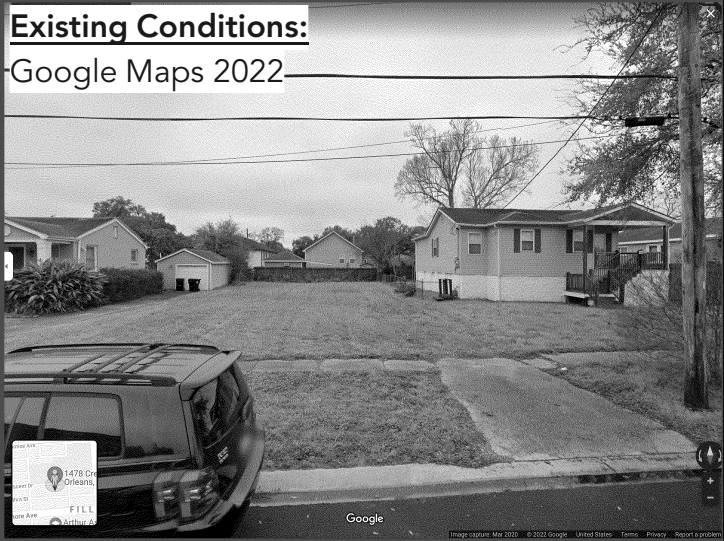
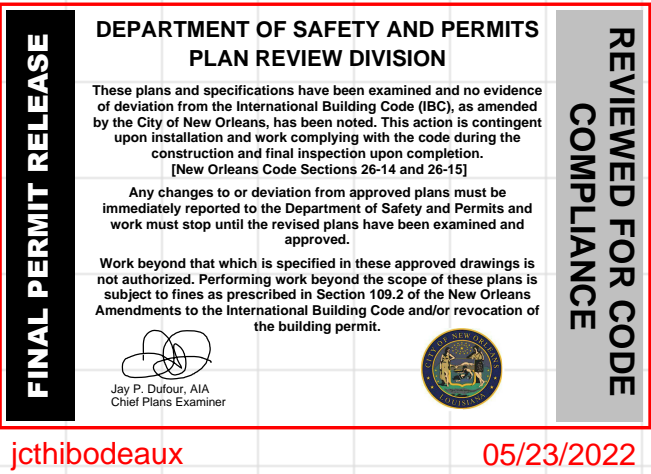


1478 Crescent Drive  
New Orleans • Louisiana • 70122  
Square K , Lot 22  
Gala House Plan



John L. Schackai, Architect  
7830 Jeannette Place  
New Orleans, LA 70118  
T: 504.861.7050

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John L. Schackai, III Architect Reg. No. 2990



Client:

Home By Hand, Inc.  
6323 Franklin Avenue  
New Orleans, LA 70122  
504.529.3522  
www.homebyhand.org

New Residential  
Construction  
1478 Crescent Drive  
New Orleans, Louisiana  
70122

DATE ISSUED: 01.31.22

REV.	DATE	DESCRIPTION

PROJECT # 1478 Crescent Drive

FILE NAME PERMIT

DRAWN BY MRB

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G1.1  
Page 1 of 18

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Project Information:

Street Address: 1478 Crescent Drive  
Square: K  
Lot: 22  
Neighborhood: Gentilly  
City: New Orleans  
State: Louisiana  
Zip: 70122  
Firm Zone: AE  
BFE: -3.00' NAVD  
Construction Benchmark: -3.00' NAVD  
Project Description: Single-Family New Construction  
Owner:  
Home By Hand, Inc.  
6323 Franklin Avenue  
New Orleans, LA 70122  
504.529.3522  
www.homebyhand.org  
Architect:  
John L. Schackai, III  
7830 Jeannette Place  
New Orleans, LA 70118  
504.810.3531  
Contractor:  
TKTMJ, Inc.  
100 Harbor Circle  
New Orleans, LA 70126  
504.373.5107

Zoning Information:

Zoning District: S-RS  
Parking Requirements: 1 Per Dwelling  
Parking Exemptions: 22.5.A.4

Minimum Lot Area: Single Family 6000 SF  
Minimum Lot Width: 50'  
Minimum Lot Depth: 100'  
Maximum Building Height: 35'  
Minimum Side Yard: 10% or 3'  
Req. Rear Yard: 20% lot Depth or 20'  
Minimum Permeable Open Space: 40% Lot Area  
Minimum Open Space: N/A  
Maximun Impervious Surface in Front Yard: 40%  
Maximum Impervious Surface in Corner Side Yard: 40%

HDLC Information:

Local Historic Districts: N/A  
Ordinance:  
Jurisdiction:  
Control:

General Statistics:

3 Bedroom / 2 Bath

Total Interior Square Footage=1293 SF  
Total Porch Area=154 SF

Building Total Square Footages:  
ALL Building Interior Area=1293 SF  
ALL Building Porch Area=154 SF  
ALL Building (Interior + Porch)=1447 SF

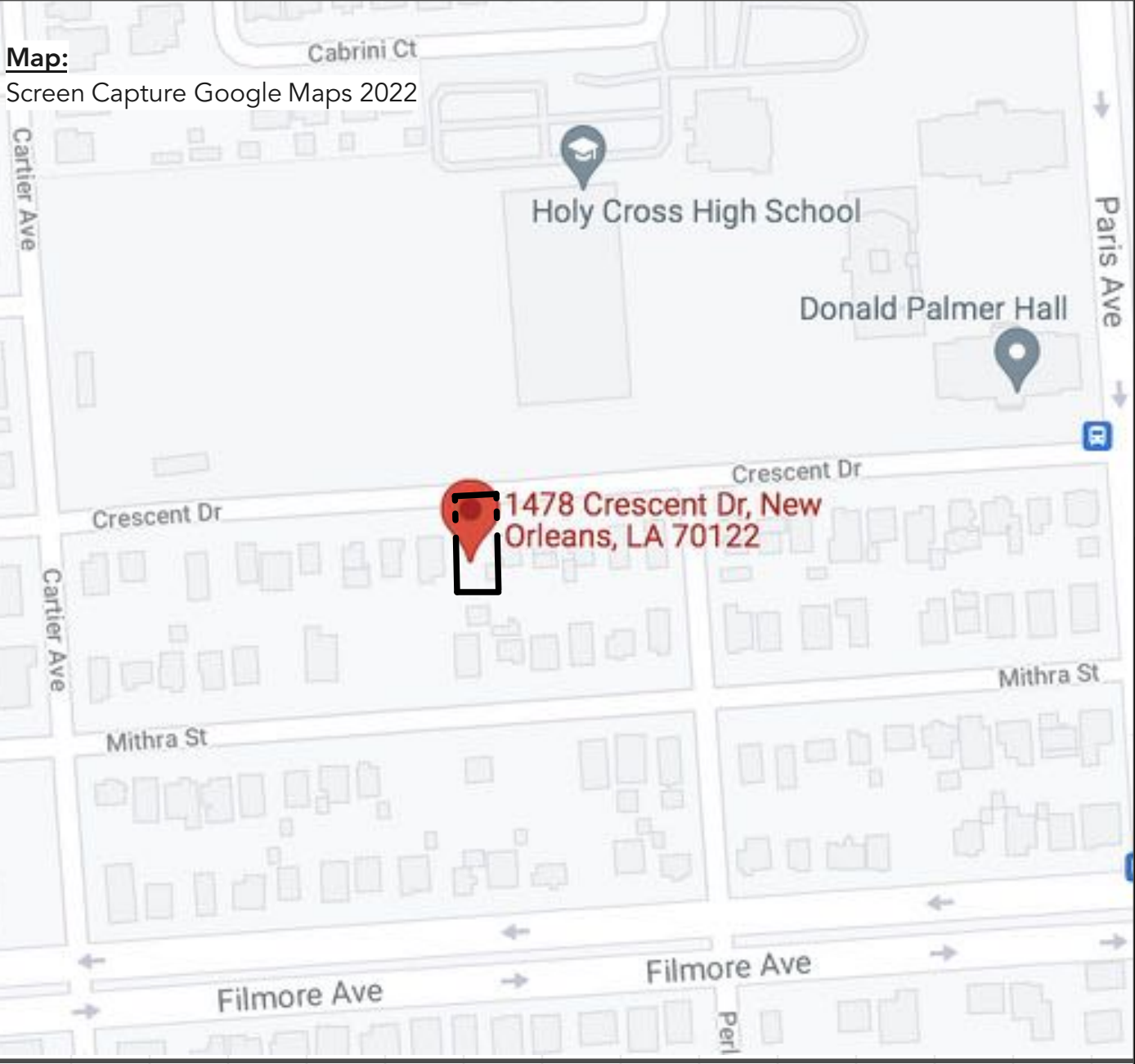
Index:

- G1.1 Cover Page
- G1.2 Copy of Benchmark Certificate and Boundary Survey
- A1.1 Site Plan and Site Details
- A2.1 Floor Plan and Window & Door Schedules
- A2.2 Floor Joist Framing Plan
- A2.3 Ceiling Joist Framing Plan
- A2.4 Rafter Framing Plan
- A3.1 Front & Right Elevations
- A3.3 Rear & Left Elevations
- A4.1 Sections
- A5.1 Typical Wall Sections
- A6.1 Typical Framing Details & Nailing Schedule
- A6.2 Column & Flashing Details
- A6.3 Gable End Details
- A6.4 Gable End Details
- S1.1 Pile Plan & Connector Schedule
- S2.1 Foundation Details
- E1.1 Electrical Plan & Electrical Schedule

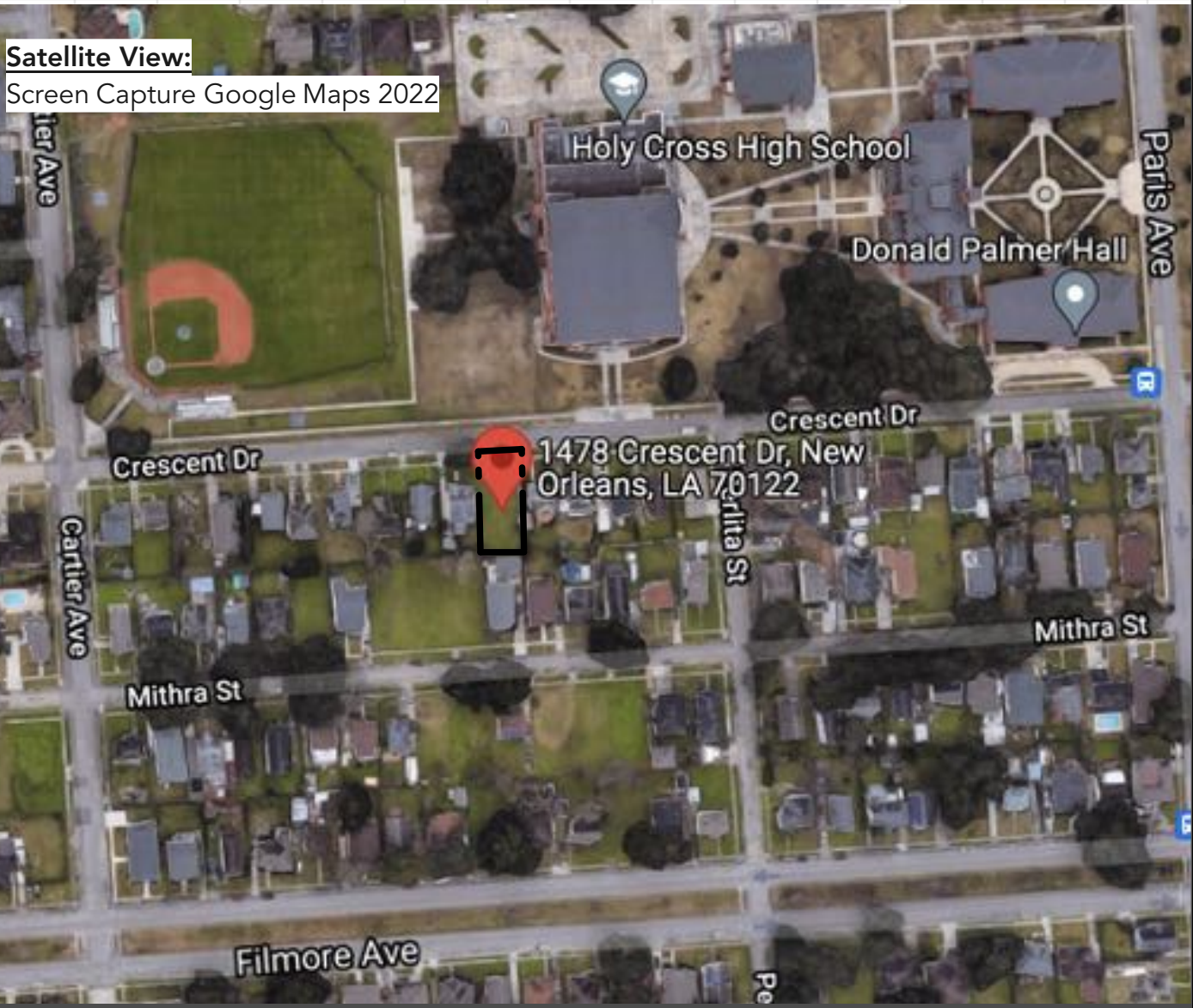
General Notes:

- Typical Connections and Details are for the design of this building for the basic wind speed of 130 MPH in accordance with IRC 2015 ED., the Wood Frame Construction Manual (WFCM) 2006 ED., and the ASCE Standard ASCE/SEI 7-10.
- Lumber shall be treated for water contact below the finish floor and all materials below F.F. shall comply with Section R322.1.8 IRC 2015 ED.
- Lumber above finish floor shall be borate treated.
- Piles are to be Class 5 treated ASTM D 25 with minimum tip diameters of 6 inches and butt diameters of at least 8 inches driven with a drop hammer or single acting air hammer having a manufacturers rated energy of 7,250 ft-lbs per blow; or if a drop hammer is used, the ram weight shall not exceed 2500 lbs and the drop shall not be greater than 3 feet. The piling shall have a 35 foot embedment below natural grade or be driven to refusal.
- Piles shall be cut at a minimum of 1'-4" Above Construction Benchmark Elevation of -3.00' N.A.V.D. (Verify on Job.)
- Provide certified termite treatment at soil under footing and at perimeter.
- Concrete shall have ultimate strength of 3000 PSI @ 28 days (No flyash is allowed).
- Install floor joist beneath all walls or as indicated on drawings.
- Provide under floor access at exterior of building at building skirt. Access door shall comply with Section R408 of IRC 2015 ED.
- All dimensions measure from framing member to framing member unless otherwise noted.
- Smoke Detectors/Alarms shall be installed in accordance with manufacturer's specifications. They shall be hardwired and interconnected so all alarms sound when any one of them is activated.
- General Contractor to coordinate locations of electrical water heater and air handler.
- Provide light over attic access stairs and provide duplex outlet in attic adjacent to air handler.
- Provide arc-fault circuit interrupters at each branch circuit supplying outlets installed in dwelling unit bedrooms and living areas.
- All fixtures and appliances are electric.
- Bathroom mechanical ventilation shall vent directly to the exterior and be installed in accordance with Section 1507 of the IRC 2015 ed.

Map:  
Screen Capture Google Maps 2022



Satellite View:  
Screen Capture Google Maps 2022





Boundary survey of LOT 22, SQUARE: K, SUB: LEGION OAKS, DISTRICT: THIRD, PARISH, LA: ORLEANS. Elevation note: THIS IS TO CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, FIRM FIRM RISK ZONE: A-1/30/2015. FLOOD ZONE: A-1. BASE FLOOD ELEVATION: 1.5' FIRM FLOOD ELEVATION: 2.0'.

