

LeBEAU & JONES RESIDENCE RENOVATION/ADDITION

6325 DOVER PL. NEW ORLEANS, LA 70131



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504.322.1220

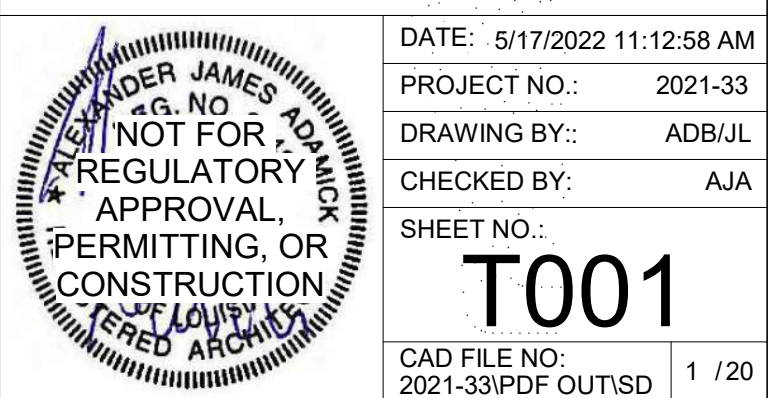
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<h2>SCOPE OF WORK</h2> <p>THE SCOPE OF WORK IS THE RENOVATION AND ADDITION TO AN EXISTING SINGLE FAMILY HOME. THE SCOPE OF WORK INCLUDES THE DEMOLITION OF EXISTING INT. & EXT. FINISHES AS REQ. FOR A NEW ADDITION. NEW ADDITION AT THE REAR OF THE HOUSE IS 313 SQ.FT. NEW FOUNDATION, FRAMING, INTERIORS FINISHES, MILLWORK, AND PAINT AS REQUIRED. NEW MECHANICAL, ELECTRICAL, AND HVAC AT THE ADDITION. RENOVATION OF THE KITCHEN. SITE WORK TO BE PROVIDED BY LANDSCAPER.</p>							
<h2>SQUARE FOOTAGES</h2> <table><thead><tr><th>EXISTING</th><th>PROPOSED</th></tr></thead><tbody><tr><td>FIRST FLOOR: 1,268 SQ.FT. FRONT PORCH: 36 SQ.FT.</td><td>FIRST FLOOR: 1,581 SQ.FT. FRONT PORCH: 36 SQ.FT.</td></tr><tr><td>TOTAL UNDER BEAM: 1,268 SQ.FT.</td><td>TOTAL UNDER BEAM: 1,581 SQ.FT.</td></tr></tbody></table>		EXISTING	PROPOSED	FIRST FLOOR: 1,268 SQ.FT. FRONT PORCH: 36 SQ.FT.	FIRST FLOOR: 1,581 SQ.FT. FRONT PORCH: 36 SQ.FT.	TOTAL UNDER BEAM: 1,268 SQ.FT.	TOTAL UNDER BEAM: 1,581 SQ.FT.
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<h2>ZONING INFORMATION</h2> <p>MUNICIPAL DISTRICT: 5 SQUARE / BLOCK: EFGH LOT: 7/012 PARISH: ORLEANS ZONING DISTRICT: S-RS SITE AREA: 10,368 SQ.FT.</p>							

17 MAY 2022	CD-PERMIT
14 MAY 2022	CD100
11 MAY 2022	CD99
29 APR. 2022	CD95
27 APR. 2022	CD90
25 APR. 2022	CD85
15 APR. 2022	CD80
14 MAR. 2022	SD-1
07 MAR. 2022	EC-1
Project: #2021-33 LeBEAU & JONES RESIDENCE RENOVATION/ADDITION ADDRESS: 6325 DOVER PL. NEW ORLEANS, LA 70131	

COVER SHEET & GENERAL PROJECT INFO



SHEET LEGEND: ARCHITECTURAL

SHEET LEGEND: INTERIOR SELECTION PLAN

Room name

101

ROOM TAG. RE: SCHEDULES

CLG: Ceiling Height

WALL TAG. RE: SCHEDULES

WINDOW TAG. RE: SCHEDULES

DOOR TAG. RE: SCHEDULES

REVISION NUMBER

Room name

101

Ceiling Finish
Wall Finish
Base Finish
Floor Finish

ROOM FINISH TAG. RE: SCHEDULES

WOOD THRESHOLD

XX-#

SELECTION TAG. RE: SELECTIONS
SCHEDULE

ABBREVIATIONS			
A/C	AIR CONDITIONING	HVAC	HEATING, VENTILATION, & A/C
A.F.F.	ABOVE FINISHED FLOOR	H.W.	HOT WATER HEATER
A.F.G.	ABOVE FINISHED GRADE	I.A.W.	IN ACCORDANCE WITH
ALT.	ALTERNATE	INSUL.	INSULATION
BDB	BEADED-BOARD	INT.	INTERIOR
BLDG.	BUILDING	MFR	MANUFACTURER
CL	CENTERLINE	MAX.	MAXIMUM
CLG	CEILING	MECH.	MECHANICAL
CLR	CLEARANCE	MIN.	MINIMUM
CMU	CONCRETE MASONRY UNIT	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CONT.	CONTINUOUS	O.C.	ON CENTER
C.J.	CONTROL JOINT	PLUMB.	PLUMBING
COORD.	COORDINATE	PT	PAINT
DECOR.	DECORATIVE	PLY.	PLYWOOD
DTL	DETAIL	PL	PROPERTY LINE
DIAM.	DIAMETER	PTL	PRESSURE TREATED WOOD
DIM.	DIMENSION	PRIM.	PRIMARY
DN	DOWN	P.V.	PHOTOVOLTAIC
D.S.	DOWNSPOUT	RE.	REFERENCE
ELEC.	ELECTRICAL	REQ.	REQUIRED
ELEV.	ELEVATION	R.D.	ROOF DRAIN
EQ	EQUAL	RM	ROOM
EQUIP.	EQUIPMENT	SCHED.	SCHEDULE
E.J.	EXPANSION JOINT	SECT.	SECTION
EXT.	EXTERIOR	SIM.	SIMILAR
E.T.R.	EXISTING TO REMAIN	SHTG.	SHEATHING
F.B.O.	FURNISHED BY OWNER	SPEC.	SPECIFIED
F.D.	FLOOR DRAIN	STRUCT.	STRUCTURAL
FLASH.	FLASHING	THK	THICK
FLR	FLOOR	T&G	TONGUE & GROOVE
FIN.	FINISH	TYP.	TYPICAL
F.F.L.	FINISHED FLOOR LEVEL	VERT.	VERTICAL
GC	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
GYP.	GYPSPUM BOARD	W/	WITH
HT.	HEIGHT	WDO	WINDOW
HOR.	HORIZONTAL	WC	WATER CLOSET
HR	HOUR		



