.; CLEAN & PAINT	PT-W5	- PT	T-C1 -	NOTES 1-6.
208	BEDROOM	112 SF	10' - 0"	NEW PRE-FINISHED ENGINEERED HARDWOOD FLOOR	WB-1 / PAINT (PT-T1)	GYP. / PT-W4	- G\	YP. / PT-C1 -	NOTES 1-6.
209	CLOS.	16 SF	10' - 0"	NEW PRE-FINISHED ENGINEERED HARDWOOD FLOOR	WB-1 / PAINT (PT-T1)	GYP. / PT-W1	- G\	YP. / PT-C1 -	NOTES 1-6.
210	UPPER REAR PORCH	101 SF	10' - 0"	REPAIR DAMAGE AT EXIST. DECK / REFINISH AS REQ'D	-	EXT. PT. TBD	MATCH AS REQ'D EX	XT. PT. TBD -	NOTES 1-6.
211	UPPER SIDE PORCH	55 SF	10' - 0"	REPAIR DAMAGE AT EXIST. DECK / REFINISH AS REQ'D	-	EXT. PT. TBD	MATCH AS REQ'D EX	XT. PT. TBD -	NOTES 1-6.

INTERIORS DEFINITIONS

REMOVE ALL EXISTING OIL AND DIRT.

"ENCAPSULATE & PAINT"

 REMOVE ANY EXISTING FLAKING PAINT OR PROTRUSIONS, TO MAKE SMOOTH.

2. PRIME WITH "FIBERLOCK" L-B-C TYPE 1-INTERIOR AND (2) COATS FINISH.

"FINISH & STAIN"

 FILL ALL NAIL HOLES AND SAND SMOOTH. 2. PROVIDE TWO (2) COATS OF OIL-BASED STAIN AND

ONE (1) COAT OF WATER-BASED/OIL-BASED POLYURETHANE WITH SCREENING BETWEEN EACH

1. PROVIDE ONE (1) COAT OF PRIMER/SEALER AND

THREE (3) COATS OF PAINT. 2. PROVIDE SANDING AS REQUIRED BETWEEN COATS. 3. PROVIDE FINISHES ACCORDING TO THE PAINT SCHEDULE.

"PATCH" (FLOORS)

 PATCH EXISTING SUBSTRATE/SUBFLOOR/FLOOR AS REQUIRED TO ACCEPT SPECIFIED FLOOR FINISH.

"PATCH" (WALLS & CEILING) PATCH EXISTING PLASTER AS REQUIRED TO MAKE

"PAINT READY."

 PROVIDE APPLICATION CONSISTENT WITH USE OF BLUE BOARD. CONTRACTOR TO PROVIDE FINISH COLOR SAMPLES TO ARCHITECT/OWNER FOR REVIEW.

"SCREEN & STAIN"

1. SCREEN FLOORS TO REMOVE EXISTING

POLYURETHANE AND STAIN. BUFF SMOOTH.

3. PROVIDE TWO (2) COATS OF OIL-BASED STAIN AND ONE (1) COAT OF WATER-BASED/OIL-BASED POLYURETHANE WITH SCREENING BETWEEN EACH

"SEAL" (STONE)

1. PROVIDE NON-DARKENING PENETRATING STONE SEALER. CONSULT STONE SUPPLIER FOR APPROVED SEALERS.

2. PROVIDE SAMPLE OF STONE SEALED FOR APPROVAL BY ARCHITECT.

"SEAL" (BUTCHERBLOCK) PROVIDE THREE (3) COATS WATER-BASED

POLYURETHANE WITH SATIN FINISH.

"SKIMCOAT"

 REMOVE LOOSE PAINT AND PLASTER, AS REQUIRED, TO COVER SUBSTRATE WITH A COATING OF A MIXTURE OF PLASTER & DRYWALL COMPOUND, AS REQUIRED, FOR A SMOOTH CONTINUOUS SURFACE. 2. SAND LIGHTLY, AS REQUIRED, FOR "PAINT READY

"STRIP & FINISH (A)"

1. CHEMICALLY STRIP ANY REMAINING FINISH. 2. APPLY CHEMICAL WASH TO REMOVE AS MUCH WAX

RESIDUE AS POSSIBLE.