DEPARTMENT OF SAFETY & PERMITS CITY OF NEW ORLEANS. PERMIT NO: ADDRESS: 1478 Crescent Drive SUBDIVISION: N/A DISTRICT: 3RD SQUARE: K LOT: 22. COMMUNITY NUMBER: 225203 PANEL NUMBER: 22071C0114 SUFFI X: F DATE OF FIRM INDEX: September 30, 2016 FIRM ZONE: AE BASE FLOOD ELEVATION (BFE): -3.00' N.A.V.D. FREEBOARD (ADD 1 FT FOR A AND V ZONES): +1ft =

1. CERTIFICATE OF CONSTRUCTION BENCHMARK. EXISTING HIGHEST TOP OF CURB ELEVATION: -7.1' N.A.V.D. EXISTING HIGHEST CENTERLINE OF STREET: -6.7' N.A.V.D. LOT ELEVATIONS (PROPERTY CORNERS OR EDGE): FRONT (RIGHT) -7.2' N.A.V.D. FRONT (LEFT) -7.0' N.A.V.D. REAR (RIGHT) -6.7' N.A.V.D. REAR (LEFT) -6.6' N.A.V.D. OTHER: N.A.V.D. DESCRIBE DESCRIPTION OF CONSTRUCTION BENCHMARK: NAIL IN POLE BY RIGHT PROPERTY LINE. ELEVATION OF CONSTRUCTION BENCHMARK: -3.00' N.A.V.D. (SEE NOTE F.) REFERENCE BENCHMARK USED TO ESTABLISH CONSTRUCTION BENCHMARK: ALCO 4474. ELEVATION OF REFERENCE BENCHMARK: -5.8' N.A.V.D. SIGNATURE: C. Randall Dixon DATE: 09-30-2021 (LA. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER) (SEAL)

3. FILLING, GRADING, DRAINAGE, SIDEWALK AND DRIVEWAY CERTIFICATION AND AFFIDAVIT. THIS WILL CONFIRM THAT ALL FILLING, GRADING, DRAINAGE, SIDEWALKS AND DRIVEWAYS HAVE MET THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE CODE OF THE CITY OF NEW ORLEANS. OWNER: DATE: APPLICANT: DATE: (NOTARY) IS LOT PROPERLY FILLED TO GRADE? YES NO ARE SIDEWALKS PROPERLY INSTALLED? YES NO ARE DRIVEWAYS PROPERLY INSTALLED? YES NO ARE RETAINING WALLS REQUIRED? YES NO (if yes, then on which side(s) RIGHT LEFT REAR ARE EQUIPMENT SLABS, SUCH AS A/C COMPRESSORS, AT MINIMUM FLOOR ELEVATION? YES NO DO ATTACHED GARAGES IN A-ZONES, THAT ARE BELOW MINIMUM FLOOR ELEVATION, HAVE PROPER VENTING AND WATERPROOFING? YES NO N/A SIGNATURE: DATE: (LA. REGISTERED PROFESSIONAL CIVIL ENGINEER)

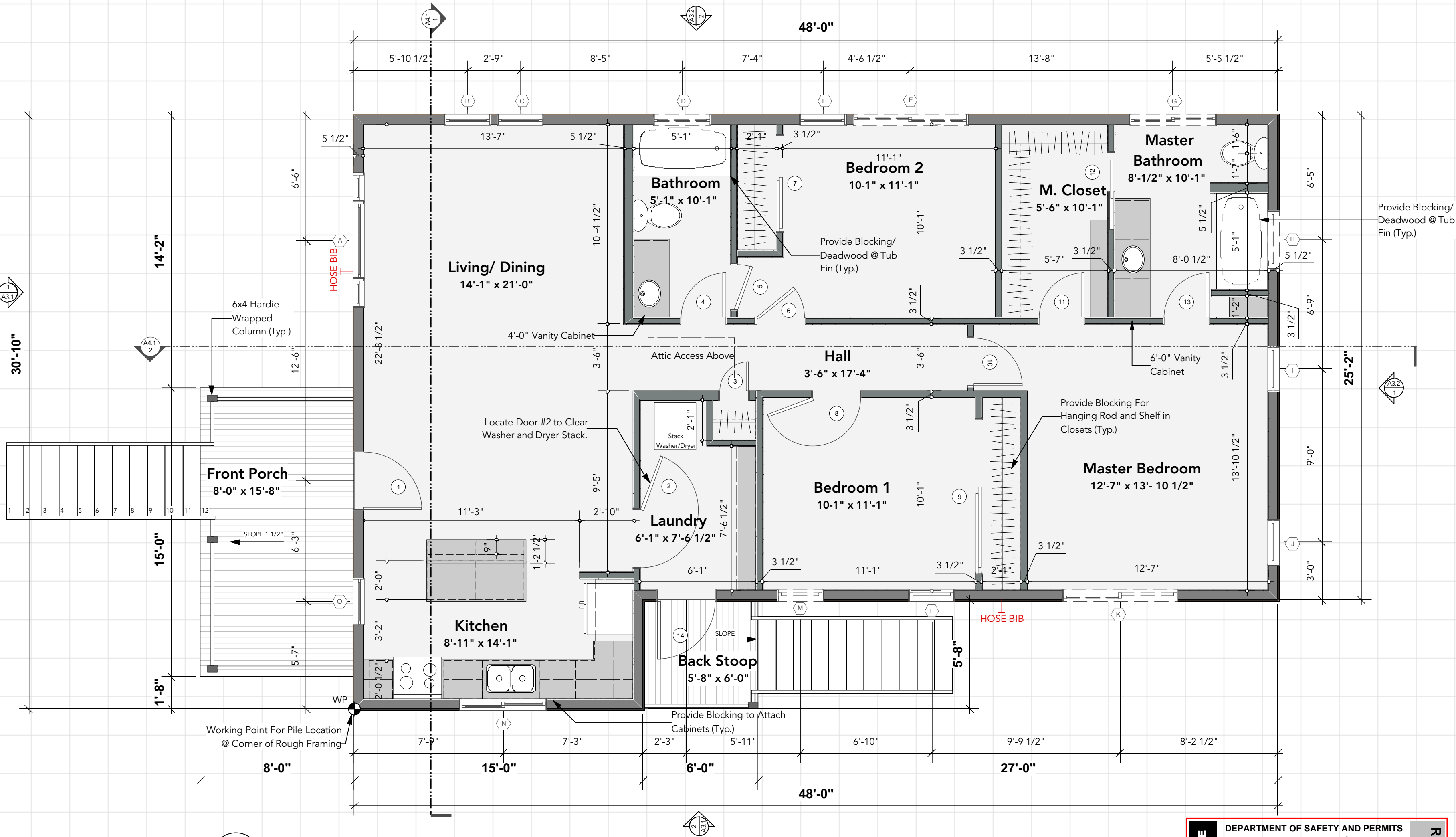
THE LATEST FEMA ELEVATION CERTIFICATE MUST ACCOMPANY PART 3 OF THIS FORM WHEN SUBMITTED TO THE DEPARTMENT OF SAFETY & PERMITS.

DEPARTMENT OF SAFETY AND PERMITS PLAN REVIEW DIVISION. These plans and specifications have been examined and no evidence of deviation from the International Building Code (IBC), as amended by the City of New Orleans, has been noted. This action is contingent upon installation and work complying with the code during the construction and final inspection upon completion. Any changes to or deviation from approved plans must be immediately reported to the Department of Safety and Permits and work must stop until the revised plans have been examined and approved. Work beyond that which is specified in these approved drawings is not authorized. Performing work beyond the scope of these plans is subject to fines as prescribed in Section 109.2 of the New Orleans Amendments to the International Building Code and/or revocation of the building permit. Jay P. Dillour, AIA Chief Plans Examiner 05/23/2022

John L. Schackai, Architect 7830 Jeannette Place New Orleans, LA 70118 T: 504.861.7050. These drawings were prepared by me, or under my close personal supervision, and to my best knowledge and belief comply with all City codes and ordinances. I am not administering the work. John L. Schackai, III Architect Reg. No. 2990. Client: Home By Hand, Inc. 6323 Franklin Avenue New Orleans, LA 70122 504.529.3522 www.homebyhand.org. New Residential Construction 1478 Crescent Drive New Orleans, Louisiana 70122. DATE ISSUED: 01.31.22. PROJECT #: 1478 Crescent Drive. FILE NAME: PERMIT. DRAWN BY: MRB. CHECKED BY: JLS. G1.2 Page 2 of 18. COPYRIGHT © 2022 PROPERTY OF JOHN SCHACKAI AND MAY NOT BE USED WITHOUT PERMISSION. ALL RIGHTS RESERVED.





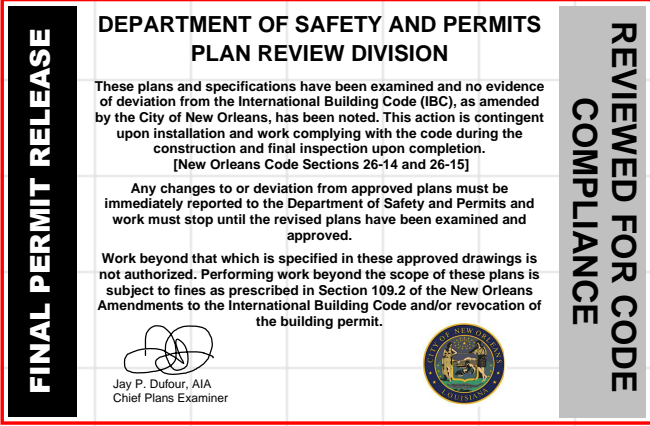
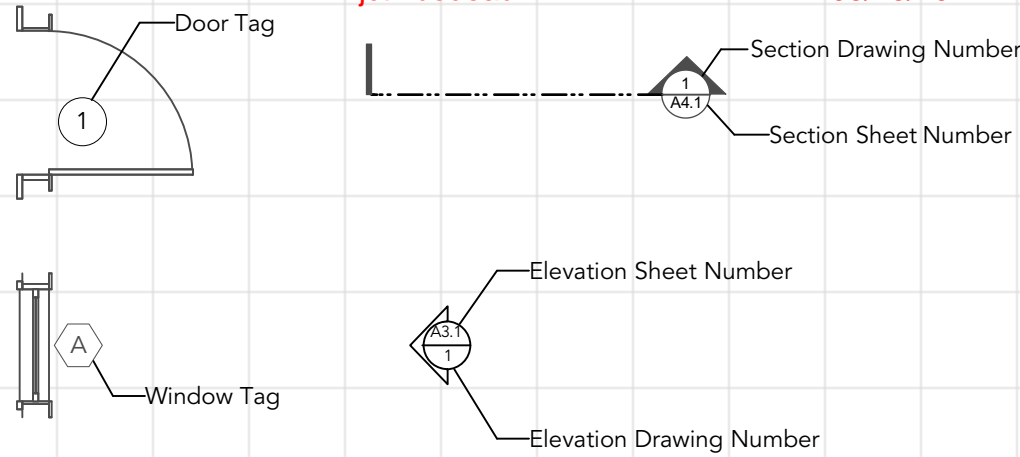


1 First Floor Plan  
1/4"=1'-0"

WINDOW SCHEDULE				
WINDOW TAG	WIDTH	HEIGHT	SASH OPERATION	NOTES
A	7'0"	4'8"	Casement/Picture/ Casement	Header Height 8'-0"
B	2'5"	6'0"	Single Hung	"
C	2'5"	6'0"	Single Hung	"
D	3'0"	2'5"	Fixed	"
E	2'5"	6'0"	Single Hung	"
F	6'0"	2'5"	Slider	"
G	4'6"	2'5"	Slider	"
H	3'0"	2'5"	Fixed	"
I	2'5"	6'0"	Single Hung	"
J	2'5"	6'0"	Single Hung	"
K	6'0"	2'5"	Slider	"
L	2'5"	6'0"	Single Hung	"
M	3'0"	2'5"	Slider	"
N	3'6"	4'6"	Slider	"
O	2'5"	6'0"	Single Hung	"

DOOR SCHEDULE					
DOOR TAG	WIDTH	HEIGHT	OPERATION	INT/ EXT	NOTES
1	3'0"	8'0"	Simple Swing	Ext	Front Door with Fixed Transom
2	3'0"	6'8"	Simple Swing	Int	Laundry Room
3	1'6"	6'8"	Simple Swing	Int	Hall Closet
4	2'4"	6'8"	Simple Swing	Int	Bathroom
5	2'6"	6'8"	Simple Swing	Int	Bedroom
6	2'6"	6'8"	Simple Swing	Int	Bedroom
7	5'0"	6'8"	Slider	Int	Closet Slider
8	2'6"	6'8"	Simple Swing	Int	Bedroom
9	8'0"	6'8"	Slider	Int	Closet
10	2'6"	6'8"	Simple Swing	Int	M. Bedroom
11	2'4"	8'6"	Simple Swing	Int	M. Closet
12	2'0"	6'8"	Pocket	Int	Btwn M. Closet and M. Bathroom
13	2'4"	6'8"	Simple Swing	Int	Master Bathroom
14	3'0"	8'0"	Simple Swing	Ext	Side Door with Fixed Transom

Plan Symbol Legend:

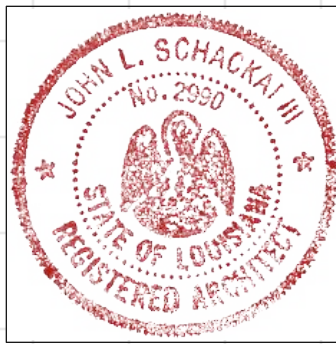


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www.homebyhand.org

New Residential  
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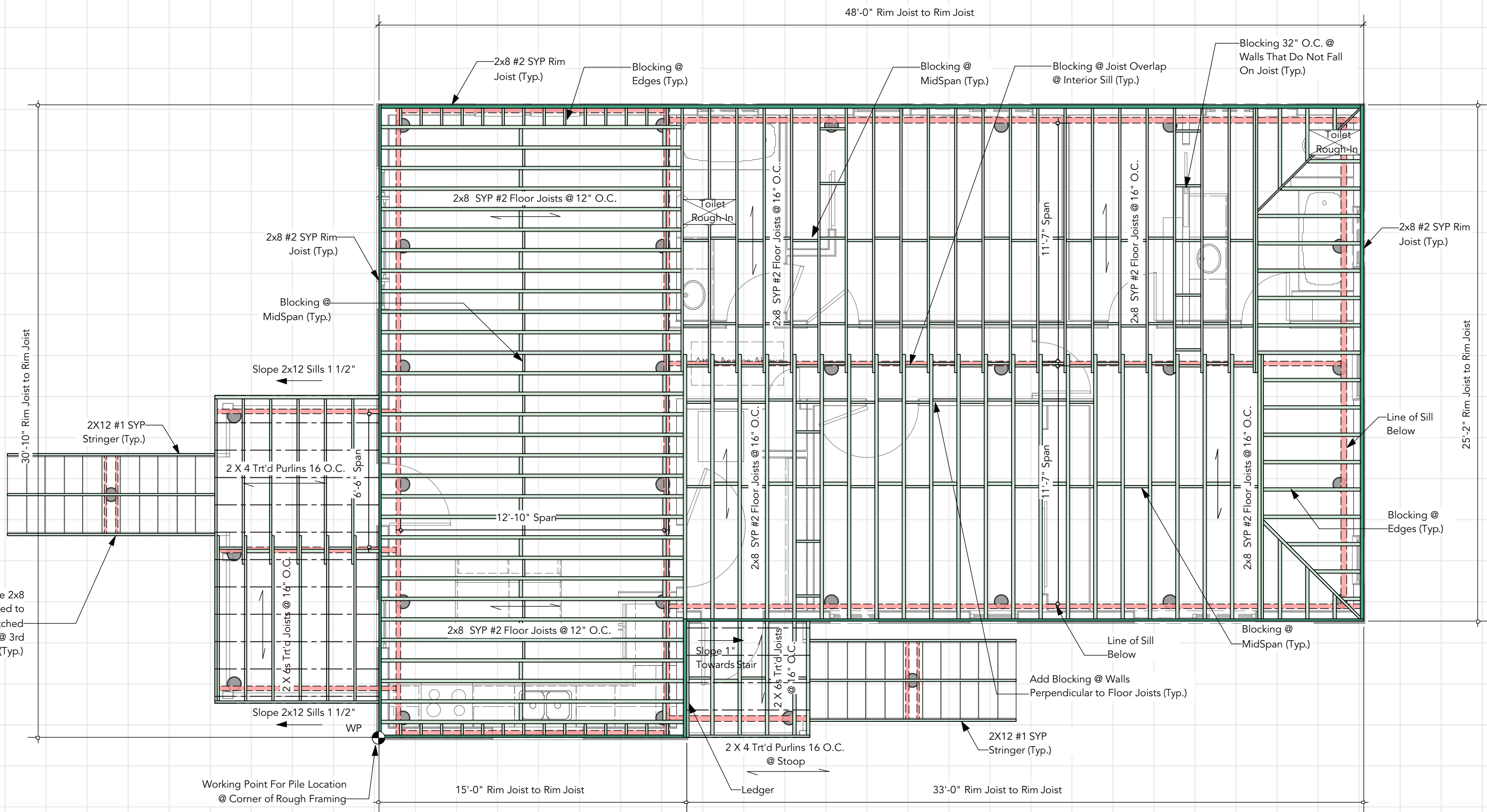
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1 Floor Joist Framing Plan  
1/4"=1'-0"