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PROJECT GENERAL NOTES		PROJECT GENERAL NOTES (CONTINUED)		PROJECT KEYNOTES		PROJECT KEYNOTES (CONTINUED)																																																																																																																				
<div>1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW ORLEANS CITY BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.</div> <div>2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING ORLEANS PARISH AGENCIES.</div> <div>3. THIS AGREEMENT BETWEEN OWNER AND ARCHITECT DOES NOT INCLUDE CONSTRUCTION PHASE SERVICES UNLESS OTHERWISE NOTED. ACCEPTANCE OF THESE DRAWINGS BY THE OWNER SIGNIFIES THEIR AGREEMENT THAT THE OWNER SHALL BE SOLELY RESPONSIBLE FOR INTERPRETING THESE DRAWINGS AND OBSERVING THE WORK OF THE CONTRACTOR TO DISCOVER, CORRECT OR MITIGATE ERRORS, INCONSISTENCIES AND OMISSIONS, AND THAT IF THE OWNER AUTHORIZES DEVIATIONS, RECORDED OR UNRECORDED, FROM PLANS PREPARED BY THE ARCHITECT, THE OWNER SHALL NOT BRING ANY CLAIM AGAINST THE ARCHITECT AND SHALL FULLY INDEMNIFY AND HOLD THE ARCHITECT, ITS PARTNERS, ASSOCIATES AND EMPLOYEES HARMLESS FROM AND AGAINST CLAIMS, LOSSES, DAMAGES AND EXPENSES, INCLUDING BUT NOT LIMITED TO DEFENSE COSTS AND THE TIME OF THE ARCHITECT, TO THE EXTENT THAT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE ARISES OUT OF OR RESULTS IN WHOLE OR IN PART FROM SUCH DEVIATIONS, REGARDLESS OF WHETHER OR NOT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE IS CAUSED IN PART BY A PARTY INDEMNIFIED UNDER THIS PROVISION.</div> <div>4. ALL CONTRACTORS ARE RESPONSIBLE FOR NOTIFYING THE ARCHITECT / BUILDING OWNER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES PRIOR TO BIDDING THE PROJECT.</div> <div>5. CONTRACTOR SHALL ASK FOR DETAILS WHENEVER UNCERTAIN ABOUT METHODS OF INSTALLATION. LACK OF DETAILS NOT REQUESTED SHALL NOT EXCUSE IMPROPER INSTALLATION, AND CORRECTION SHALL BE MADE THE RESPONSIBILITY OF THE CONTRACTOR.</div> <div>6. THESE DRAWINGS ARE COMPLEMENTARY TO ONE ANOTHER. WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL. AND ALL PARTIES INVOLVED SHALL BECOME FAMILIAR WITH ALL SHEETS OF DRAWINGS AND SPECIFICATIONS (IF ANY) AND NOT SIMPLY THEIR OWN WORK IN ORDER TO FULLY UNDERSTAND AND DEVELOP THE CONSTRUCTION.</div> <div>7. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.</div> <div>8. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.</div> <div>9. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY REGULATORY INSPECTORS.</div> <div>10. ALL CONSTRUCTION SHALL COMPLY WITH CITY, STATE AND NATIONAL CODES AS REQUIRED.</div> <div>11. CONTRACTOR TO WARRANTEE ALL WORK FOR ONE YEAR.</div> <div>12. SITE SHALL BE LEFT NEAT DAILY, PROVIDE COMPLETE CLEAN UP ON A WEEKLY BASIS. NO TRASH STORED IN BUILDING. PROPER DISPOSAL REQUIRED.</div> <div>13. OWNER SHALL PAY FOR ALL WATER AND POWER USED TOWARD CONSTRUCTION, FROM EXISTING SOURCES.</div> <div>14. ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.</div> <div>15. ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.</div> <div>16. DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA; AND BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.</div> <div>17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA, INCLUDING AFTER HOURS.</div> <div>18. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.</div> <div>19. CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ALL CHANGES AND SHALL MARK SAME IN INK ON A SEPARATE, CLEAN SET OF THESE DRAWINGS DURING THE CONSTRUCTION, INCLUDING LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL FURNISH OWNER AND ARCHITECT EACH A COPY OF THIS RECORD BEFORE FINAL COMPLETION AND ACCEPTANCE IS RECORDED.</div> <div>20. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, MECHANICAL, ETC.).</div> <div>21. FINISH SUBMITTALS - FOR PURPOSES OF ABSOLUTE CONFIRMATION, THE CONTRACTOR SHALL SUBMIT TWO "FINISH SAMPLE SUBMITTALS" FOR ANY/ALL ITEM(S) THAT NEEDS AND/OR HAS/HAVE A CHOICE OF FINISH OR COLOR TO BE SELECTED AS WELL AS ANY/ALL ITEM(S) LISTED ON THE DRAWINGS OR SPECIFICATIONS REQUIRING THAT FINISHES BE SELECTED BY THE ARCHITECT OR OWNER. THE FIRST SAMPLE(S) WILL BE RETURNED AND SIGNED "APPROVED" INITIALED, AND DATED BY THE ARCHITECT ONLY WHEN THAT FINISH HAS BEEN APPROVED. THE OTHER SAMPLE(S) WILL BE USED AS A CONTROL SAMPLE. THE FINISH SAMPLE SUBMITTAL MUST BE SIGNED "APPROVED", INITIALED AND DATED BEFORE THAT ITEM IS CONSIDERED APPROVED BY THE ARCHITECT.</div> <div>22. THE PLUMBING, MECHANICAL, AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.</div> <div>23. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.</div> <div>24. THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.</div> <div>25. ALL DIMENSIONS ARE TO FACE OF FINISH, CENTER OF COLUMNS AND FENESTRATION, OR TO FACE OF BRICK AND EXTERIOR FACE OF EXTERIOR STUDS, UNLESS OTHERWISE NOTED ON THE DRAWINGS. WHEN DIMENSIONS ARE TO AN EXISTING WALL, COLUMN OR FENESTRATION, ALL DIMENSIONS SHALL BE FROM THE FACE OF EXISTING FINISH, UNLESS OTHERWISE NOTED ON THE DRAWINGS.</div> <div>26. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.</div> <div>27. AIR CONDITIONING WILL CONFORM TO IBC & NFPA. PROVIDE MANUAL RESET FIRESTADT (SETTING NOT TO EXCEED 136 DEGREES FAHRENHEIT) IN RETURN AIR A/C STREAMS.</div> <div>28. ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCE ARS 40-1603.</div> <div>29. ALL LIGHTING FIXTURES TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR, UNLESS NOTED IN FIXTURE SCHEDULE.</div> <div>30. ALL MATERIALS SHALL BE NEW AND U.L. APPROVED UNLESS SPECIFICALLY DESIGNATED OTHERWISE.</div> <div>31. CAULKING ON EXTERIOR SHALL BE TOP QUALITY SILICONE CAULK.