3. SAND ALL SURFACES TO REMOVE AS MUCH COLORATION AND WAX WITHOUT AFFECTING THE INTEGRITY OF THE EXISTING MILLWORK, THIS SANDING WILL ALSO REMOVE SOME OF THE MORE MINOR SURFACE IMPERFECTIONS, SCRATCHES AND

4. APPLICATION OF STAIN OR DYE TO ALL MILLWORK, FOLLOWED BY MULTIPLE COATS OF SHELLAC, IN AN OPEN PORE FRENCH POLISH TECHNIQUE. SHELLAC WILL BE RUBBED OUT BETWEEN COATS AND A FINAL WAX COAT APPLIED.

"STRIP & FINISH (B)"

CHEMICALLY STRIP ANY REMAINING FINISH.

2. APPLY CHEMICAL WASH TO REMOVE AS MUCH WAX RESIDUE AS POSSIBLE.

3. SAND ALL SURFACES TO REMOVE AS MUCH COLORATION AND WAX WITHOUT AFFECTING THE INTEGRITY OF THE EXISTING MILLWORK. THIS SANDING WILL ALSO REMOVE SOME OF THE MORE MINOR SURFACE IMPERFECTIONS, SCRATCHES AND

4. APPLICATION OF STAIN OR DYE TO ALL MILLWORK, FOLLOWED BY TWO (2) COATS OF SATIN POLYURETHANE.

"STRIP & PAINT"

1. COMPLETELY REMOVE PAINT TO SUBSTRATE WITH PEEL-AWAY ONE (1) CHEMICAL STRIPPER FOLLOWED BY PEEL-AWAY NEUTRALIZING SOLUTION. 2. WASH ALL NEWLY STRIPPED SURFACES WITH A LEAD-SEQUESTERING AGENT SUCH AS "LEDIZOLV"

OR WITH A TRI-PHOSPHATE SOLUTION. 3. APPLY PRIMER AND TWO (2) COATS FINISH.

 ARCHITECT WILL PROVIDE GROUT TYPE AND COLOR, AT REQUEST OF GENERAL CONTRACTOR, DURING CONSTRUCTION.

GENERAL INTERIORS NOTES

- 1. PROVIDE LEVEL 5 FINISH GYP. BOARD AT REQUIRED LOCATIONS FOR WALLPAPER APPLICATION AND HIGH-GLOSS PAINTS.
- 2. PROVIDE WOOD THRESHOLDS BETWEEN FLOOR MATERIAL TRANSITIONS TO MATCH WOOD FLOORING, UNLESS OTHERWISE NOTED.
- 3. CONTRACTOR TO PROVIDE LINEAR TRIM & MOLDING PROFILES TO ARCHITECT/OWNER FOR REVIEW AND APPROVAL PRIOR TO PURCHASE AND INSTALLATION, INCLUDING WINDOW AND DOOR CASINGS, BASEBOARDS, PICTURE RAILS, CROWNS, ETC.
- 4. CONTRACTOR TO COORDINATE ALL INTERIOR AND EXTERIOR PAINT SELECTIONS WITH OWNER MIN. ONE (1) MONTH PRIOR TO PAINTING. CONTRACTOR TO PROVIDE TWO (2) SAMPLES OF PAINT COLORS, STAIN COLORS, AND POLY FINISHES PER SELECTION FOR OWNER APPROVAL IN FIELD.
- 5. CONTRACTOR TO PROVIDE PROTECTION FOR ALL NEW AND EXISTING FLOORING, APPLIANCES, MILLWORK, STONE, AND COUNTERTOPS FOR THE DURATION OF CONSTRUCTION. ALL NEW AND EXISTING APPLIANCES ON SITE TO HAVE CARDBOARD UNDERNEATH. CONTRACTOR SHALL FIX OR REPLACE ANY DAMAGED SELECTIONS, FINISHES, AND FLOORING THROUGH SUBSTANTIAL COMPLETION OF THE PROJECT AT NO EXPENSE TO
- 6. CONTRACTOR TO PROVIDE BLOCKING FOR FUTURE ADA GRAB BARS IN ALL NEW AND RENOVATED BATHROOMS AT TOILETS AND SHOWERS PER ADA STANDARDS.