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PLAN REVIEW DIVISION**

These plans and specifications have been examined and no evidence of deviation from the International Building Code (IBC), as amended by the City of New Orleans, has been noted. This action is contingent upon installation and work complying with the code during the construction and final inspection upon completion.  
[New Orleans Code Sections 26-14 and 26-15]


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*Jay P. Dufour, AIA*  
Chief Plans Examiner

REVIEWED FOR CODE COMPLIANCE

7830 Jeannette Place  
New Orleans, LA 70118  
T: 504.861.7050

  
John L. Schackai, III Architect Reg. No. 2990



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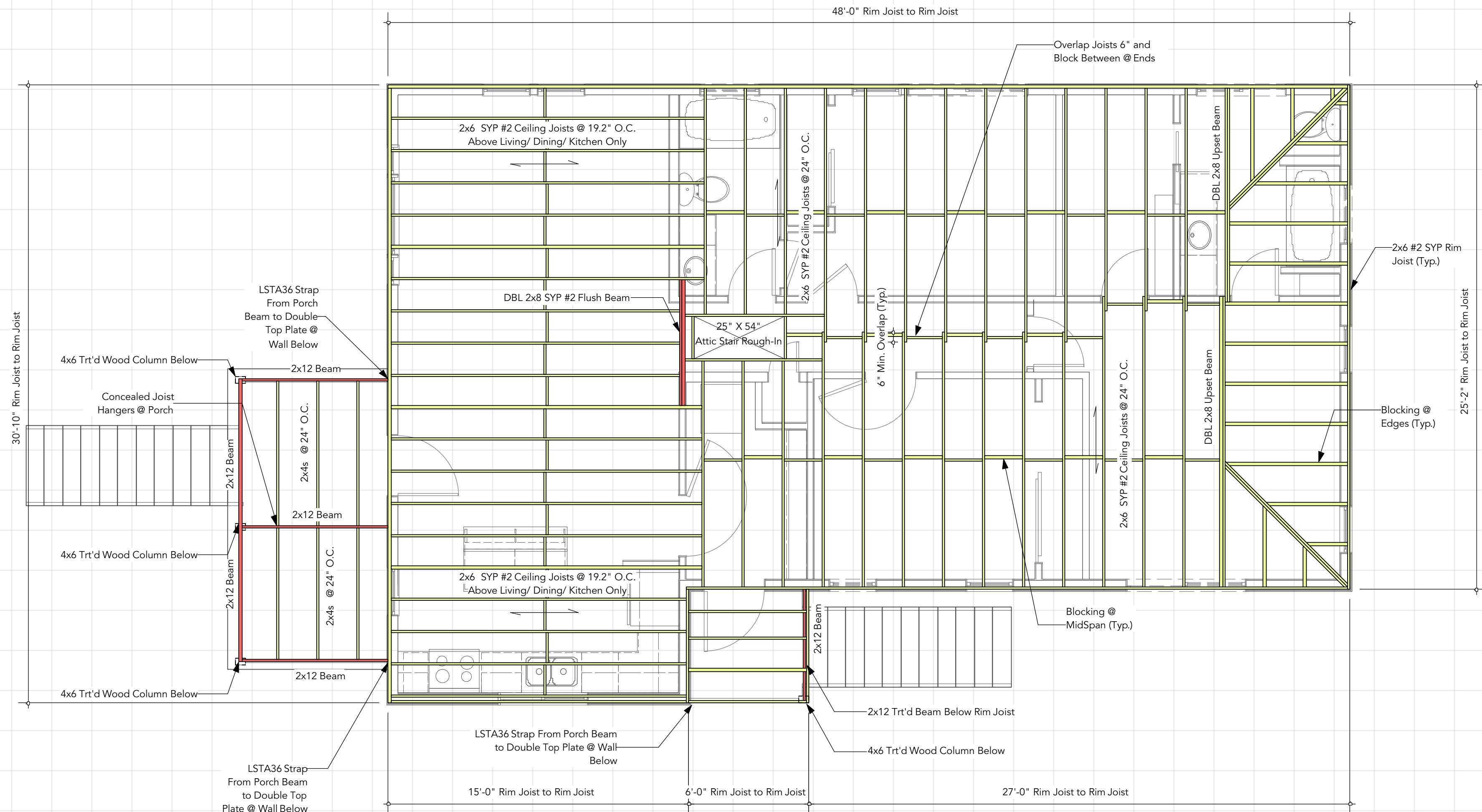
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1

## Ceiling Joist Framing Plan

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
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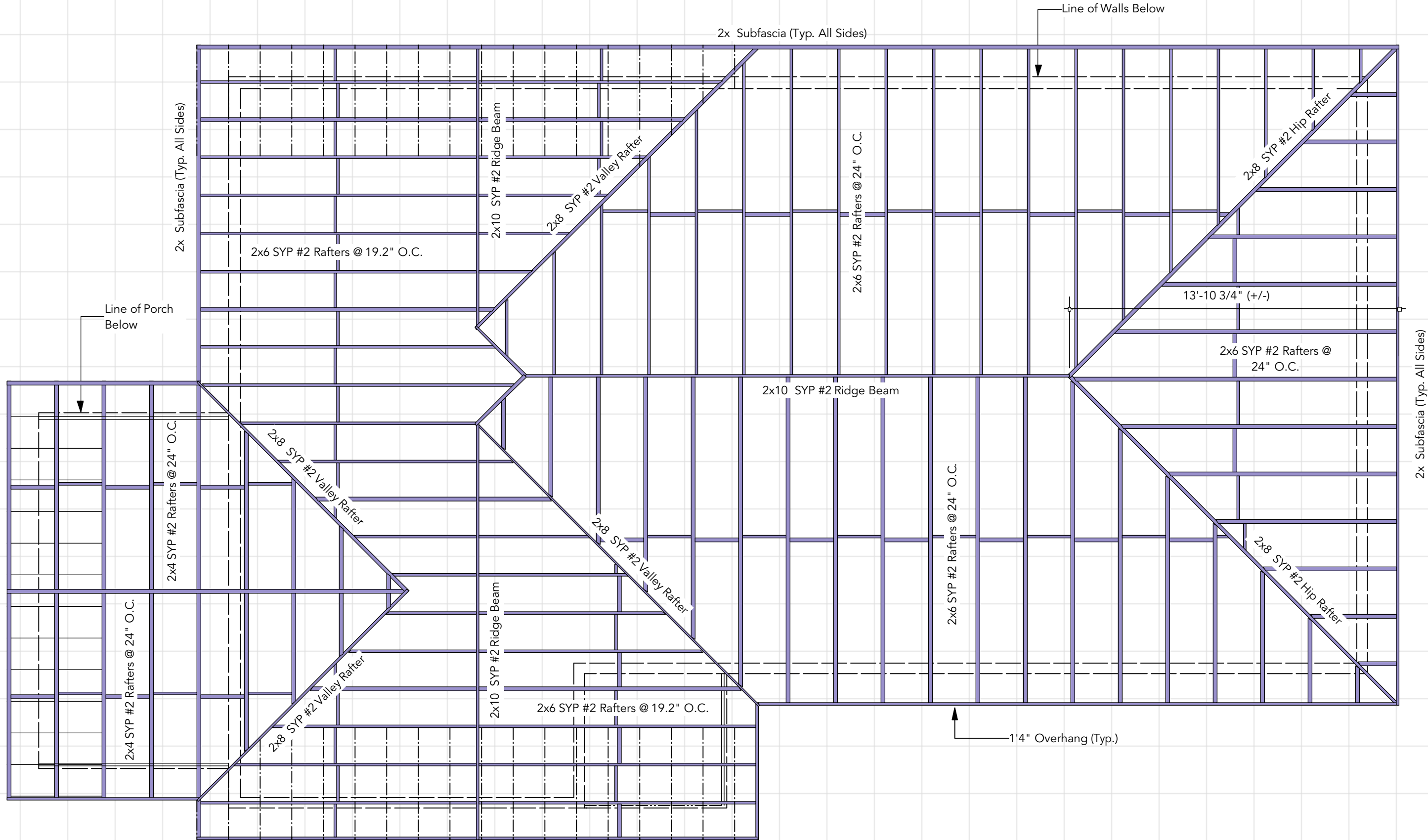
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City of New Orleans  
Chief Plans Examiner

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05/23/2022



1 Rafter Plan  
1/4"=1'-0"

John L. Schackai, Architect

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New Orleans, LA 70118  
T: 504.861.7050

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PROJECT # 1478 Crescent Drive

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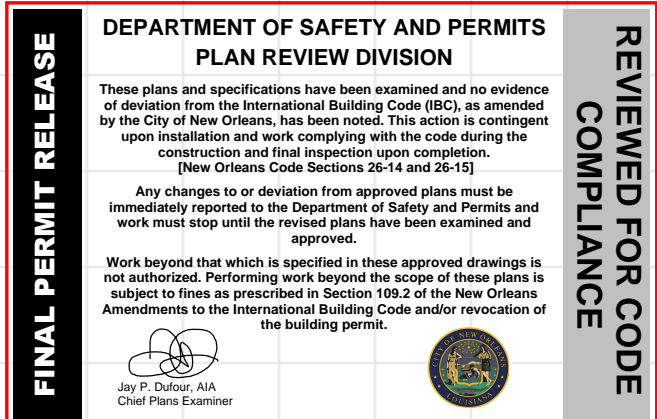
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jcthibodeaux

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Jay P. Dubour, AIA  
Chief Plans Examiner

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jcthibodeaux05/23/2022

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New Orleans, LA 70118  
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John L. Schackai, III Architect Reg. No. 2990



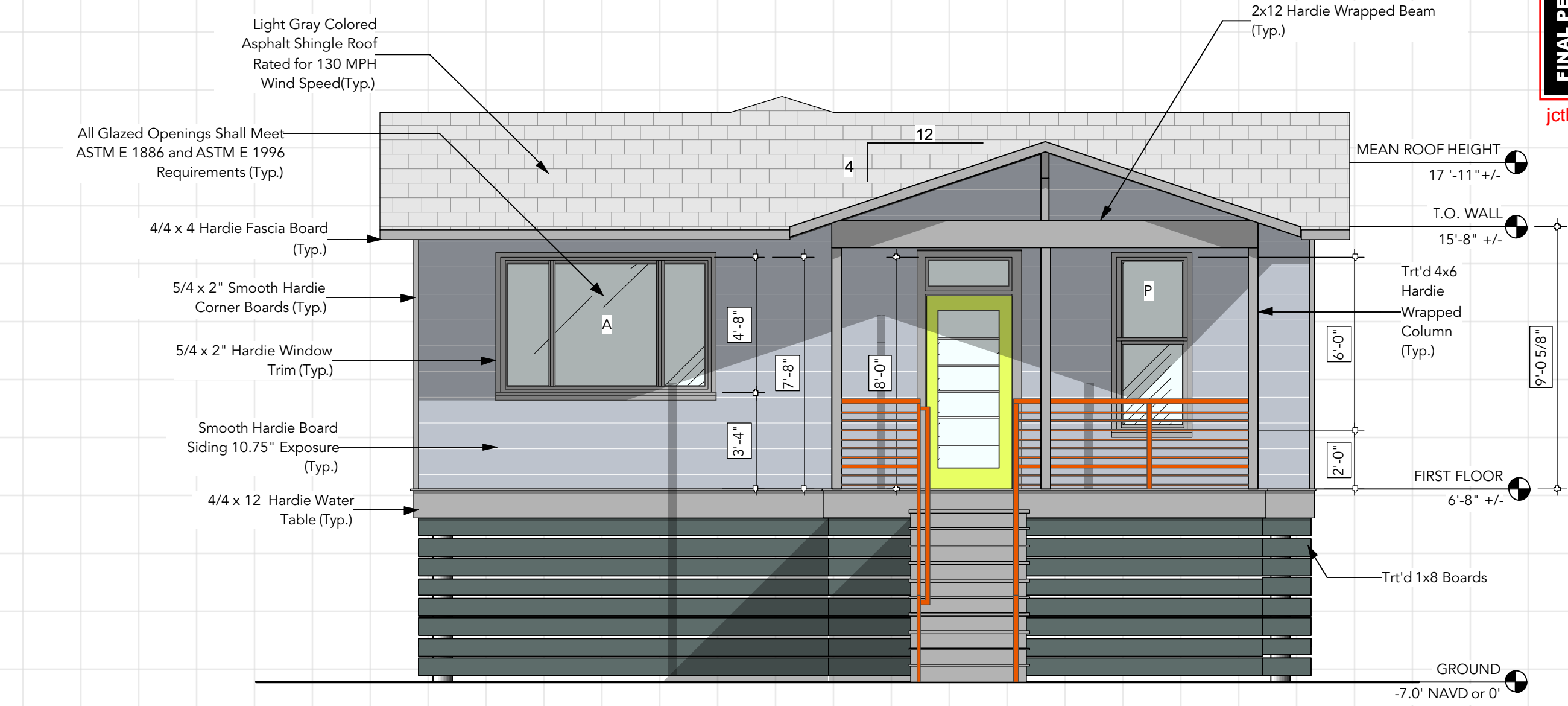
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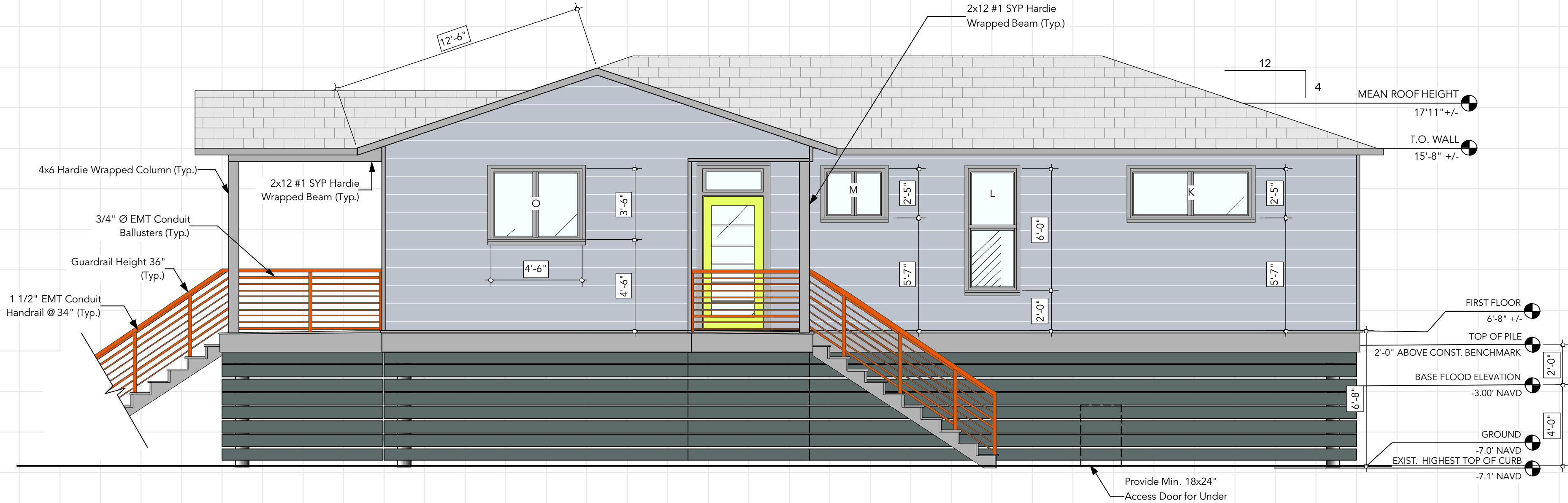
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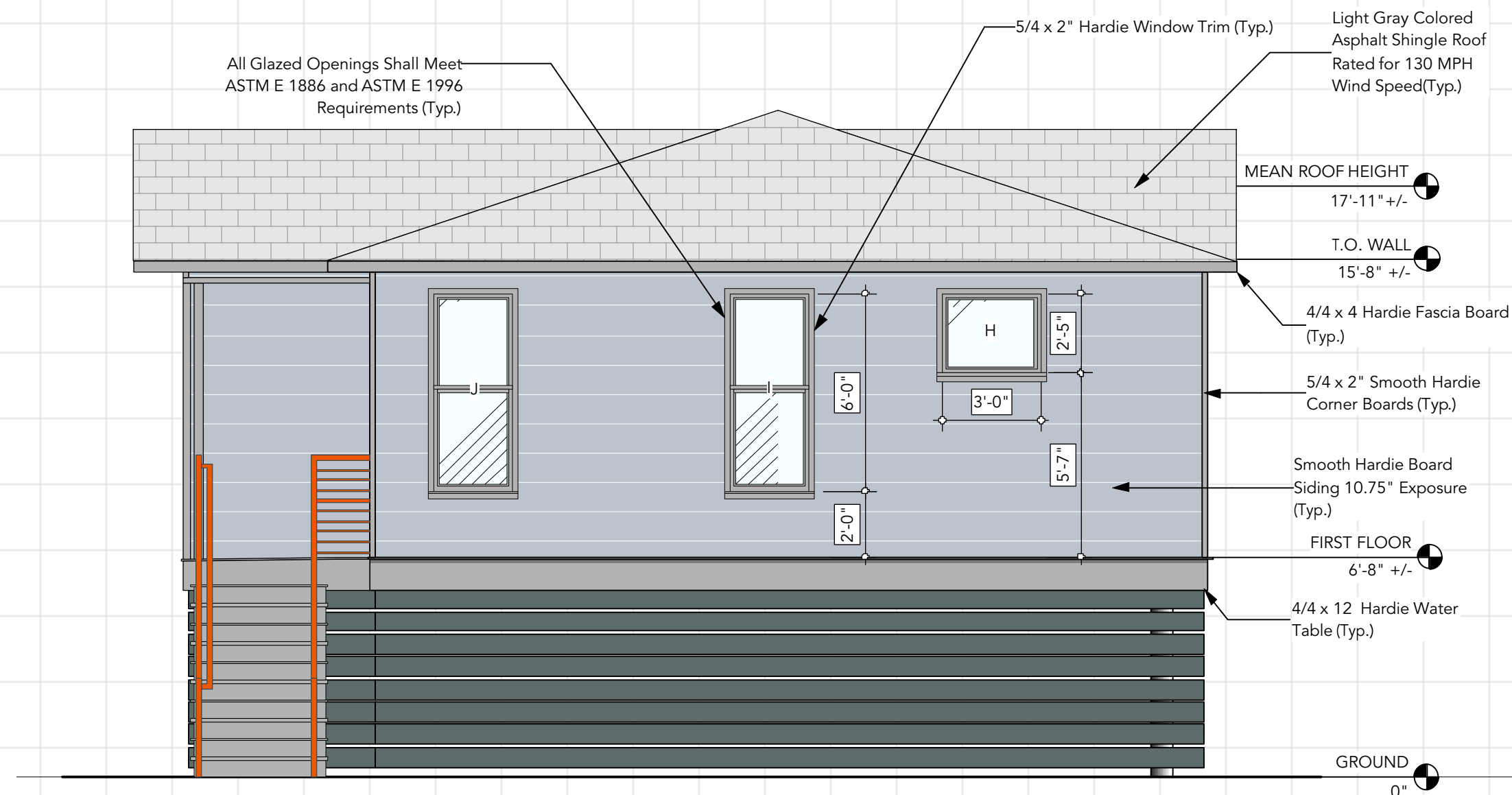