</div> <div>32. PAINT GRADE TO BE SHERWIN WILLIAM EMERALD INTERIOR OR EQUIVALENT. ALL WORK TO RECEIVE THREE (3) COATS. PAINT FINISH TO BE EGG-SHELL ON WALLS AND CEILINGS AND SEMI-GLOSS ON TRIM, UNLESS OTHERWISE. SELECTED BY OWNER. COLOR AND FINISH TO BE SELECTED BY OWNER, AND VERIFIED BY CONTRACTOR PRIOR TO CONTRACT SIGNING. ALL PAINT TO BE HIGHEST QUALITY BY THE MANUFACTURER.</div> <div>33. INTERIOR WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING OF 0-75 AND A SMOKE DEVELOPMENT RATING OF 0-450.</div> <div>34. NEW 1/2" SHEETROCK LEVEL FOUR (4) FINISH FOR ALL WALLS & 5/8" SHEETROCK LEVEL FOUR (4) FOR CEILING UNLESS SPECIFIED OTHERWISE. CONTRACTOR TO VERIFY EXISTING AND PROPOSED FINISHES OF SHEETROCK SURFACES AND ASCERTAIN WITH OWNER WHETHER TO MATCH EXISTING OR UPGRADE FINISH, AND TO INCLUDE IN ORIGINAL BID AS REQUIRED.</div> <div>35. ALL NEW AND RENOVATED BATHROOMS TO RECIEVE 1/2" LEVEL FOUR (4) MOISTURE RESISTANT SHEETROCK INSTALLED THROUGHT THE BATHROOM.</div> <div>36. ALL BATT INSULATION SHALL HAVE CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE. MINIMUM R VALUES TO BE R-13 IN 2X4 STUD WALLS AND R-19 IN 2X6 STUD WALLS, R-13 IN FLOORS, AND R-30 IN CEILINGS.</div> <div>37. USE 6 INCH STUDS AT PLUMBING WALLS. PROVIDE METAL "SHOES" IN FRAMING TO PROTECT PLUMBING AND ELECTRICAL.</div> <div>38. PROVIDE A GALVANIZED METAL PAN WITH DRAIN AT A/C EVAPORATOR LOCATIONS AND PVC PAN BENEATH WASHING MACHINES LOCATED ABOVE FIRST FLOOR. CONTRACTOR TO VERIFY LOCATION OF A/C DRIP PAN DRAIN PIPE.</div> <div>39. PROVIDE A TOP QUALITY INSULATING BLANKET FOR ALL NEW WATER HEATERS. TANKLESS WATER HEATERS SHALL NOT REQUIRED A BLANKET.</div> <div>40. ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" WIDE SHEET OF PLYWOOD SHEATHING SHALL BE PROVIDED EVERY 20 FEET OF WALL LENGTH.</div> <div>41. INSTALL 2X BLOCKING AT MID-SPAN WITHIN ALL NEW WALLS THAT HAVE CEILING HEIGHTS GREATER THAN 8'-0".</div> <div>42. PROVIDE (2) 2X10 HEADERS FOR ALL NEW OPENINGS BETWEEN 3'-0" AND 5'-0" WIDE. PROVIDE (2) 2X8 HEADERS TO ALL NEW OPENINGS LESS THAN 3'-0" WIDE.</div> <div>43. ALL NEW WOOD FRAMING AND FASTENERS SHALL COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUJAL 99WCM) BY THE AMERICAN FOREST AND PAPER ASSOCIATION.</div> <div>44. ALL NEW FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE, S4S, NO. 2 OR BETTER, 15% MAXIMUM MOISTURE CONTENT.</div> <div>45. NEW PLYWOOD SUB-FLOORING SHALL BE 3/4 TONGUE AND GROOVE, APA RATED 48/24, NAILED AND GLUED TO FLOOR JOIST WITH 8D NAILS. NAIL SPACING SHALL BE 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS.</div> <div>46. TREATED WOOD:<div>A. ALL NEW WOOD THAT COME INTO CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. ALL EXPOSED EXTERIOR WOOR SHALL BE TREATED TO THE FOLLOWING SPECIFICATIONS.<div>a. .25 TREATED WOOD NOT IN CONTACT WITH THE GROUND.</div><div>b. .40 TREATED WOOD IN CONTACT WITH THE GROUND & MASONRY.</div><div>c. .80 TREATED WOOD IN CONTACT WITH WATER.</div></div></div> <div>47. PAINTED EXTERIOR WOOD: SHALL BE TREATED AND FULLY AIR DRIED BEFORE BACK, END AND EDGE PRIMING AND TWO (2) COATS OF PREMIUM GRADE EXTERIOR PAINT.</div> <div>48. NATURAL EXTERIOR WOOD: SHALL BE FULLY CURED, SELECTED FOR STRAIGHTNESS AND QUALITY, MOSTLY FREE OF CHECKS, KNOTS, AND SPLITS AND TREATED WITH PREMIUM DECK SEALER.</div>		<div>49. GUARDRAILS: GUARDS SHALL BE AT LEAST 36 INCHES HIGH MEASURED VERTICALLY TO THE TOP OF THE GUARD FROM THE SURFACE ADJACENT THERETO. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER SHALL NOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL, AT THE OPEN SIDE OF A STAIR SHALL BE OF SUCH SIZE THAT A SPHERE 6 INCHES IN DIAMETER SHALL NOT PASS THROUGH THE TRIANGULAR OPENINGS. GUARDS SHALL BE REQUIRED IN ALL AREAS MORE THAN 30 INCHES OR 4 RISERS ABOVE THE FLOOR OR THE GRADE BELOW.</div> <div>50. AS PER NFPA 101 - 2015 EDITION, SECTION 7.2.2.4 HANDRAILS ON STAIRS SHALL BE AT LEAST 34" INCHES AND NOT MORE THAN 38" INCHES ABOVE THE SURFACE OF THE TREAD, MEASURED VERTICALLY TO THE TOP OF THE RAIL FROM THE LEADING EDGE OF THE TREAD. NEW HANDRAILS SHALL PROVIDE A CLEARANCE OF AT LEAST 2-1/4 INCHES BETWEEN THE HANDRAIL AND THE WALL TO WHICH IT IS FASTENED. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF AT LEAST 1-1/2" INCHES AND NOT MORE THAN 2" INCHES. NEW HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE ALONG THE ENTIRE LENGTH. NEW HANDRAIL ENDS SHALL BE RETURNED TO THE WALL OR FLOOR OR TERMINATE AT NEWEL POSTS. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRS. SPIRAL STAIRS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS SHALL BE REQUIRED ON STAIRS WITH AN ELEVATION DIFFERENCE GREATER THAN 21" INCHES.</div> <div>51. TREADS SHALL BE OF UNIFORM DEPTH AND RISER OF UNIFORM HEIGHT IN ANY STAIRWAY BETWEEN TWO FLOORS. THERE SHALL BE NO VARIATION EXCEEDING 3/16" INCH IN THE DEPTH OF ADJACENT TREADS OR IN THE HEIGHT OF ADJACENT RISERS AND TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER OR BETWEEN THE LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 3/8" INCHES IN ANY FLIGHT. TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE.</div> <div>52. ALL WINDOWS ON FRONT FACADE SHALL BE WOOD UNLESS OTHERWISE NOTED IN THE WINDOW SCHEDULE.</div> <div>53. ALL WINDOW UNIT SIZES ARE GIVEN IN ACTUAL FRAME SIZE. CONTRACTOR TO VERIFY ROUGH-OPENING AND INSTALLATION REQUIREMENTS WITH MANUFACTURER.