ROOM FINISH SCHEDULE ABBREVIATIONS

ı		
	AP	APPLIANCE
	ВТ	BATHTUB ASSEMBLY
	CF	CEILING FAN
	CONC	CONCRETE
	CT	COUNTERTOP
	DW	DISHWASHER
	F	FAUCET
	FT	FLOOR TILE
	FP	FIREPLACE INSERT
	FR	REFRIGERATOR
	GT	GROUT
	HD	HOOD INSERT
	HW	CABINET HARDWARE
	IM	ICE MAKER
	LAV	LAVATORY/VANITY
	LT	DECORATIVE LIGHT FIXTURE
	MI	MIRROR
	MW	MICROWAVE
	Р	PLUMBING FIXTURE/ASSEMBLY
	PT-A	PAINT - WALL - EG-SHEL FINISH
	PT-B	PAINT - TRIM - CASHMERE PEARL FINISH
	PT-C	PAINT - CEILING - FLAT FINISH
	RG	RANGE
	SH	SHOWER ASSEMBLY
	SR	SHOWER ROD
	SS	SOLID SURFACE MATERIAL
	ST	WOOD STAIN - FINISH T.B.D.
	TB	TOWEL BAR/HOOK
	TP	TOILET PAPER HOLDER
	T&G	TONGUE & GROOVE
	UCFR	UNDERCOUNTER REFRIGERATOR
	WC	TOILET
	WCT	WOOD COUNTERTOP
	WB	WALL BASEBOARD
	WD	WOOD MATERIAL
	WP	WALLPAPER
	WT	WALL TILE
ı		



1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

No.	Description	Date
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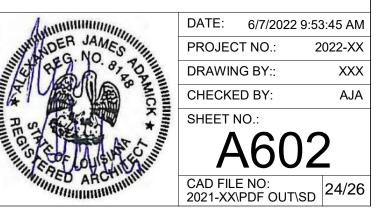
06 JUL. 2022 100 % CD 90% CD 20 MAY. 2022 DD-1 23 MAR. 2022 SD-1 04 FEB. 2022 01 FEB. 2022 EC-1

Project: #2021-40

ROLDAN RESIDENCE RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

FINISH SCHEDULE & **GENERAL INTERIOR** NOTES



DATE: 6/7/2022 9:53:45 AM PROJECT NO.: 2022-XX DRAWING BY:: CHECKED BY:

SYMBOL	DESCRIPTION
	GENERAL ELECTRICAL
EM	ELECTRICAL METER
EP	ELECTRICAL PANEL
EO	TRANSFER SWITCH
GM	GAS METER
	ELECTRICAL RECEPTACLES
=	DUPLEX RECEPTACLE
≕ GFI	GFI DUPLEX RECEPTACLE
₩P	WET LOCATION RECEPTACLE
⇒ s	SWITCHED DUPLEX RECEPTACLE
-0	DEDICATED APPLIANCE RECEPTACLE
— A/C	A/C DEDICATED APPLIANCE RECEPTACLE
∰FLR	FLUSH MOUNTED FLOOR QUAD RECEPTACLE
	ELECTRICAL SWITCHES
Ş	SWITCH
Ş ₃	THREE-WAY SWITCH
Ş ₄	FOUR-WAY SWITCH
Ş _D	DIMMABLE SWITCH
Ş _{3D}	THREE-WAY DIMMABLE SWITCH
Şj	JAMB SWITCH (DOOR ACTIVATED)
	ELECTRICAL FIXTURES
R	RECESSED CAN FIXTURE
\mathbb{R}_{D}	RECESSED DIRECTIONAL CAN FIXTURE
(D)	RECESSED DAMP - RATED CAN FIXTURE
V	RECESSED VAPOR PROOF CAN FIXTURE
W	RECESSED WATER - RATED CAN FIXTURE
S	RECESSED SPOT CAN FIXTURE
$\overline{}$	CEILING MOUNTED FIXTURE
ф	WALL MOUNTED FIXTURE
$\overline{\phi}$	CHANDELIER/PENDANT
-6	FIXTURE, PULL CHAIN OPERATED
FLR	RECESSED FLOOR FIXTURE
)	UNDER CABINET FIXTURE
	LIGHTING TRACK
	LINEAR FIXTURE
	CEILING FAN
	CEILING FAN WITH LIGHTS
	GAS FIXTURES
- \ -G	GAS CEILING MOUNTED FIXTURE
<u> </u>	GAS WALL MOUNTED FIXTURE
ЮG	