1 Front Elevation  
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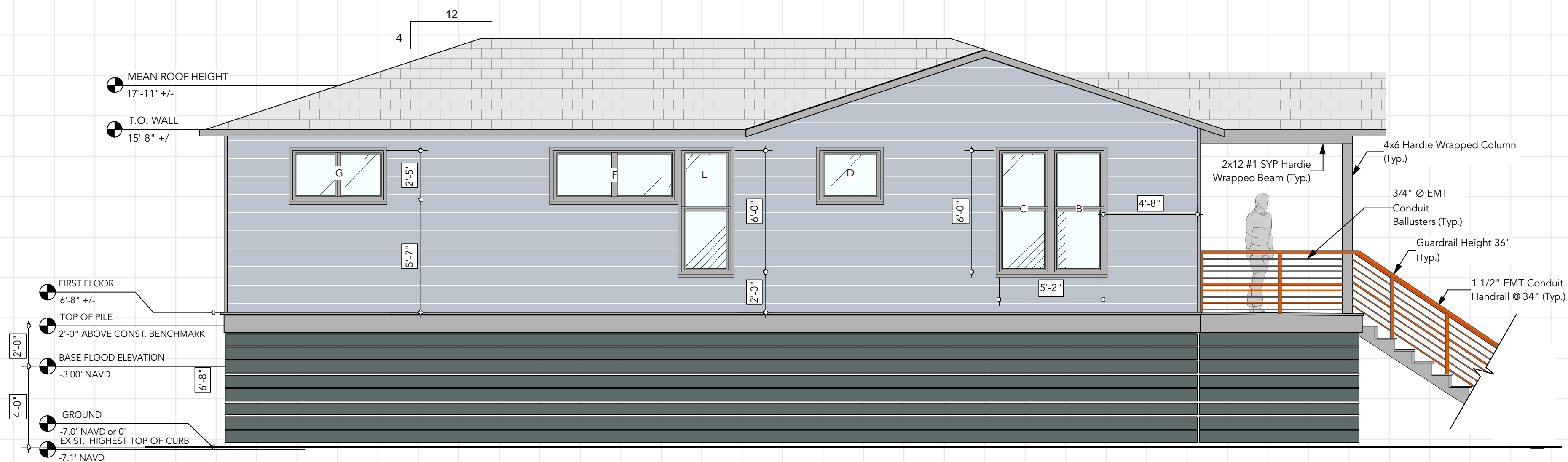


2 Right Side Elevation  
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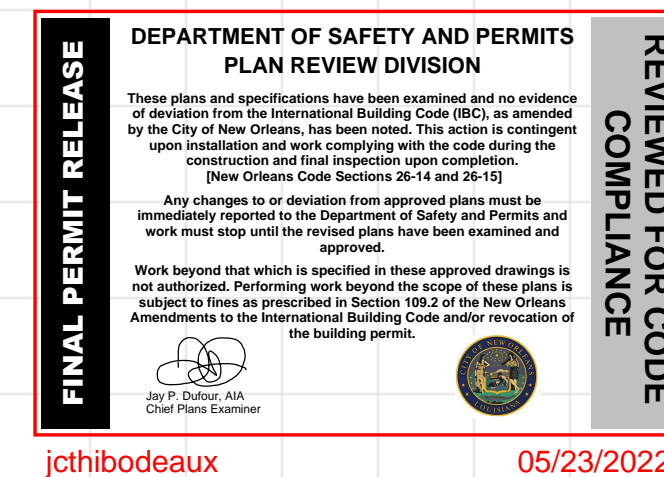




1 Rear Elevation  
1/4"=1'-0"




2 Left Side Elevation  
1/4"=1'-0"



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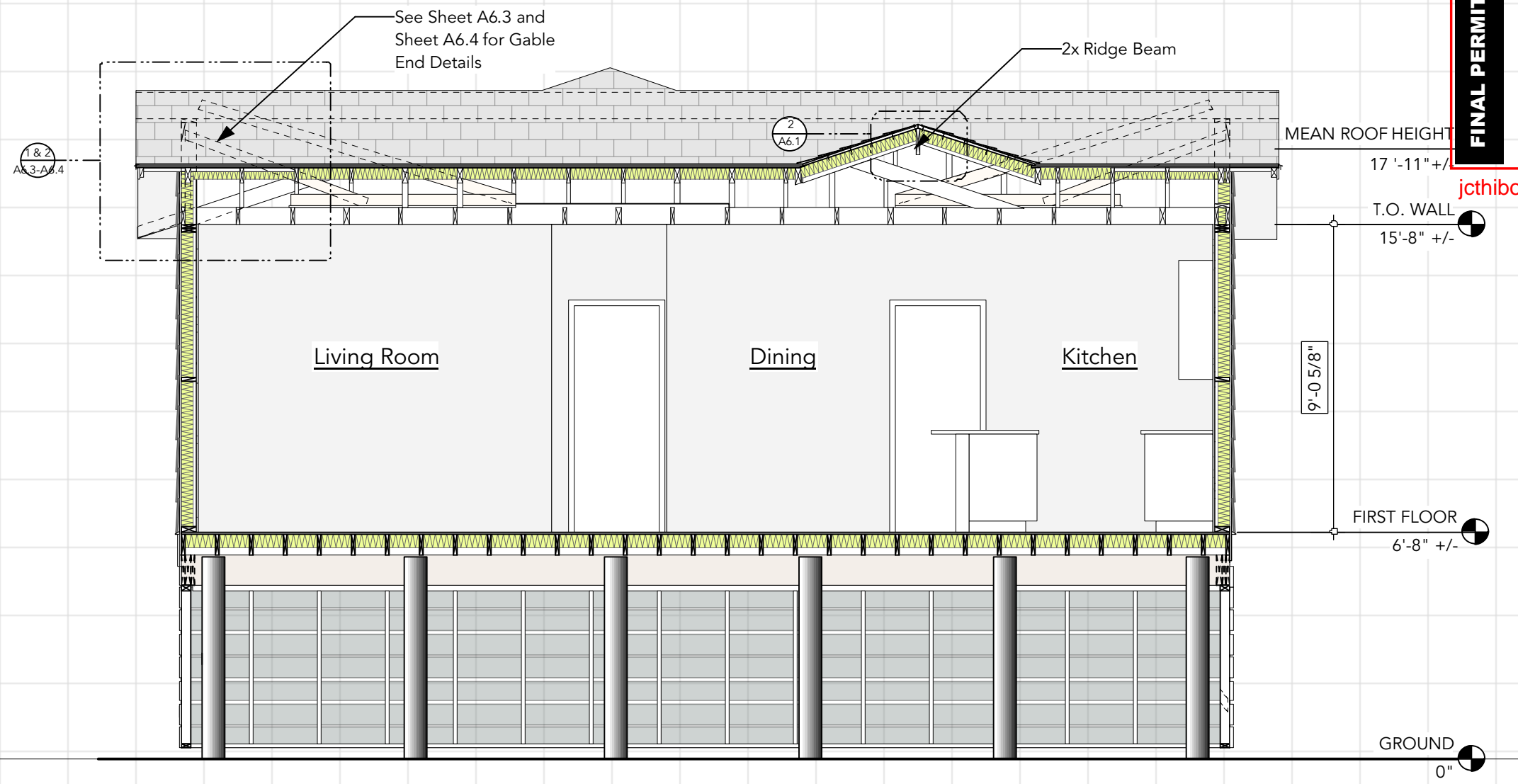
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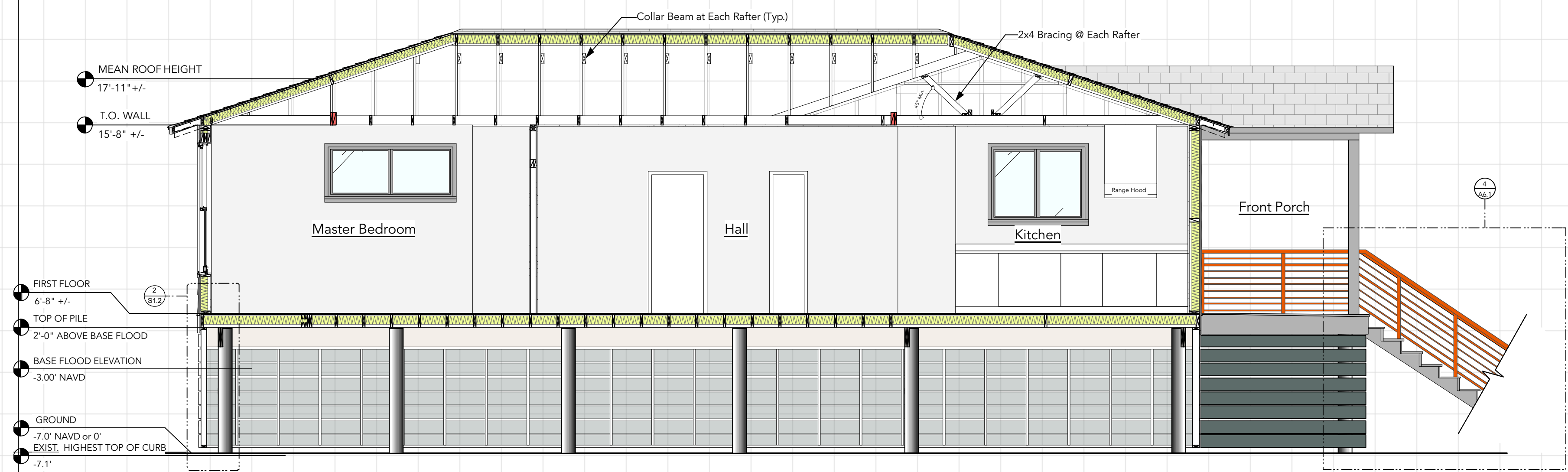
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1 Short Section Through Living Dining & Kitchen  
1/4"=1'-0"



2 Long Section Through Kitchen/ Hall / Master Bedroom  
1/4"=1'-0"

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PLAN REVIEW DIVISION

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(New Orleans Code Sections 26-14 and 26-15)

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jaythibodeaux

05/23/2022

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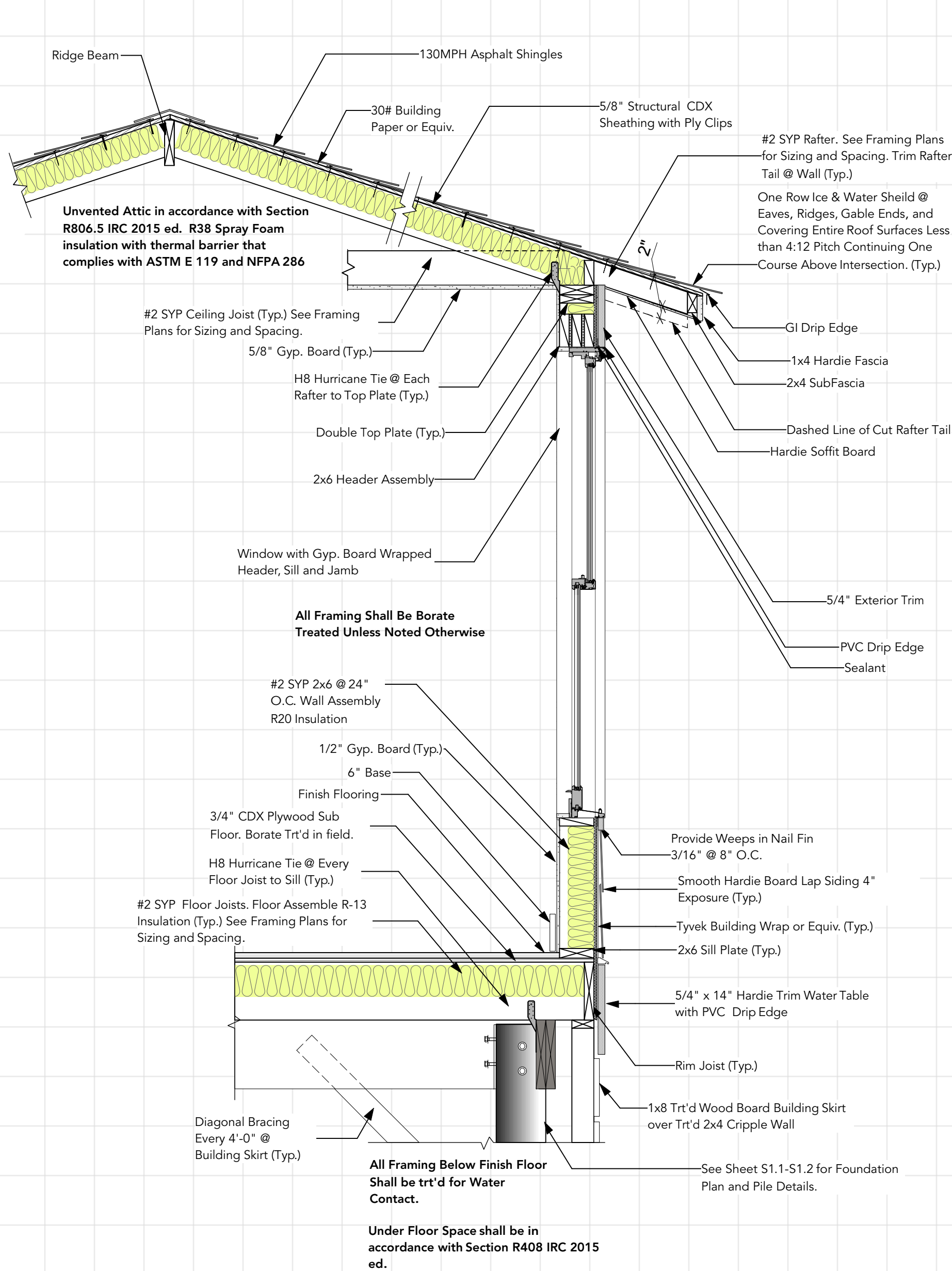
**New Residential  
Construction  
1478 Crescent Drive  
New Orleans, Louisiana  
70122**