</div> <div>54. ALL NEW GLASS OPENINGS SHALL BE PROTECTED AGAINST WINDBORNE DEBRIS WITH ONE OF THE FOLLOWING OPTIONS: A. WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16 INCH AND A MAXIMUM SPAN OF 8 FEET. PANELS SHALL BE PREGLUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING: (1) SPAN LESS THAN OR EQUAL TO 6 FEET: 2 1/2" #8 WOOD SCREWS @ 16" O.C. (2) FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL. (3) WHERE SCREWS ARE ATTACHED TO MASONRY OR MASONRY/STUCCO, THEY SHALL BE ATTACHED UTILIZING VIBRATION RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 490 LBS. B. IMPACT RESISTANT GLASS PER ASTM E 1986 OR ASTM E 1996 OR APPROVED TEST METHODS FOR PERFORMANCE CRITERIA. C. SHUTTERS CERTIFIED PER THE FOLLOWING TESTS: UNIFORM STATIC AIR PRESSURE - TAS 202, ASTM E330; LARGE MISSILE IMPACTS - TAS 201, ASTM E1996, CYCLIC WIND PRESSURE LOADING - TAS 203, ASTM E1886.</div> <div>55. NEW WINDOWS INSTALLED IN STAIR LANDING AREAS WITHIN FIVE FEET OF THE LANDING FLOOR SHALL BE SAFETY GLAZED PER R308.4 OF THE IRC 2015.</div> <div>56. NEW WINDOWS INSTALLED IN BATHROOM ENCLOSURES THAT MEASURE LESS THAN 60" FROM THE FLOOR SHALL BE SAFETY GLAZED IN ACCORDANCE WITH SECTION R308.4 OF THE IRC 2015.</div> <div>57. THE CONTRACTOR SHALL GRADE THE SITE AS REQUIRED TO ENSURE PROPER RAIN WATER DRAINAGE AND RUNOFF. NO PART OF THE SITE SHALL BE ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES, NOR SHALL RUNOFF BE ALLOWED TO ACCUMULATE NEXT TO THE EXISTING OR PROPOSED STRUCTURE.</div> <div>58. ALL DOWNSPOUTS TO TERMINATE AT SUB-SURFACE DRAINAGE, PAVING OR SPLASH BLOCKS AS REQUIRED.</div> <div>59. SITE FLATWORK (WALKS, DRIVES, ETC.) TO BE 3,000 P.S.I. CONCRETE, 4" TO 6" THICK, WITH 6/8 WELDED WIRE MESH OR AS PER ENGINEER'S DRAWINGS / SPECIFICATIONS.</div> <div>60. THE ARCHITECT AND ARCHITECTS CONSULTANTS SHALL HAVE NO RESOPNABILITY OR LIABILITY REGARDING THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.</div> <div>61. WHERE FLOOR / CEILING ASSEMBLIES OR COMMON WALL ASSEMBLIES ARE REQUIRED TO HAVE A FIRE RESISTANT RATING, ELECTRICAL FIXTURES, DUCTWORK, AND PLUMBING SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANT RATING IS NOT REDUCED.</div> <div>62. ALL BATHROOMS TO BE MECHANICALLY VENTED USING AN EXHASUT FANAS REQUIRED BY THE IRC 2015.</div> <div>63. ALL EXTERIOR DOORS SHALL BE SOLID WOOD DOORS, UNLESS OTHERWISE NOTED IN THE DOOR SCHEDULE.</div>	<div>KEYNOTES - PROJECT</div> <table><tr><th>Key Value</th><th>Keynote Text</th></tr><tr><td>D-01</td><td>HATCH INDICATES AREA OF DEMO, TYP.: PROVIDE SHORING WHERE REQ.</td></tr><tr><td>D-02</td><td>REMOVE EXIST. WINDOW AT THIS LOCATION; RETAIN EXIST. ASSEMBLY FOR INSTALLATION AT NEW LOCATION, TAG INDICATES LOCATION OF REUSE ON SHEET A101. PREPARE OPENING FOR INFILL.</td></tr><tr><td>D-02.1</td><td>REMOVE EXIST. DOOR AT THIS LOCATION; RETAIN EXIST. ASSEMBLY FOR INSTALLATION AT NEW LOCATION, TAG INDICATES LOCATION OF REUSE ON SHEET A101. 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N-29	NEW HARDIEPLANK LAPSIDING W/ SMOOTH FINISH AND 5 1/2" EXPOSURE. TRIM & CORNERBOARDS TO BE 5 1/2" HARDIETRIM.																																																																																																																									
N-30	NEW FOUNDATION (W/ SKIRT BOARDING, RE. DTL X/A501); RE. STRUC.																																																																																																																									
N-31	REPAIR EXIST. PIERS W/ LIME RICH MORTAR RECIEPE, TYP.																																																																																																																									
N-32	R-13 CLOSED CELL INSUL. AT FLOOR JOIST, TYP.																																																																																																																									
N-33	R-13 BATT INSULATION MIN. AT EXT. WALLS, TYP.																																																																																																																									
N-34	R-30 BATT INSULATION AT CLG, TYP.																																																																																																																									
N-35	NEW 2X FLOOR, WALL, & CLG. FRAMING, TYP.; RE. STRUC.																																																																																																																									
N-36	NEW RATED SOFFIT / OVERHANG AT THIS LOCATION; RE. DTL 2/501																																																																																																																									
N-37	EXIST. LOCATION OF GAS METER; PLUMBER TO COORD. INSTALL W/ ENTERGY AS REQ.																																																																																																																									
N-38	PROPOSED LOCATION OF ELECTRICAL METER; ELECTRICIAN TO COORD. INSTALL W/ (REVIEW EXISTING METER IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL) ENTERGY AS REQ.																																																																																																																									
N-39	PROPOSED LOCATION OF ELECTRICAL PANEL. ELECTRICIAN TO COORD. LOCATION W/ OWNER.																																																																																																																									
N-40	EXIST. LOCATION OF TANKLESS GAS W H.; PLUMBER TO SIZE & PROVIDE DEDICATED GAS LINE. REINSTALL AS REQ. FOR PROPER FUNCTION.																																																																																																																									
N-41	EXIST. LOCATION OF 16 SEER A/C CONDENSER ON PTL WOOD PLATFORM 3'-0" A.F.G.; PROVIDE REQ. CLEARANCES I.A.W. CODE. GC. TO VERIFY EXIST. HVAC SYSTEM IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL AND PROVIDE NEW DUCTING AS REQ. AT ADDITION.																																																																																																																									
N-42	GC & ELECTRICIAN TO COORD. EXACT HEIGHT & PLACEMENT OF FIXTURE W/ OWNER.																																																																																																																									
Key Value	Keynote Text																																																																																																																									