	MEP LEGEND AND GENERAL NOTES CONT.
SYMBOL	DESCRIPTION
	MECHANICAL SYSTEMS
EF	EXHAUST FAN
	RADIANT IN-FLOOR WARMING MAT
RF	RADIANT IN-FLOOR CONTROLS
Ť	THERMOSTAT
R/A ↓	RETURN AIR
	RETURN CHASE
	SUPPLY CHASE
	A/C CONDENSOR
	PLUMBING SYSTEMS
G	GAS LINE
W/H	TANKLESS WATER HEATER
W	DEDICATED WATER LINE
HB	HOSE BIB
(GD	GARBAGE DISPOSAL
	AUDIO & VISUAL SYSTEMS
C	CABLE TELEVISION OUTLET/SOURCE
	SECURITY SYSTEM
A	MOTION SENSOR PHOTOVOLTAIC FLOOD LIGHTS
	MISCELLANEOUS SYSTEMS
DiB.	DOOR BELL BUTTON
<u>+</u>	DOOR BELL CHIME
<u>G</u>	GARAGE DOOR OPENER
GD	GARAGE DOOR REMOTE OPENER
	FIRE & LIFE SAFETY SYSTEM
H	HEAT DETECTOR
S	SMOKE DETECTOR
\$	SMOKE & CO2 DETECTOR UNIT
T	TEMPERATURE SENSOR
©	CARBON MONOXIDE DETECTOR
(FE)	FIRE EXTINGISHER
\bigotimes	EXIT SIGN W/ EMERGENCY LIGHTING
(EMERGENCY LIGHTING

01 FEB. 2022 Project: #2021-40

06 JUL. 2022

20 MAY. 2022

23 MAR. 2022

04 FEB. 2022

ROLDAN RESIDENCE

RENOVATION/ADDITION

ADDRESS: 517 DUFOSSAT ST. NEW ORLEANS, LA 70115

1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113

Description

Date

504.322.1220

MEP LEGEND & GENERAL NOTES

100 % CD

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PRIOR TO PURCHASE OF EXTERIOR LIGHT FIXTURES, CONTRACTOR SHALL SUBMIT MANUFACTURERS TO HDLC & OWNER FOR APPROVAL.
MECHANICAL AND ELECTRICAL CONTRACTOR MUST CHECK OWNER'S PRESENT EQUIPMENT BEING RE-USED, EQUIPMENT SUBSTITUTED FOR SPECIFIED TYPE OR MANUFACTURER OR THAT EQUIPMENT MARKED (BY VENDOR) WHICH IS BEING SUPPLIED BY OTHERS SO THAT THE SERVICE REQUIREMENTS ARE CORRECTLY TYPED, ADEQUATELY SIZED, & ROUGHED IN PROPERLY (LOCATION, HEIGHT, & CONNECTION TYPE) SO AS TO MINIMIZE THE AMOUNT OF MATERIALS & FITTINGS NEEDED FOR FINAL HOOK UP RESULTING IN A NEAT AND ORDERLY LOOKING JOB.
ALL LABOR, SWITCHES, DISCONNECTS, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY TO COMPLY WITH ALL CODES,

GENERAL NOTES: M.E.P. DIAGRAM

ELECTRICIAN SHALL:
 A. COORDIANTE CAPACITY AND TYPE OF SWITCHES AND RECEPTACLES W/ CORRESPONDING CIRCUITS, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.

D. COORDINATE GANGING OF WALL PLATES FOR CLUSTERS OF SWITCHES AND RECEPTACLES, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.

2. GC SHALL PROVIDE CUTS OF ALL PLATES & DEVICES AND ELECTRICAL FIXTURES FOR APPROVAL OF ARCHITECT & OWNER, PRIOR TO INSTALLATION.

8. ALL LABOR, VALVES, TRAPS, TAILPIECES, STRAINERS, PRESSURE REDUCING VALVES, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY COMPLY WITH ALL CODES, INCLUDING ALL INTERCONNECTIONS TO BE FURNISHED BY MECHANICAL CONTRACTOR UNLESS OTHERWISE STATED.