DATE ISSUED:		01.31.22
REV.	DATE	DESCRIPTION
PROJECT #		1478 Crescent Drive
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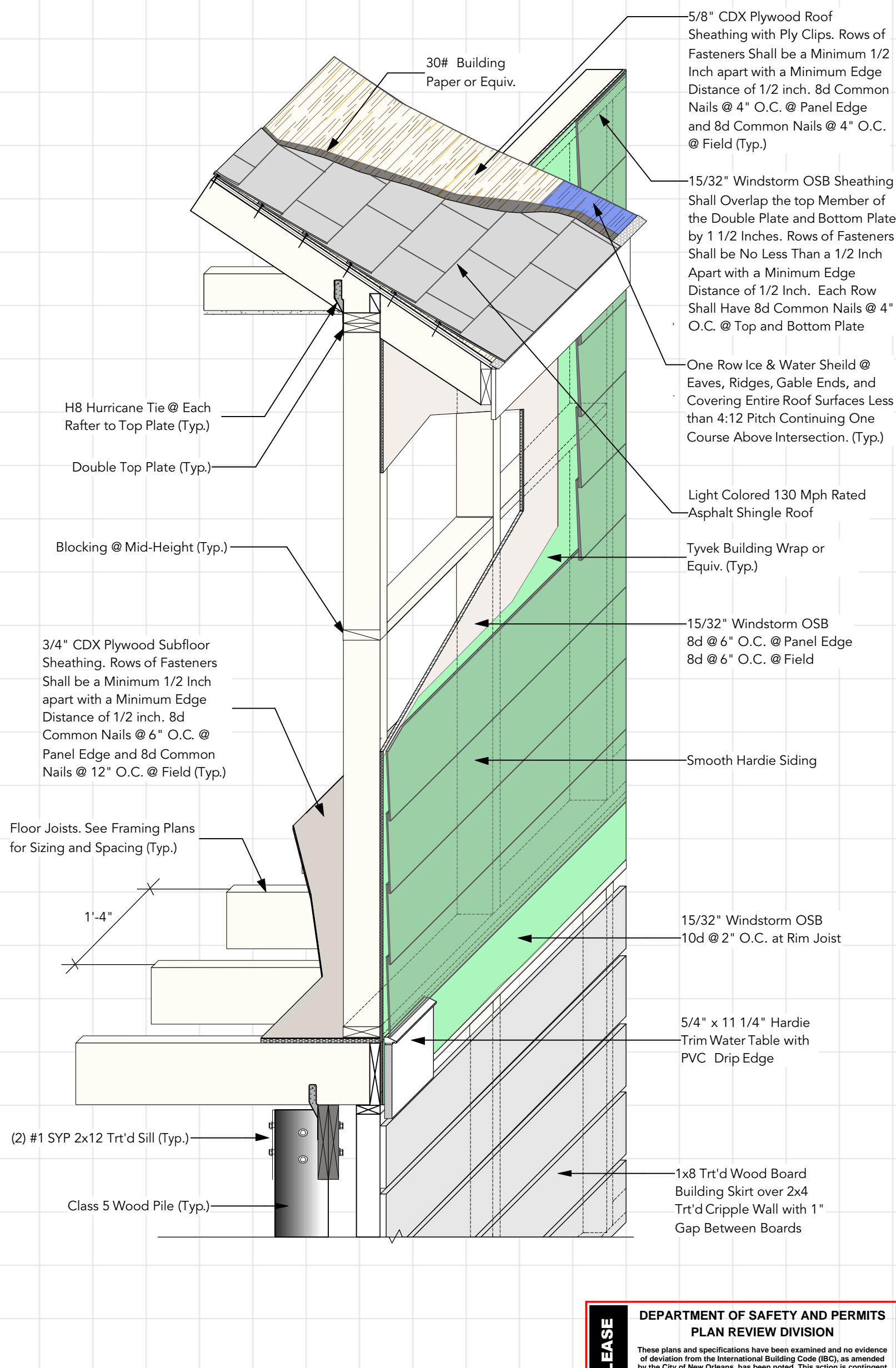
**A4.1**  
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1 Typical Wall Section  
3/4" = 1'-0"



2 Typical Wall Section with Nailing Requirements  
3/4" = 1'-0"

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John L. Schackai, III Architect Reg. No. 2990



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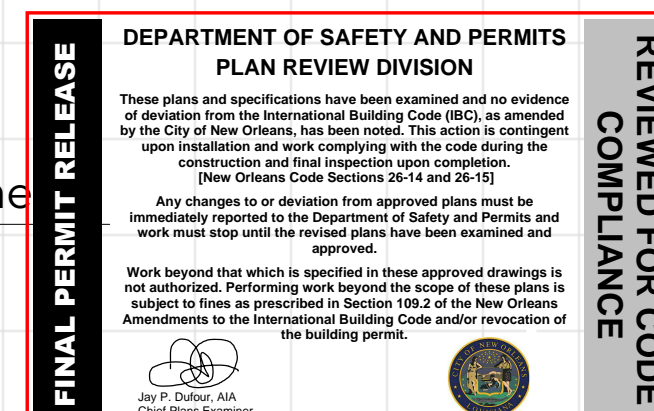
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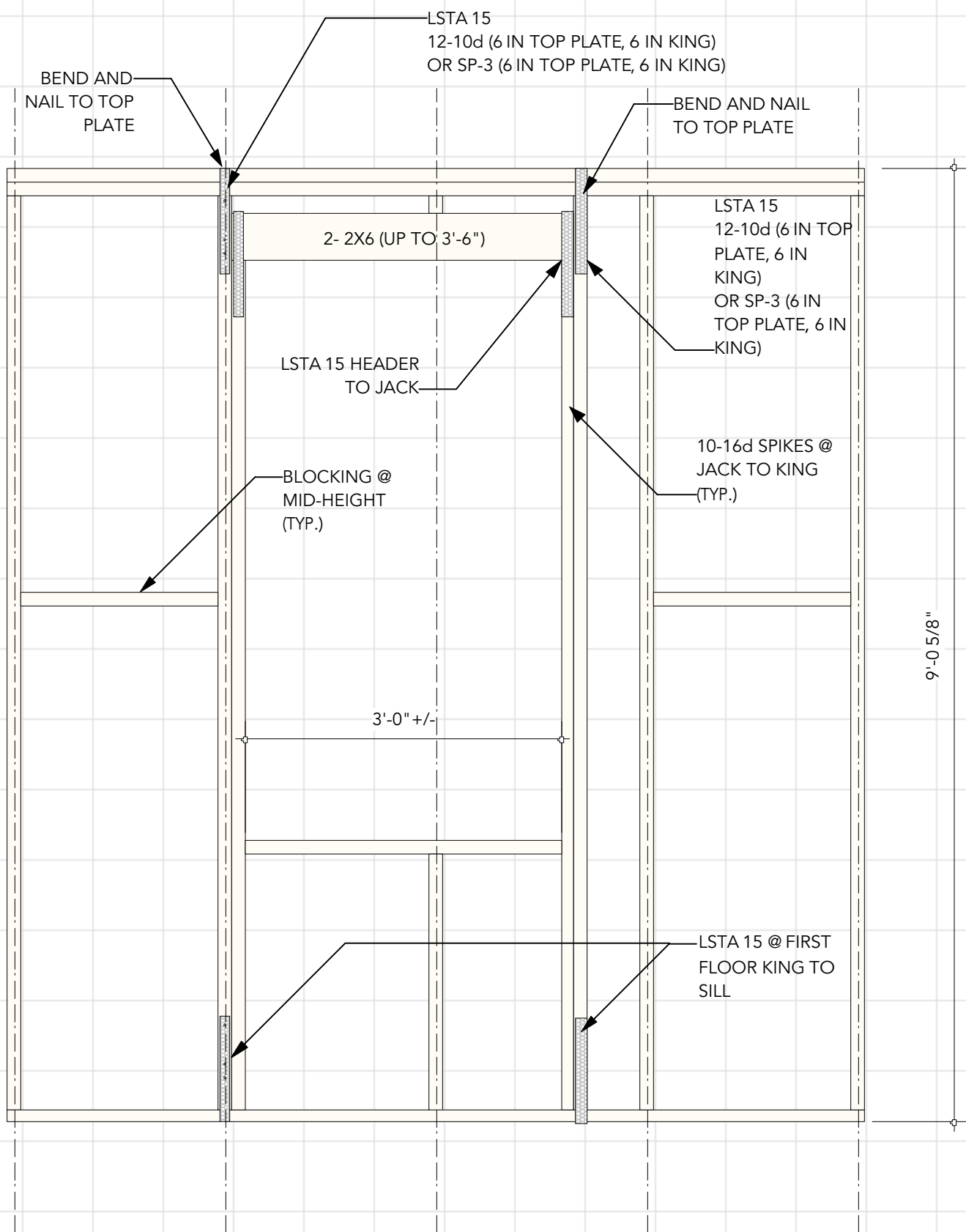
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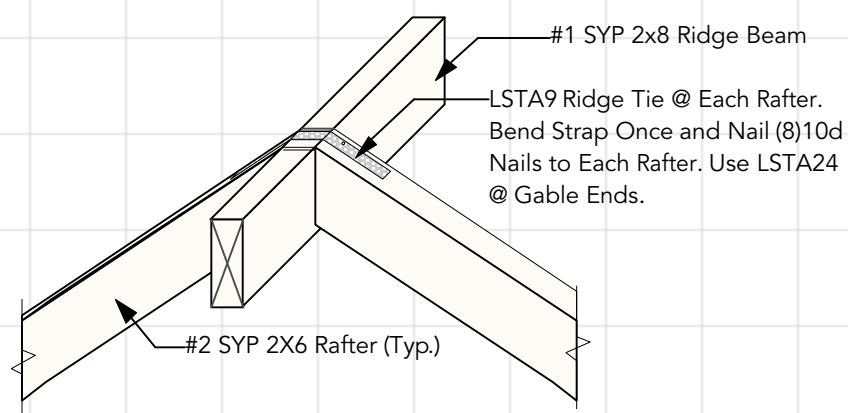


jcthibodeaux

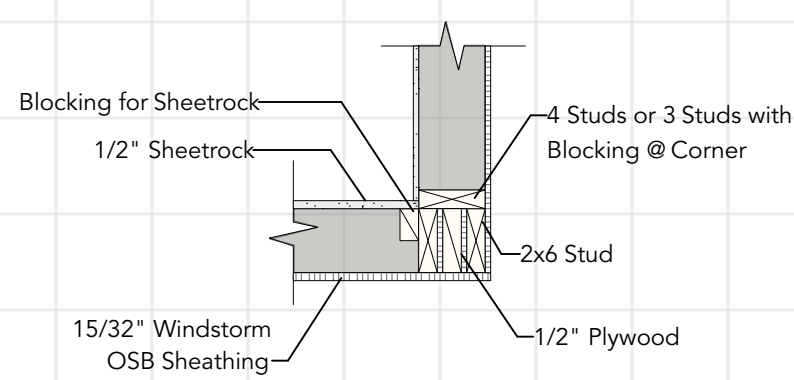
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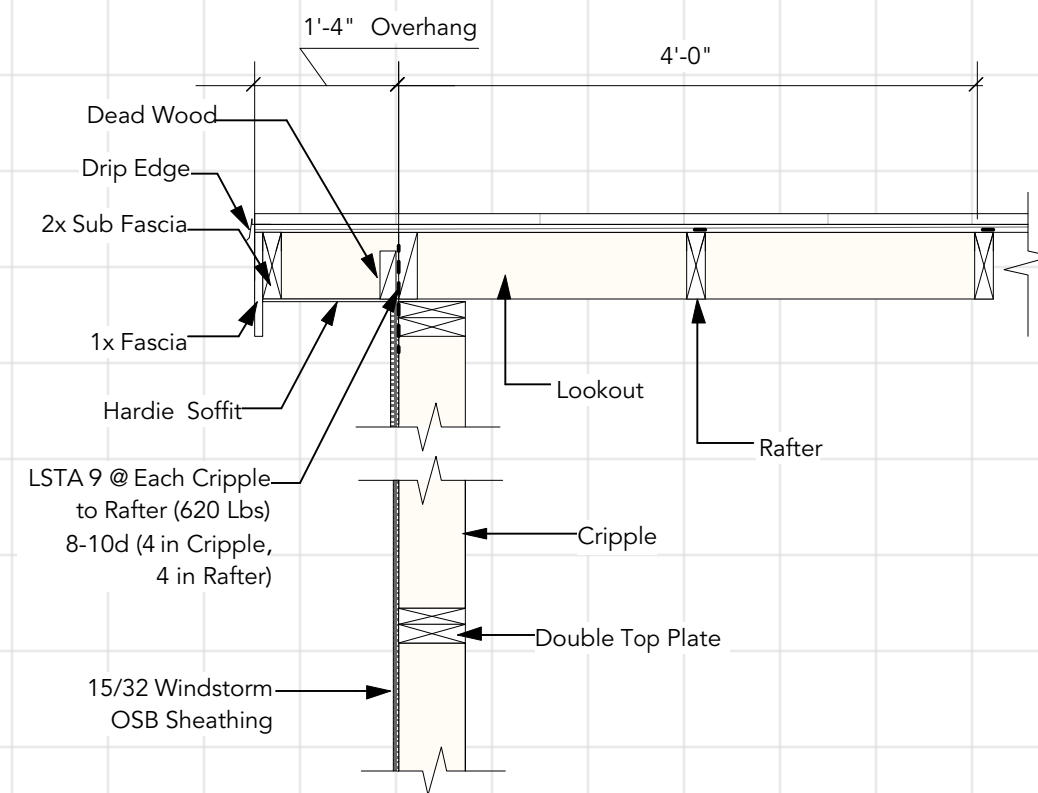
1 Framed Wall Opening and Header Detail  
3/4" = 1'-0"