① 6325 DOVER ST. SURVEY
1/2" = 1'-0"

6325 DOVER ST. ELEVATION
 CERTIFICATE
 1/2" = 1'-0"

3 SITE PLAN
1/8" = 1'-0"

GENERAL SITE PLAN NOTES

1. ALL DIMENSIONS ARE "FINISH TO FINISH," UNLESS NOTED OTHERWISE.
2. CONTRACTOR RESPONSIBLE FOR LOCATING AND COORDINATING ALL NEW FOUNDATIONS, PILES, GRADE BEAMS ETC. WITH SURVEYOR PRIOR TO PROCEEDING WITH CONSTRUCTION OF THE BUILDING.
3. CONTRACTOR IS RESPONSIBLE FOR PROVIDING NEW GRADING, SOD, HARDCAPING, AND GRAVEL WITH A WEED BARRIER AS INDICATED ON THE SITE PLAN.
4. ALL NEW AC CONDENSERS REQUIRED TO BE 3'-0" ABOVE GRADE, 3'-0" AWAY FROM ALL SIDEREAD LOT LINES, 5'-0" FROM REAR LOT LINE, AND 6'-0" FROM ALL ROOF EDGES. HVAC INSTALLER TO SIZE MACHINE ACCORDINGLY AND PROVIDE ADEQUATE SERVICE AND CLEARANCE SPACE AROUND THE MACHINE.