EM	ELECTRICAL METER
EP	ELECTRICAL PANEL
EO	TRANSFER SWITCH
GM	GAS METER
	ELECTRICAL RECEPTACLES
—	DUPLEX RECEPTACLE
— GFI	GFI DUPLEX RECEPTACLE
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\(\rightarrow \)	CEILING MOUNTED FIXTURE
ф	WALL MOUNTED FIXTURE
+	CHANDELIER/PENDANT
-60-	FIXTURE, PULL CHAIN OPERATED
FLR	RECESSED FLOOR FIXTURE
\supset	UNDER CABINET FIXTURE
	LIGHTING TRACK
	LINEAR FIXTURE
	CEILING FAN

B. CONCEAL ALL NEW AND EXISTING ELECTRICAL CIRCUITS THROUGHOUT.

C. PROVIDE LOW VOLTAGE RELAYS, AS REQUIRED, FOR ALL SWITCHES HAVING MORE THAN 1350 WATTS.

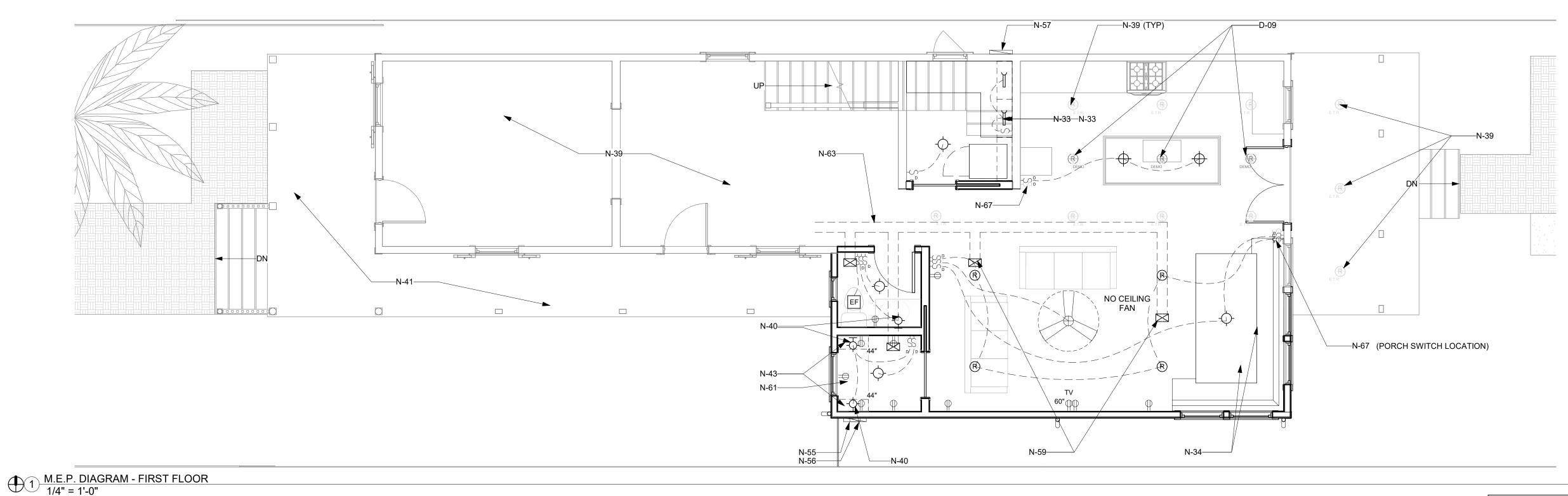
E. INSTALL RECEPTACLES AND OUTLETS IN A VERTICAL FASHION, UNLESS OTHERWISE NOTED.

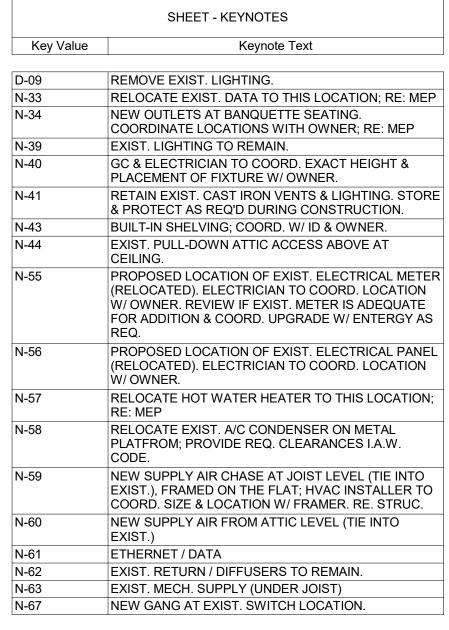
F. PROVIDE PLATES AND DEVICES IN WHITE THROUGHOUT, UNLESS OTHERWISE NOTED.