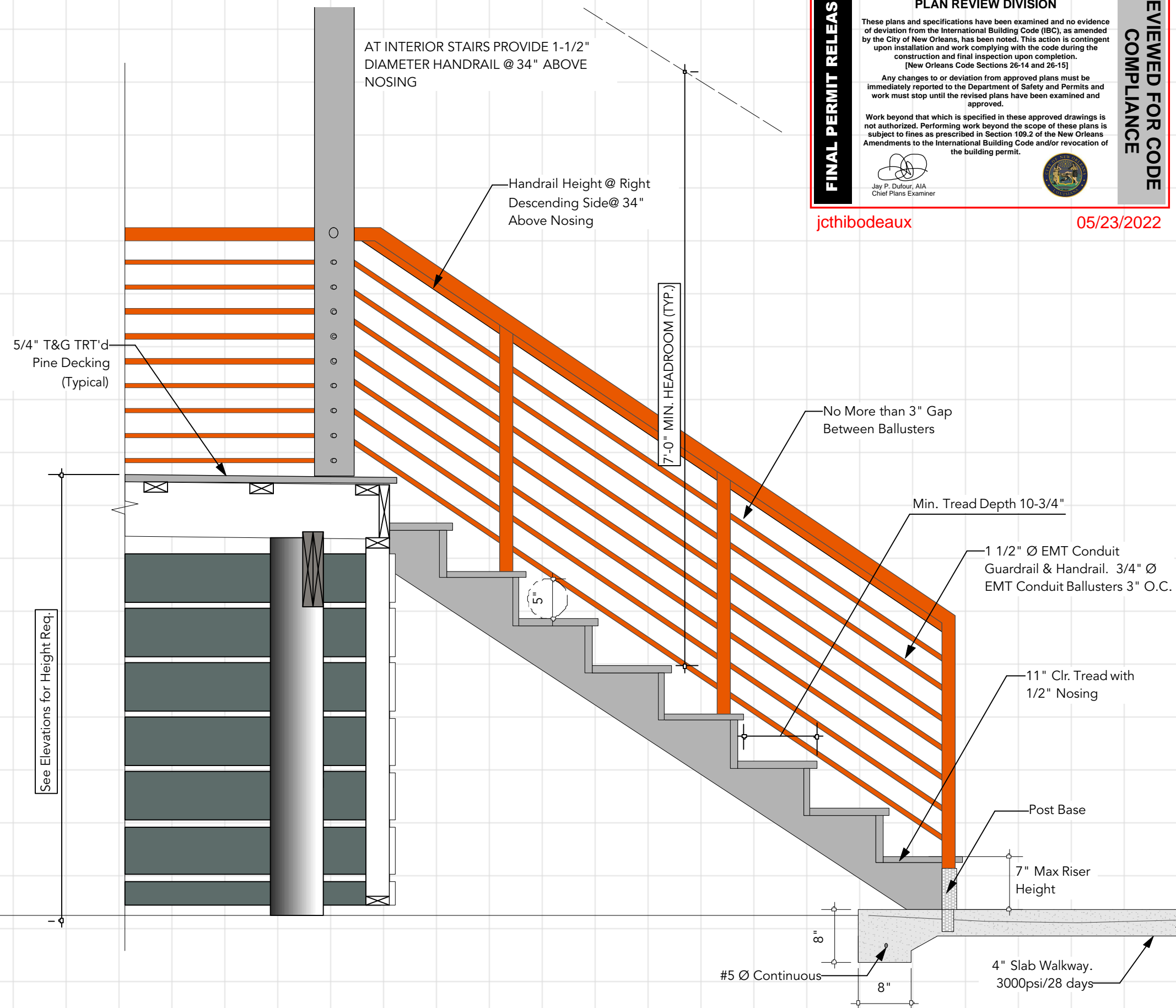
2 Ridge Tie Detail  
Not to Scale



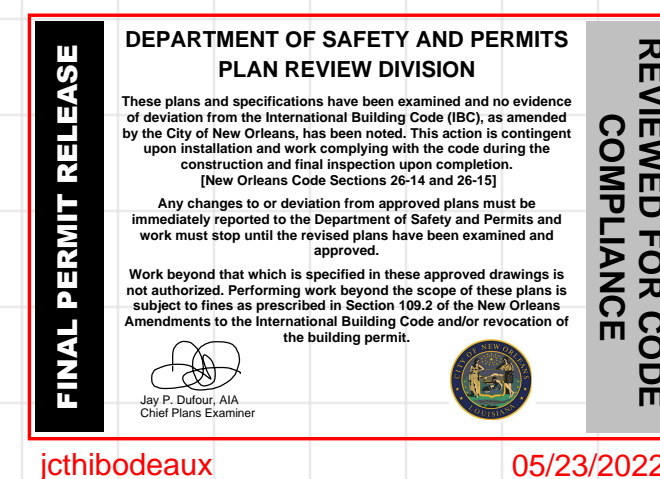
3 Corner Framing Detail  
3/4" = 1'-0"



5 Lookout Detail  
3/4" = 1'-0"



4 Typical Stair Detail  
3/4" = 1'-0"



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John L. Schackai, III Architect Reg. No. 2990



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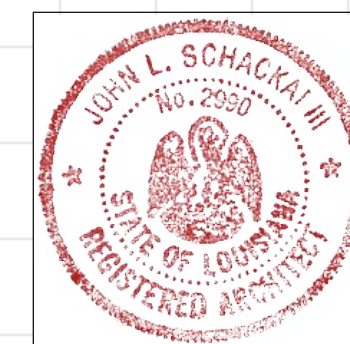
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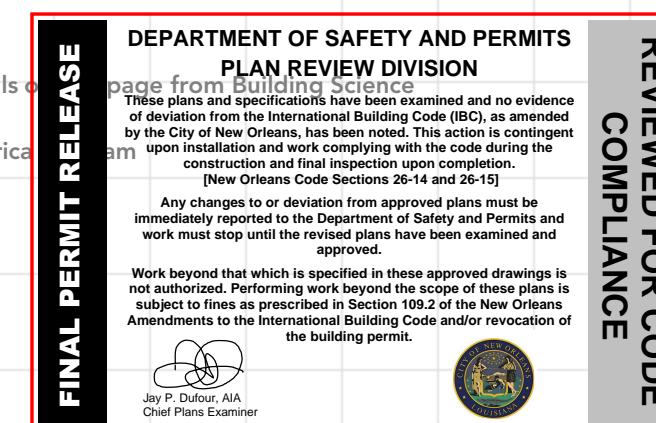
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$$3/4'' = 1' - 0''$$