SITE PLAN : PROPERTY INFORMATION

ADDRESS :	6325 DOVER PL.
CITY / PARISH :	NEW ORLEANS / ORLEANS
ZIP CODE :	70131
SQUARE / BLOCK :	EFGH
LOT :	7/012
ZONING DISTRICT:	S-RS
USE :	SINGLE-FAMILY DWELLING
HISTORIC DISTRICT:	N/A

SITE PLAN : ZONING DATA

	REQUIRED	EXIST / PROP.
LOT AREA (SQ.FT.) :	6,000 SQ.FT.	10,368 SQ.FT. *
LOT WIDTH :	50'-0"	81'-0" *
LOT DEPTH :	100'-0"	127'-6 1/4" *
BLDG. HEIGHT :	35'-0"	+/- 14'-3 1/8" *
PERM. OPEN SPACE:	40%	75%
MIN. OPEN SPACE :	N.V	N.V
MAX. IMPERV. FRONT YARD:	40% LOT SQ.	23%
FRONT SETBACK :	20'-0"	34'-1" *
SIDE SETBACK :	3'-0"	+/- 24'-3 1/4" * +/- 19'-6" *
REAR SETBACK :	20% OF LOT DEPTH OR 20'-0"	50'-11 1/2"

* = EXISTING TO REMAIN

SHEET - KEYNOTES	
Key Value	Keynote Text
D-06	RETAIN EXIST. ELEMENT; PROVIDE PROTECTION THROUGHOUT CONSTRUCTION.
D-08	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.
D-09	EXIST. FLATWALK / WALKWAY TO REMAIN; CLEAN AND REPAIR AS REQ.
D-10	NOT USED.
D-11	EXIST. LANDSCAPING / FOLIAGE TO REMAIN AT THIS LOCATION; PROVIDE PROTECTION DURING CONSTRUCTION.
N-01	NEW ALUMINUM BAKED 5 1/2" K-STYLE GUTTERS EXIST. CONNECTED TO 3 1/2" REC. D.S. BELOW, TYP.
N-02	NEW ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RE. STRUC. FOR SHEATHING SIZE.
N-03	NEW ROOF RIDGE VENT; RE. STRUC.
N-03.1	NEW P.V. THERMOSTATIC ROOF VENT.
N-16	NEW TALL VENT; PTL WOOD FENCE; COORD. HEIGHT TO MATCH EXIST. HARDWARE W/ OWNER. RE. DTL 1/A501.
N-38	PROPOSED LOCATION OF ELECTRICAL METER; ELECTRICAL TO COORD. INSTALL W/ (REVIEW EXISTING METER IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL. INTERFERENCE AS REQ.
N-39	PROPOSED LOCATION OF ELECTRICAL PANEL. ELECTRICAL TO COORD. LOCATION W/ OWNER.

1139 ORETHA CASTLE HALEY
NEW ORLEANS, LA 70113
504.322.1220

[illegible]

17 MAY 2022	CD-PERMIT
14 MAY 2022	CD100
11 MAY 2022	CD99
29 APR. 2022	CD95
27 APR. 2022	CD90
25 APR. 2022	CD85
15 APR. 2022	CD80
14 MAR. 2022	SD-
07 MAR. 2022	EC-

Project: #2021-33

**LeBEAU & JONES RESIDENCE
RENOVATION/ADDITION**

ADDRESS:
6325 DOVER PL.
NEW ORLEANS, LA 70131

SITE PLAN, ZONING, SURVEY, & ELEV. CERT.

GENERAL STRUCTURAL NOTES:

1. UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FABRICATION, TESTING, AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING NOTES. SHOULD CODES OR STANDARDS CONFLICT WITH THE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
2. FOR THE FOLLOWING REFERENCE CODES AND STANDARDS, ONLY THE LATEST EDITION IS APPLICABLE, UNLESS OTHERWISE INDICATED:

(A) AMERICAN CONCRETE INSTITUTE (ACI)

(B) AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)

(C) AMERICAN IRON AND STEEL INSTITUTE (AISI)

(D) AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM)

(E) AMERICAN WELDING SOCIETY (AWS)

(F) RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCSC)

(G) STEEL STRUCTURES PAINTING COUNCIL (SSPC)

(H) OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
3. SPECIFIED MATERIALS INCLUDING GROUTS, SEALANTS, ANCHORAGE, MECHANICAL DEVICES, ETC. SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS SET OUT IN THE SPECIFICATIONS.
4. STRUCTURAL DRAWINGS SHALL BE USED AND INTERPRETED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, SHOP DRAWINGS, AND SPECIFICATIONS.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS SET OUT IN THE ARCHITECT'S DRAWINGS BEFORE COMMENCING WORK.
6. CONTRACTOR SHALL VERIFY ALL CAMBER, DEPRESSIONS, SLOPES, OPENINGS, PENETRATIONS, ETC. THROUGH OR WITHIN STRUCTURAL ELEMENTS. ANY STRUCTURAL ELEMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.
7. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING ANY WORK. ANY INTERFERENCE OR CONFLICT SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER OF RECORD.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL DIMENSIONS AND FIT-UP OF THE STRUCTURE, INCLUDING BUT NOT LIMITED TO, VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK AND ALL AS-BUILT CONDITIONS AS THE WORK PROGRESSES.
9. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ERECTION, PLACEMENT, MAINTENANCE, DURATION AND REMOVAL OF ANY SHORING, RE-SHORING, BACK-SHORING, BRACING, TIE-BACKS, OR OTHER TEMPORARY SUPPORT STRUCTURES REQUIRED TO SUPPORT ANY PART OF THE NEW OR EXISTING CONSTRUCTION OR SURROUNDING IMPROVEMENTS DURING THE ENTIRE CONSTRUCTION PROCESS TO ENSURE THE SAFETY AND STABILITY OF THE STRUCTURE.
10. ALL WORK AREAS SHALL BE KEPT NEAT, CLEAN, AND SAFE AT ALL TIMES BY THE CONTRACTOR. TRASH AND DEMOLISHED MATERIALS SHALL NOT BE ALLOWED TO ACCUMULATE AT THE SITE DURING EXECUTION OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS. ALL DEBRIS SHALL BE PROPERLY AND LEGALLY DISPOSED OF. ALL ASPECTS OF JOB SITE SAFETY ARE COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR.
11. STEEL FRAMES ARE "NON-SELF SUPPORTING". ADEQUATE TEMPORARY SUPPORT SHALL BE PROVIDED BY THE CONTRACTOR UNTIL REQUIRED CONNECTIONS OR ELEMENTS ARE INSTALLED AND COMPLETED.
12. DETAILS SHOWN ON DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
13. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL AND CHARGE OF THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, AND FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