3. ELECTRICIAN SHALL PROVIDE ALL PLATES & DEVICES AND UNSPECIFIED ELECTRICAL FIXTURES.

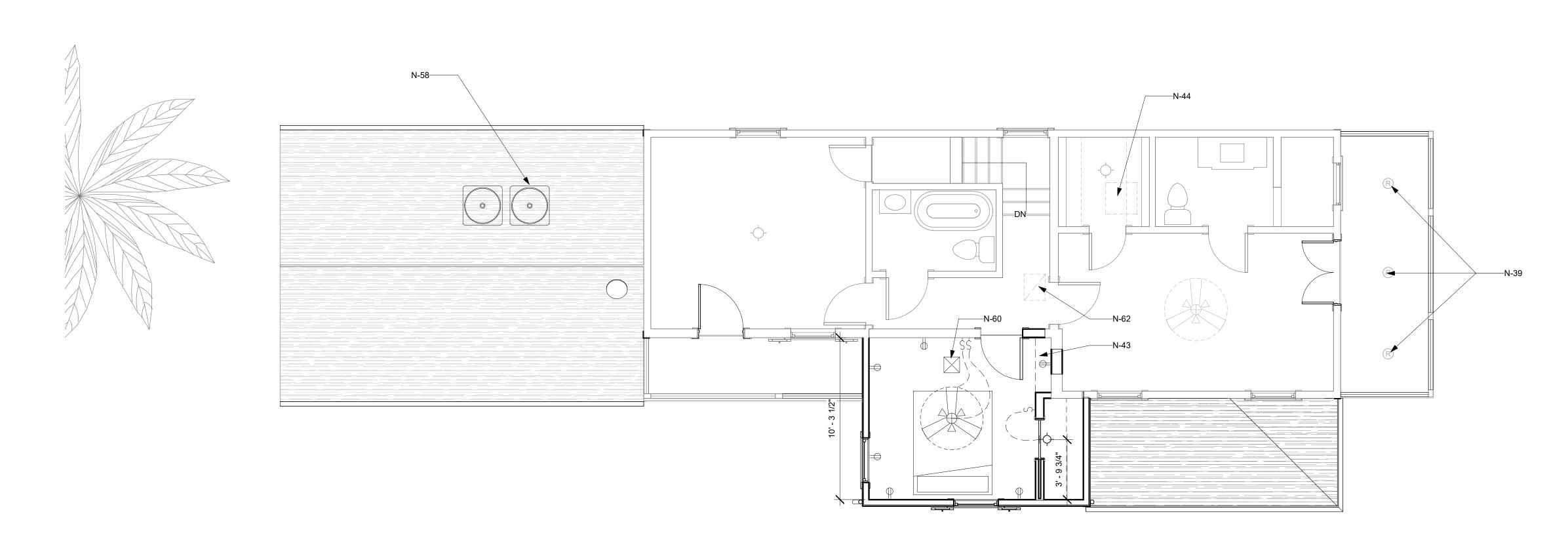
4. ELECTRICIAN SHALL PROVIDE POWER TO ALL MECHANICAL EQUIPMENT AND DEVICES AS REQUIRED.

INCLUDING ALL INTERWIRING TO BE FURNISHED BY ELECTRICAL CONTRACTOR UNLESS OTHERWISE STATED.





NOTE: EXISTING CONDITIONS TO REMAIN UNLESS NOTED IS UP TO CODE AND CONTACT ARCHITECT IF DEFICIENT.



1139 ORETHA CASTLE HALEY NEW ORLEANS, LA 70113 504.322.1220

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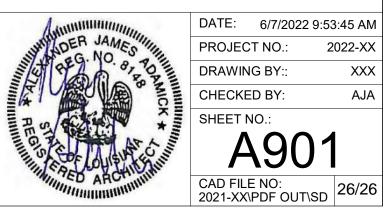
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Project: #2021-40

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> MEP DIAGRAMS & NOTES



M.E.P DIAGRAM - SECOND FLOOR
1/4" = 1'-0"