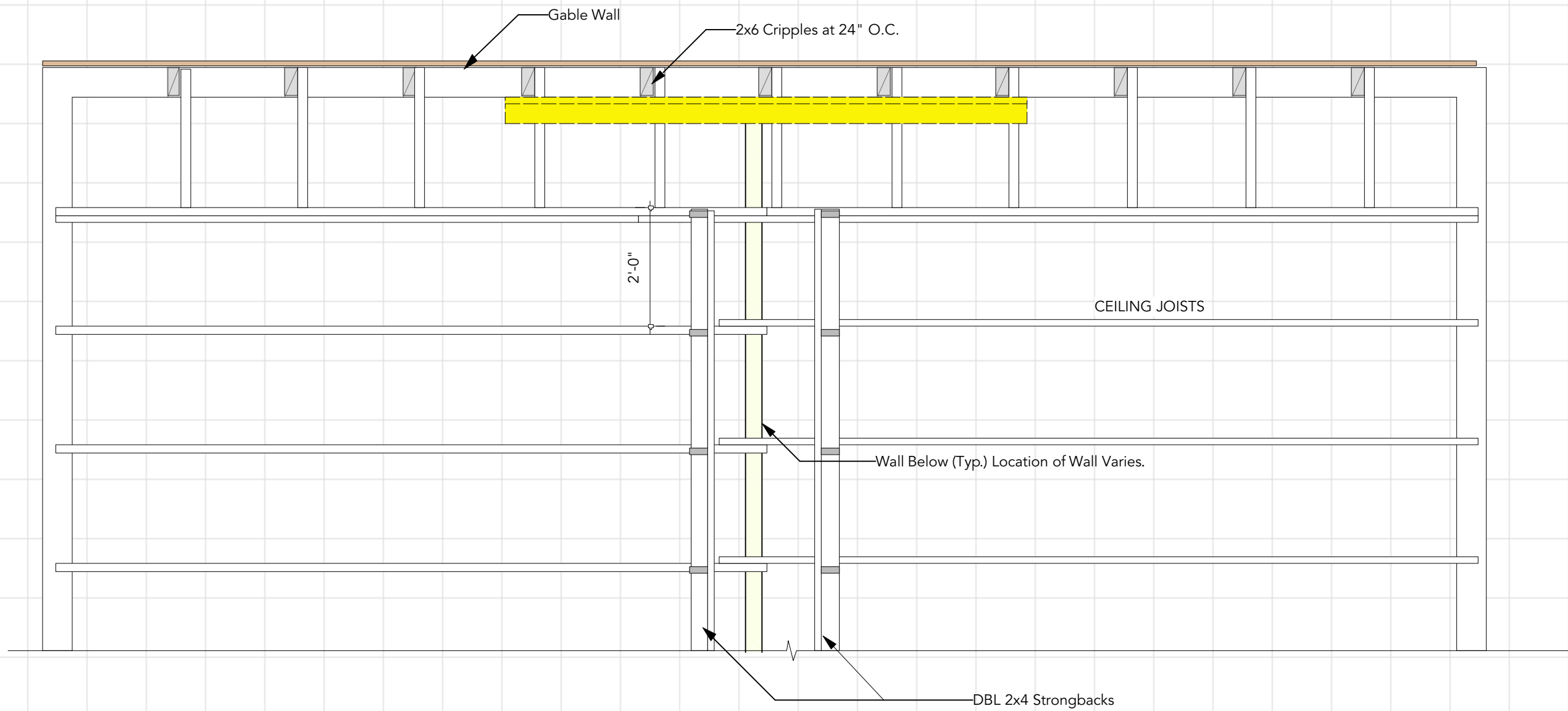
$$1/4'' = 1'-0''$$

$$1/4'' = 1' - 0''$$

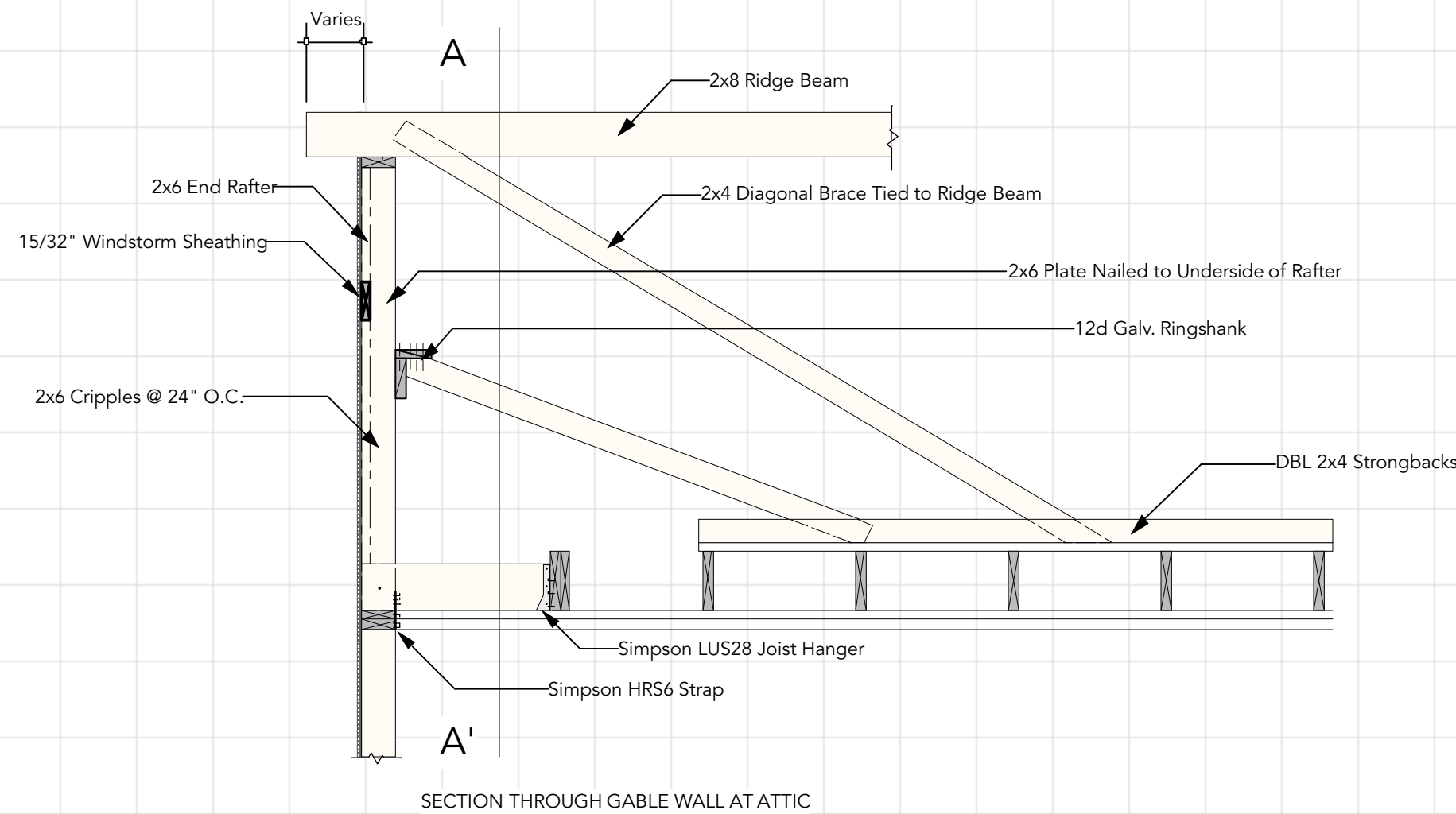

Flashing Details  
Corporation  
Building America



05/23/2022



1 Gable Plan at Attic  
1/2" = 1'-0"



2 Section Through Gable Wall at Attic  
1/2" = 1'-0"

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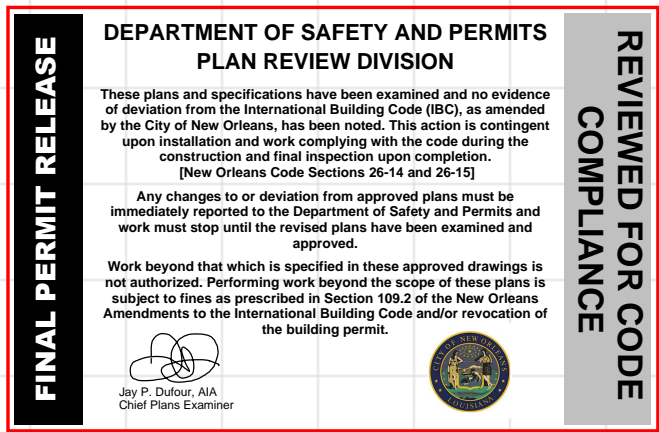
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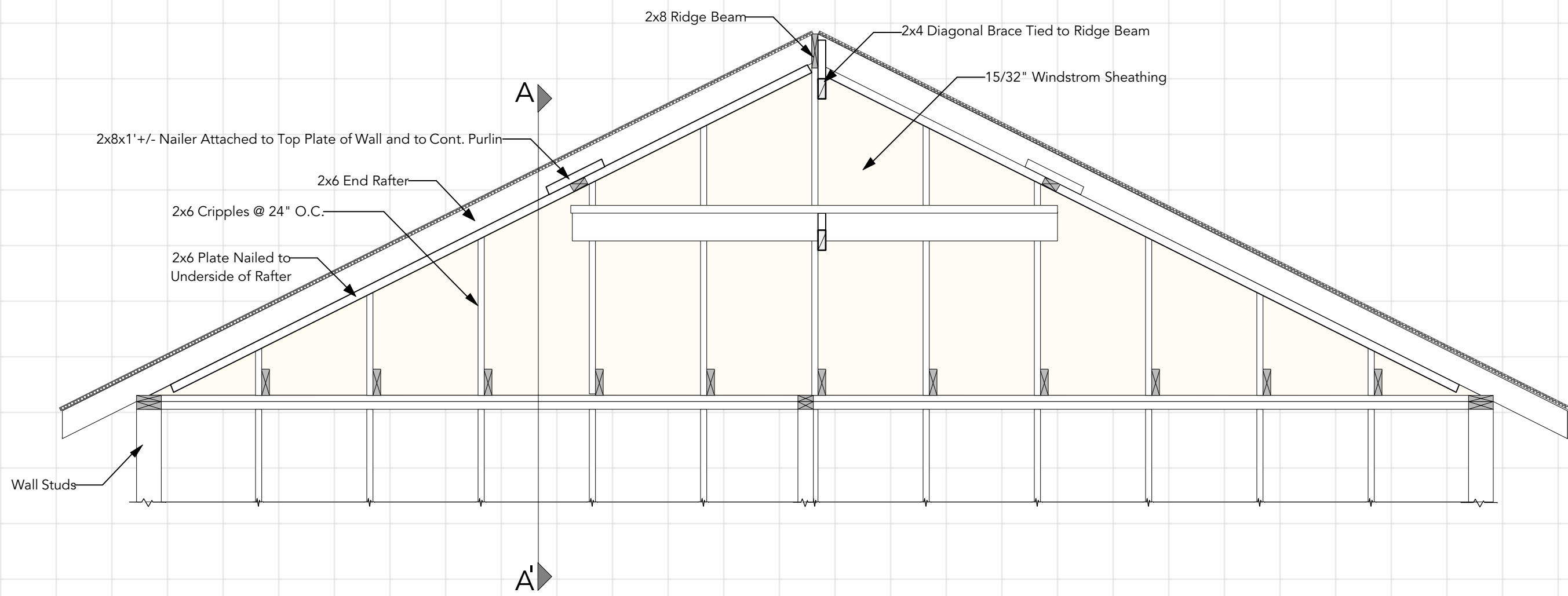
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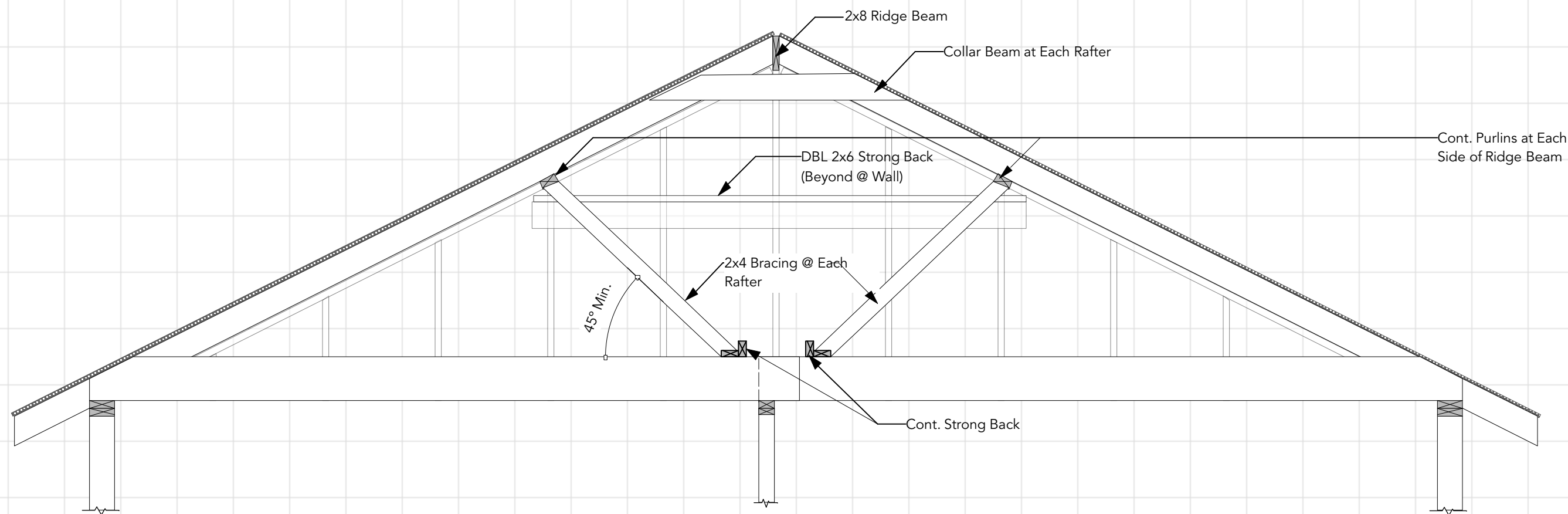
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1 Interior Elevation of Gable Wall  
1/2"=1'-0"



2 Interior Elevation of Second Rafter from Gable Wall  
1/2"=1'-0"

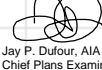
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[New Orleans Code Sections 26-14 and 26-15]

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Jay P. Dubois, AIA  
Chief Plans Examiner




REVIEWED FOR CODE COMPLIANCE

jcthibodeaux 05/23/2022

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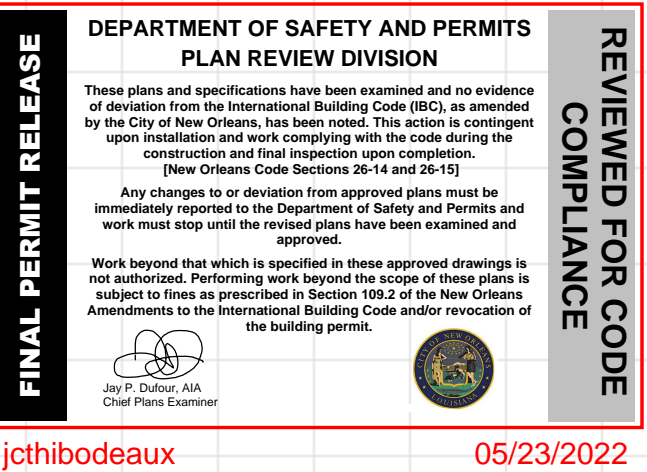
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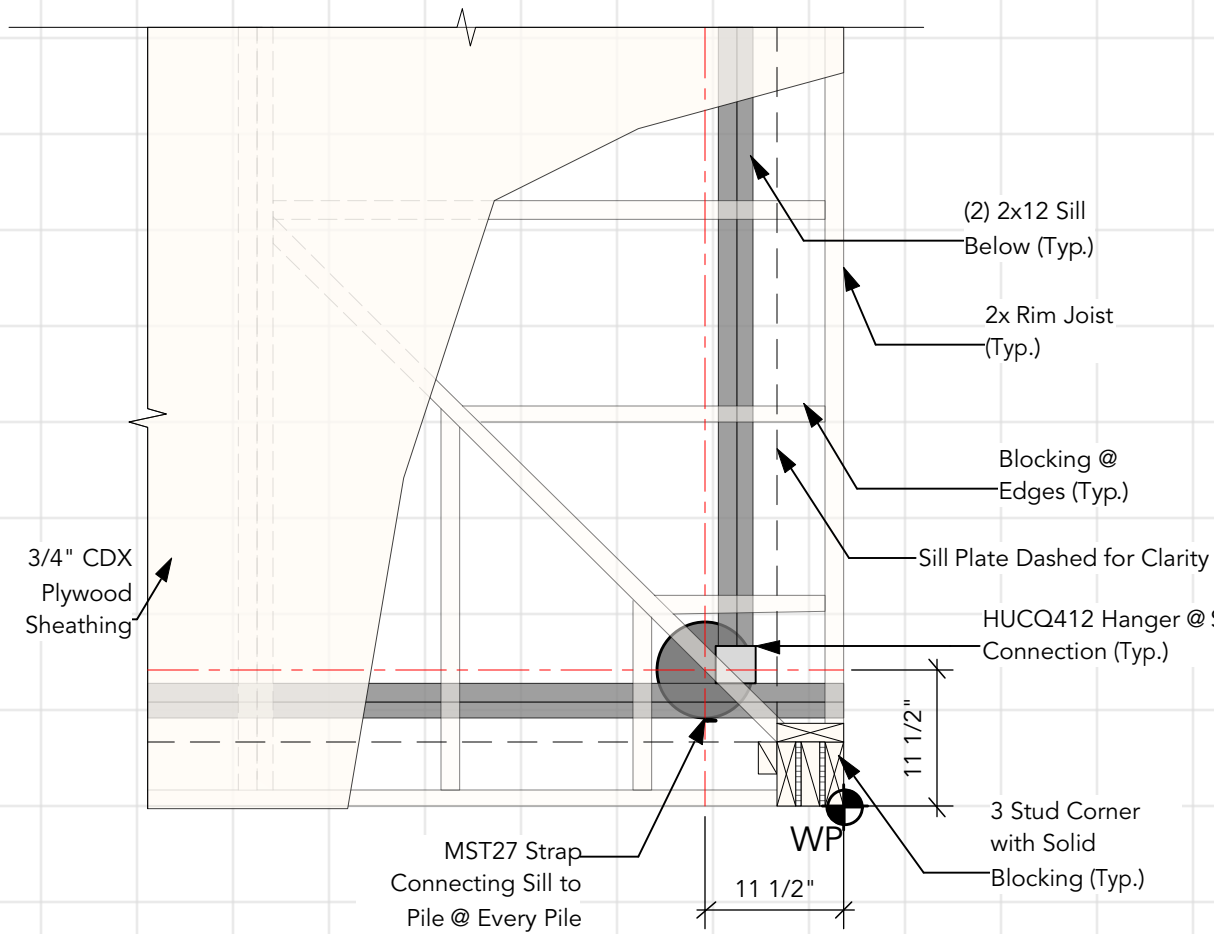
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1 Pile Plan  
1/4" = 1'-0"

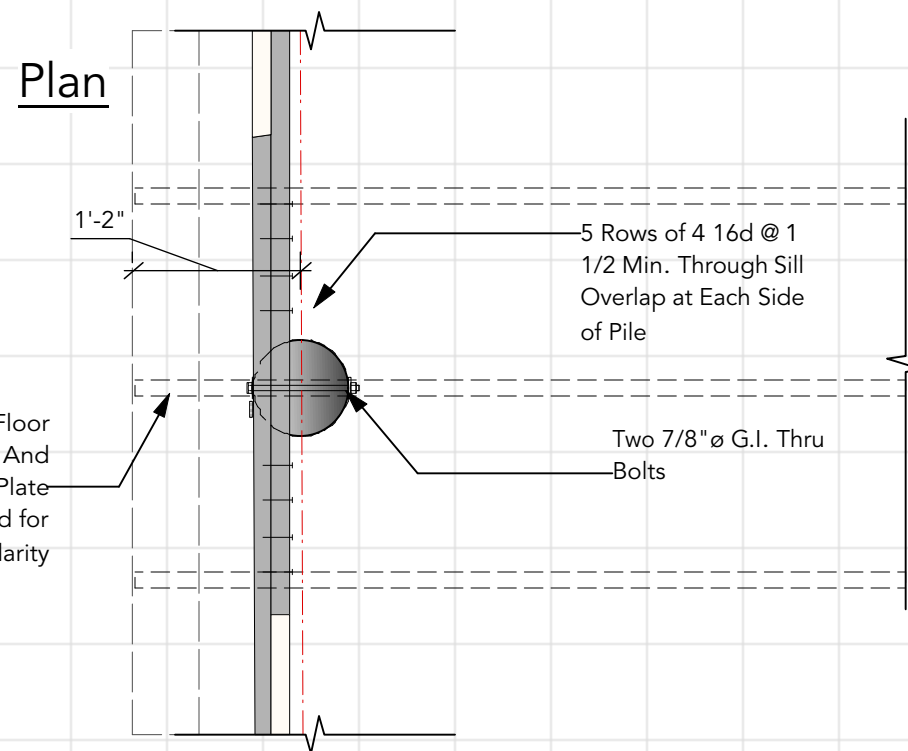
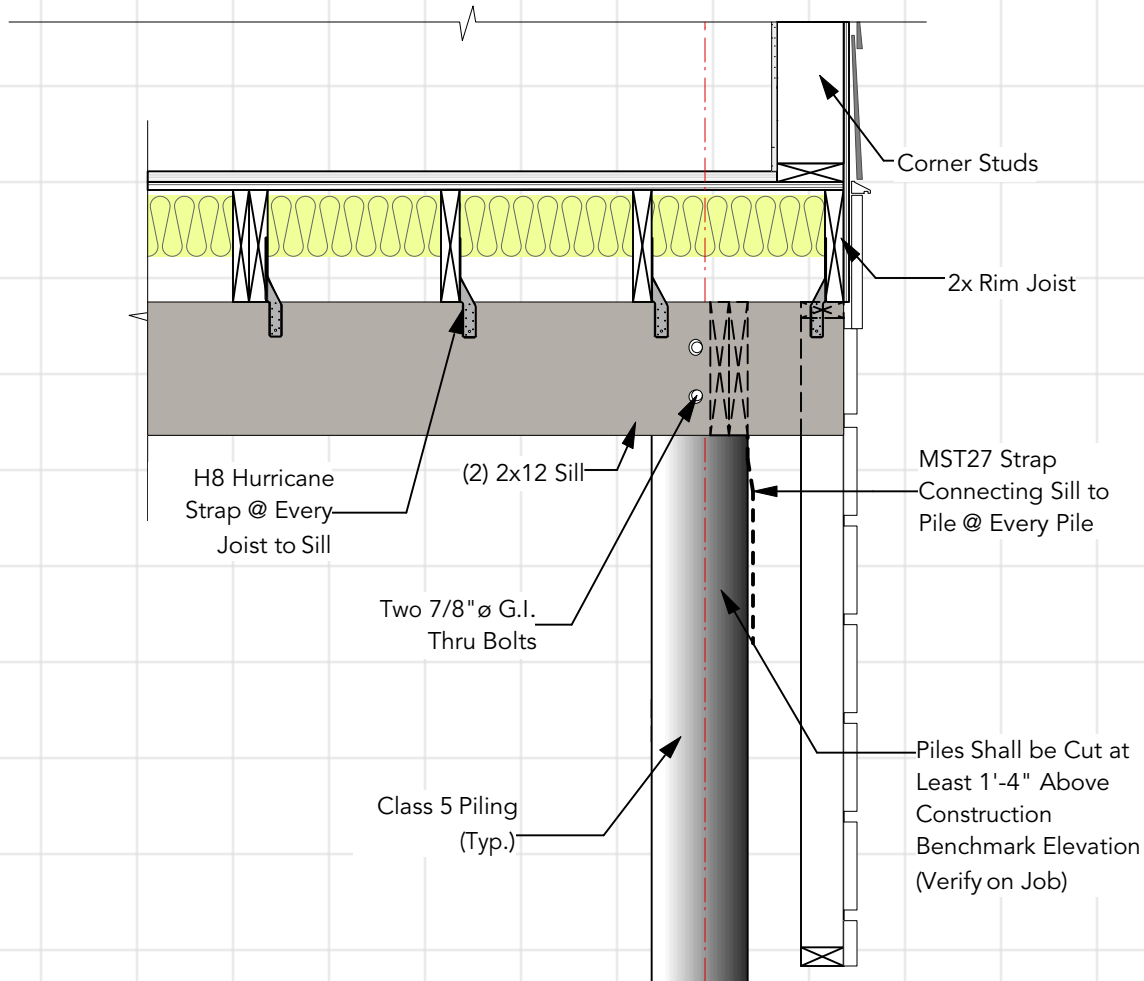
Connector Schedule				
CONNECTOR	LOCATION	DESCRIPTION	DRAWING REFERENCE	NOTES
LSTA36	Beam @ Porch to Wall	Lateral Strap Connect Porch to Wall of House	Dwg. 1 & 2 A2.4	
H8	Each Rafter to Wall Top Plates	Hurricane Strap	Dwg. 1 & 2 A5.1	
H8	Each Joist to Sill Beam	Hurricane Strap	Dwg. 1 & 2 A5.1	
H6	Porch Joist to Sill	Hurricane Strap	Dwg. 1 A6.2	
LSTA15	Double Top Plate to King Stud	Tension Strap @ Exterior Wall Openings	Dwg. 1 A6.1	
LSTA15	Jack Stud to King Stud	Tension Strap @ Exterior Wall Openings	Dwg. 1 A6.1	
LSTA15	Sill Plate to King Stud	Tension Strap @ Exterior Wall Openings	Dwg. 1 A6.1	
LSTA9	Rafter to Each Cripple @ Lookouts	Strap Ties	Dwg. 5 A6.1	
LSTA9	Ridge Beam to Rafters	Strap Ties	Dwg. 2 A6.1	
CS22	First Floor Studs to Second Floor Studs	Uplift Strap	Dwg. 6 A6.1	
LSTA9	Porch Column @ Each Cripple to Beam	Strap Ties	Dwg. 1 A6.2	(2) @ Both Interior Faces of Column
HRS6	Gable End Wall	Strap Ties	Dwg. 2 A6.3	
LUS28	Gable End Wall	Hanger	Dwg. 2 A6.3	
MSTA15	Porch Beam to Porch Column	Strap Ties	Dwg. 1 A6.2	(2) @ Both Interior Faces of Column
TS18	Porch Column to Sill	Twist Tension Strap	Dwg. 1 A6.2	(2) @ Both Interior Faces of Column
MST27	Sill to Each Pile	Strap Ties	Dwg. 2 S1.2	
U26	Ceiling Joists to Beam	Joist Hanger		
U28	Floor Joists to Beam or Rlm Joist	Joist Hanger		
HUCQ412-SDS	Sill to Sill Connections	Heavy Duty Hanger	Dwg. 2 S1.2	
HUC312-3	(3) 2x12s Sill to Sill Connections	Heavy Duty Hanger	Dwg. 1 S1.1	