FOUNDATION NOTES:

1. NO SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT. UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE SOIL SUPPORT FOR THE FOUNDATION DESIGN AND SHALL REPORT UNEXPECTED CONDITIONS TO THE ENGINEER OF RECORD.
2. UNLESS SHOWN OTHERWISE, GRADE BEAMS TO BE CENTERED ON COLUMNS AND WALLS.
3. GRADE BEAMS MAY BE EARTH FORMED PROVIDED DIMENSIONAL TOLERANCES LISTED IN THE APPLICABLE ACI CODES ARE ADHERED TO.
4. ALL SLABS, BEAMS, AND FOOTINGS NOT PILE-SUPPORTED SHALL BE SUPPORTED ON EXISTING UNDISTURBED SOIL OR NON-EXPANSIVE TYPE FILL COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY.

DESIGN SOIL PRESSURE = 1500 LBS. PER SQ. FT.
5. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINTS OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION. GRADE SHALL FALL A MINIMUM 6 INCHES WITHIN THE FIRST 10 FEET.

CONCRETE NOTES:

1. APPLICABLE CODES OR STANDARDS:

ALL DESIGN, FABRICATION, TESTING, AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:

(A) ACI 117 – SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS

(B) ACI 301 – SPECIFICATIONS FOR STRUCTURAL CONCRETE

(C) ACI 304 – RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE

(D) ACI 308 – RECOMMENDED PRACTICE FOR CURING CONCRETE

(E) ACI 315 AND 315R – DETAILS AND DETAILING OF CONCRETE REINFORCEMENT

(F) ACI 316 – RECOMMENDED PRACTICE FOR CONSTRUCTION OF CONCRETE PAVEMENTS AND CONCRETE BASES

(G) ACI 318 – BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

(H) ACI 336 – SUGGESTED DESIGN AND CONSTRUCTION PROCEDURES FOR PIER FOUNDATIONS

(I) ACI 347 – RECOMMENDED PRACTICE FOR CONCRETE FORM WORK

(J) ASTM STANDARDS FOR THE MATERIALS LISTED.
2. MATERIALS:

MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) CONCRETE SHALL A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.

(B) CONCRETE SHALL BE NORMAL WEIGHT (APPROXIMATELY 150 LBS. PER CUBIC FT.)

(C) PORTLAND CEMENT SHALL MEET ASTM C150 TYPE II.

(D) AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33.

(E) REINFORCING STEEL SHALL MEET ASTM A615 GRADE 60.

(F) WELDED WIRE FABRIC (WWF) SHALL MEET ASTM A185.

(G) STEEL PLAIN WIRE SHALL MEET ASTM A82.
- CONCRETE NOTES (CONT.):
3. SLUMPS:

CONCRETE SLUMPS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) CONCRETE WITHOUT WATER-REDUCING ADMIXTURES OR PRIOR TO THEIR ADDITIONS SHALL HAVE A MAXIMUM SLUMP OF 5 INCHES.

(B) CONCRETE WITH LOW TO MODERATE RANGE WATER-REDUCING ADMIXTURES SHALL HAVE A MAXIMUM SLUMP OF 6 INCHES.

(C) CONCRETE WITH HIGH RANGE WATER-REDUCING ADMIXTURES SHALL HAVE A MAXIMUM SLUMP OF 8 INCHES.

4. EXPOSED EDGE CONDITIONS:

(A) EXPOSED EDGES OF CONCRETE ABOVE GRADE SHALL BE CHAMFERED 3/4" AT 45 DEGREES (AS SHOWN ON SECTIONS IF REQUIRED).

5. BONDING:

BONDING SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) CONSTRUCTION JOINTS BETWEEN NEW AND HARDENED CONCRETE SHALL BE CLEAN, FREE OF LAITANCE, AND INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF 1/4".

(B) FOR INSTALLATION OF DOWELS IN HARDENED CONCRETE, CONTRACTOR SHALL DRILL AND EPOXY WITH HILTI HY-HIT 200 OR APPROVED EQUAL.

(C) FOR INSTALLATION OF DOWELS IN BRICK MASONRY, CONTRACTOR SHALL DRILL AND EPOXY WITH HILTI HY-HIT 270 OR APPROVED EQUAL.

6. CONCRETE PROTECTION FOR REINFORCEMENT:

CONTRACTOR SHALL PROVIDE PROTECTIVE COVER FOR REINFORCING LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) 3" FOR CONCRETE GRADE BEAMS AND FOOTINGS DEPOSITED DIRECTLY AGAINST THE GROUND.

(B) 2" FOR FORMED CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND.

(C) 1" FOR CONCRETE SLABS AND WALLS NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND

(D) 1 1/2" FOR CONCRETE BEAMS, GIRDERS, AND COLUMNS NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND.

7. PLACEMENT:

PLACEMENT SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) BARS SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACEMENT.