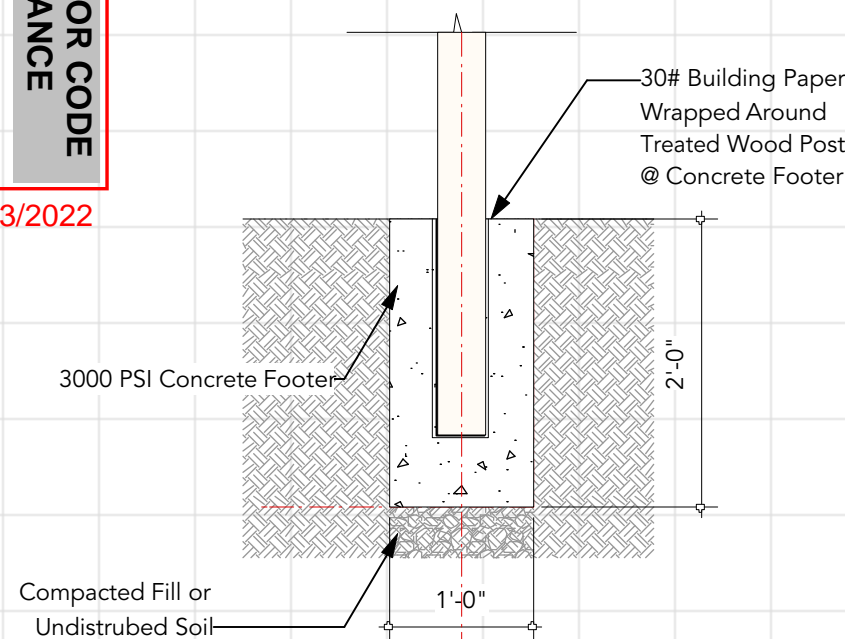
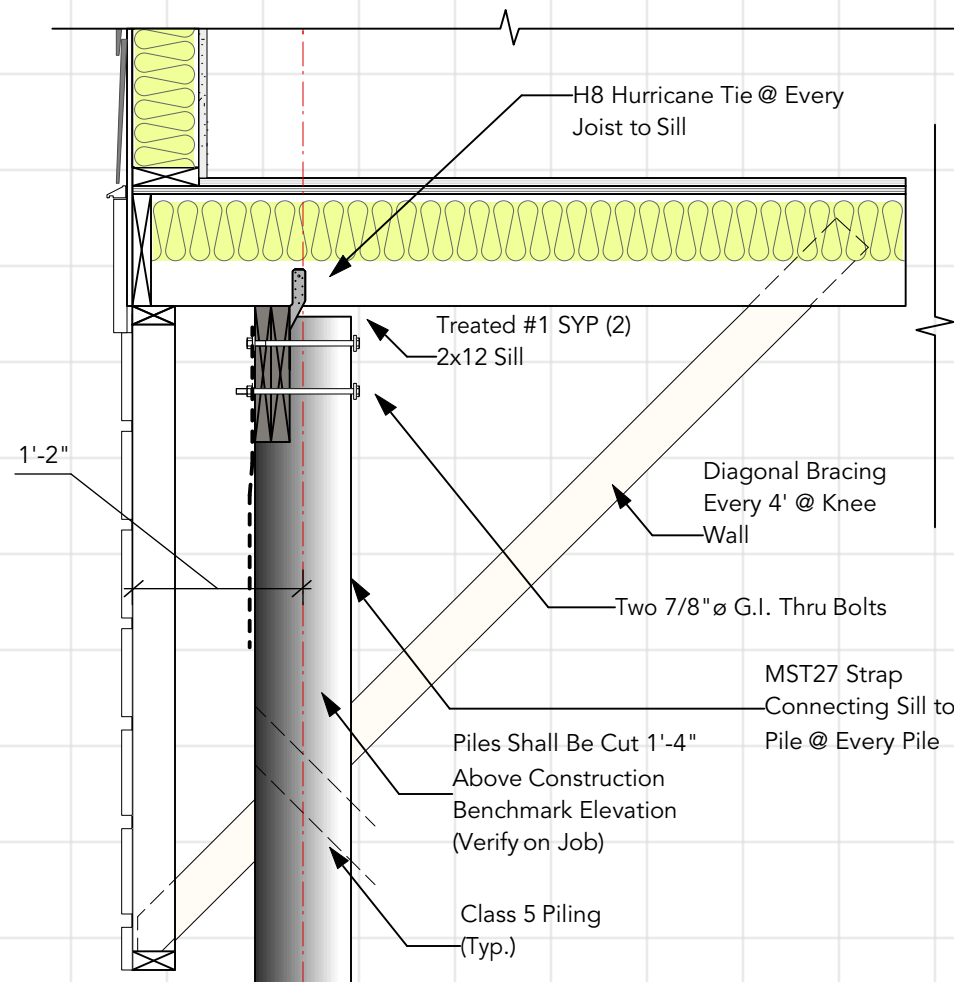




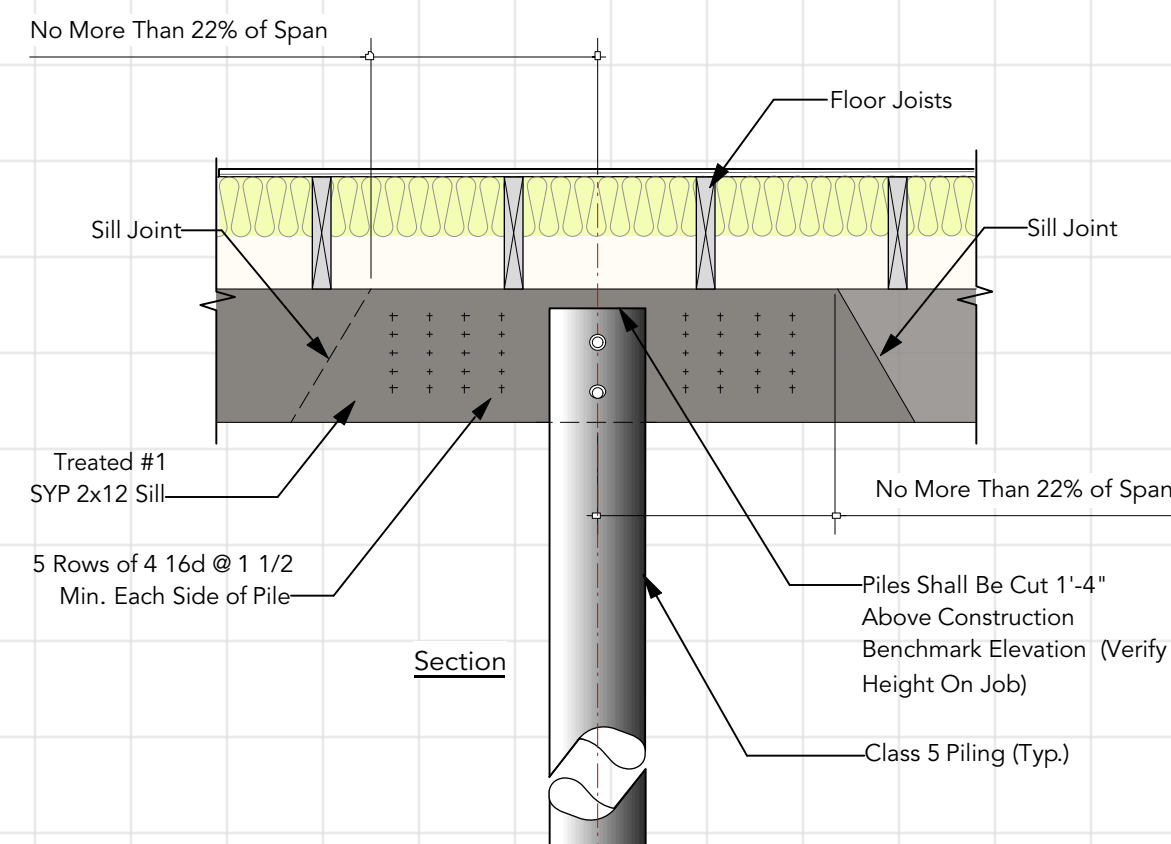
1 Strapping @ Corner Piles  
3/4" = 1'-0"



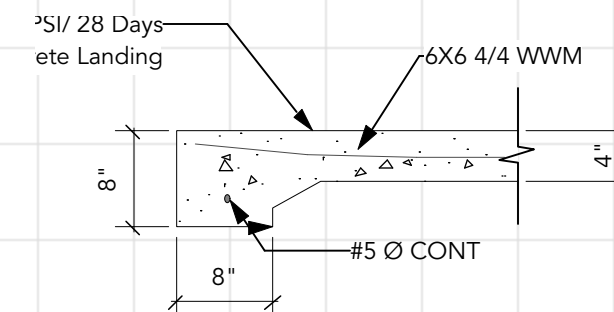
2 Typical Edge Pile and Sill Detail  
3/4" = 1'-0"



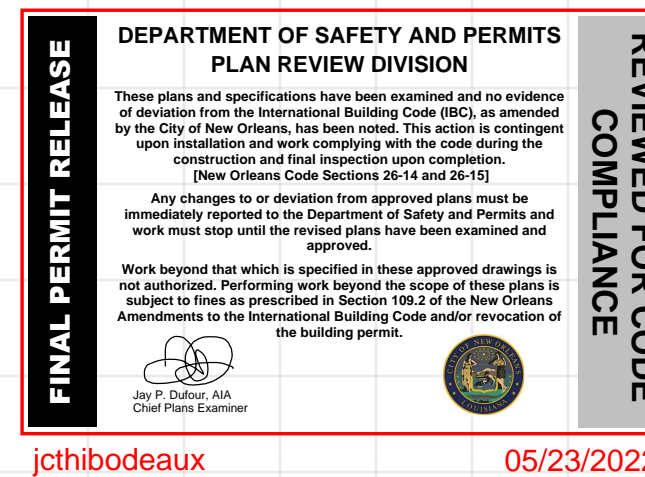
3 Newel Post Detail @ Stair  
3/4" = 1'-0"



4 Typical Sill Overlap Detail  
3/4" = 1'-0"



5 Typical Slab Detail for Stair Landing  
3/4" = 1'-0"



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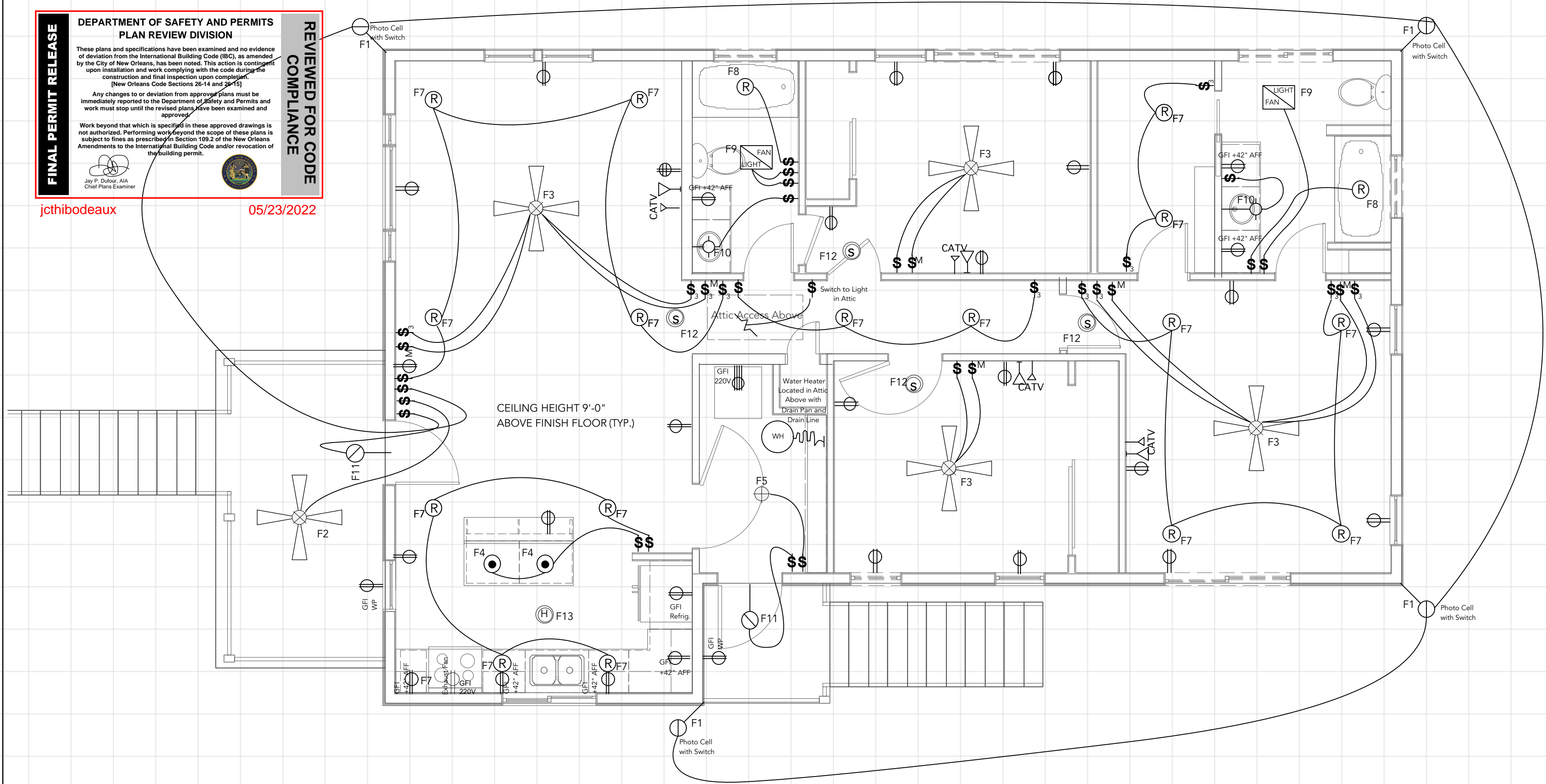
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Reviewed for Code Compliance

05/23/2022

jayhibodeaux

Jay P. Dufour, AIA  
Chief Plans Examiner



1 1st Floor Electrical Plan  
1/4" = 1'-0"

ELECTRICAL SCHEDULE		
FIXTURE TAG	FIXTURE DESCRIPTION	NUMBER OF UNITS
F1	Exterior Flood Light With Photo Cell Dark Sky Approved	4
F2	Exterior Ceiling Fan	1
F3	Interior Ceiling Fan	4
F4	Decorative Pendant Light @ Kitchen Island	2
F5	Surface Mounted Light	1
F6	Decorative Pendant	N/A
F7	Recessed 6" Light Living/ Dining/ Hall/ M. Bedroom	16
F8	Recessed 6" Light Rated for Wet Locations	2
F9	Bath Fan Light Combo	2
F10	Wall Mount Vanity Light	2
F11	Exterior Porch Sconce	2
F12	Smoke Carbon Monoxide Combo Detector	4
F13	Heat Detector	1
F14	4' Utility Light (Attic)	2

	SWITCH		CEILING MOUNTED FLUORESCENT FIXTURE
	3-WAY SWITCH		EXHAUST FAN AND LIGHT FIXTURE
	4-WAY SWITCH		CEILING FAN WITH LIGHT
	MOTOR CONTROLLER		WATER HEATER
	PHONE OUTLET		AIR CONDITIONER CONDENSER
	CABLE TV OUTLET		ELECTRICAL PANEL
	FOUR-PLEX RECEPTACLE		
	DUPLEX RECEPTACLE		
	GROUND FAULT CIRCUIT INTERRUPTOR RECEPTACLE		
	220V GROUND FAULT CIRCUIT INTERRUPTOR RECEPTACLE		
	WATER PROOF GROUND FAULT CIRCUIT INTERRUPTOR RECEPTACLE		
	SMOKE/ CARBON MONOXIDE HEAT DETECTOR		
	THERMOSTAT		
	RECESSED FIXTURE PENDANT		
	CEILING MOUNTED FIXTURE		
	WALL MOUNTED FIXTURE		

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