(B) REINFORCING BARS OR FABRIC ON GRADE SHALL BE CHAired WITH 3000 PSI CONCRETE BRICKETTES SPACED ADEQUATELY TO SUPPORT THE REINFORCING, BUT NOT GREATER THAN 3'-0" O.C. EACH WAY. AT RAISED FLOORS USE METAL CHAIRS.

(C) PROVIDE A 90 DEGREE HOOK ON ALL TOP REINFORCING IN ALL BEAMS AT DISCONTINUOUS ENDS AND LAP SPLICE 30 BAR DIAMETERS AT MID-SPAN.

(D) CONTINUOUS BOTTOM BARS SHOULD BE LAP SPLICED 6" AT CENTER OF SUPPORT.

(E) LAP ALL WELDED WIRE FABRIC ONE WIRE SPACING PLUS 6 INCHES.

(F) COLUMN VERTICAL REINFORCING SHALL HAVE STANDARD HOOKS AT THE TOP OF THE UPPERMOST SECTION OF EACH COLUMN.

(G) PROVIDE CORNER BARS AT EACH OUTSIDE CORNER FOR EACH HORIZONTAL BAR IN WALLS AND BEAMS. HOOK INSIDE BAR IN WALLS AT ENDS.

(H) PLACEMENT OF SLEEVES, HOLES, OR OPENINGS THROUGH BEAMS, FOOTINGS, PILE CAPS, SLABS, ETC. IS NOT PERMITTED WITHOUT ENGINEER OF RECORD'S APPROVAL

(I) WHERE POSSIBLE, EXISTING REINFORCEMENT SHALL NOT BE CUT, BENT, OR DAMAGED. WHENEVER REINFORCEMENT IS CUT, DAMAGED OR BENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD. REINFORCEMENT SHALL BE REPAIRED OR REPLACED AS DIRECTED.

8. SPLICES:

REINFORCEMENT STEEL SPLICES SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) REINFORCING BARS SHALL BE SPLICED WITH CLASS "B" LAP SPLICES.

(B) PROVIDE REQUIRED LAP LENGTHS FOR CORNER BARS, TEMPERATURE BARS IN SLAB, INTERMEDIATE HORIZONTAL BARS IN WALLS AND BEAMS, ETC.

9. EXPANSION JOINTS AND JOINT SEALERS:

EXPANSION JOINTS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) EXPANSION JOINT MATERIAL SHALL BE 1/2" THICK SEAL-TIGHT ASPHALT EXPANSION JOINT FILLER OR APPROVED EQUAL.

(B) EXPANSION JOINTS SHALL SEPARATE PAVING FROM FOUNDATION GRADE BEAMS, FOOTINGS, ETC. AS SHOWN ON DRAWINGS.

10. EMBEDMENTS:

CONDUITS, PIPES, ETC. EMBEDDED IN CONCRETE SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) CONTRACTOR SHALL SUBMIT FOR APPROVAL A DIAGRAM DEPICTING ALL CONDUITS, PIPES, OR SLEEVES EMBEDDED IN CONCRETE.

(B) CONTRACTOR SHALL FOLLOW ALL REGULATIONS OUTLINED IN THE APPLICABLE ACI CODES FOR EMBEDDING CONDUITS, PIPES, ETC.

(C) CONDUITS, PIPES, AND SLEEVES OF ANY MATERIAL NOT HARMFUL TO CONCRETE SHALL BE PERMITTED TO BE EMBEDDED IN CONCRETE WITH THE ENGINEER OF RECORD'S APPROVAL.

(D) IT WILL NOT BE PERMITTED TO CUT, BEND, OR DISPLACE THE REINFORCING STEEL FROM ITS PROPER LOCATION TO INSTALL CONDUITS, PIPES, ETC. WITHOUT THE ENGINEER OF RECORD'S APPROVAL.

(E) CONDUITS, PIPES, AND SLEEVES PASSING THROUGH A SLAB, BEAM, OR WALL SHALL NOT SIGNIFICANTLY IMPAIR THE STRENGTH OF CONSTRUCTION.

(F) OUTSIDE DIMENSIONS FOR SINGLE CONDUITS AND PIPES OR INTERSECTING CONDUITS AND PIPES SHALL NOT OCCUPY MORE THAN AN 1/3 THE OVERALL THICKNESS OF SLAB, BEAM, OR WALL IN WHICH THEY ARE EMBEDDED. ANY CONDUIT OR PIPE LARGER SHALL BE LOCATED BELOW THE RESPECTIVE SLAB OR BEAM.

(G) CONDUITS, PIPES, ETC. SHALL NOT BE SPACED CLOSER THAN THREE DIAMETERS OR WIDTHS ON CENTER.
- CONCRETE NOTES (CONT.):
11. DRILLING HOLES OR CORING HOLES IN EXISTING CONCRETE:

DRILLING OR CORING HOLES IN EXISTING CONCRETE SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) PRIOR TO DRILLING OR CORING HOLES, THE CONTRACTOR SHALL LOCATE ALL EXISTING REINFORCING STEEL, POST-TENSIONING, CONDUIT, PIPING, ETC. THROUGH NON-DESTRUCTIVE TESTING SUCH AS WITH AN X-RAY, RADAR, ETC.

(B) CONTRACTOR SHALL MARK THE LOCATION OF ALL REINFORCING STEEL, POST-TENSIONING, CONDUIT, PIPING, AND OTHER EXISTING INTERFERENCES ON THE SURFACE OF THE CONCRETE.

(C) CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD FOR ALL CONFLICTS BETWEEN NEW HOLES AND EXISTING REINFORCING, POST-TENSIONING, CONDUIT, PIPING, ETC.

(D) CONTRACTOR SHALL DRILL SMALL PILOT HOLES AT NEW HOLE LOCATIONS TO VERIFY NO CONFLICTS EXIST. IF NO CONFLICTS EXIST, COMPLETE THE INSTALLATION. IN THE CASE OF STEEL TO BE FASTENED TO THE EXISTING CONCRETE WITH MULTIPLE ANCHORS, FABRICATE FROM A FIELD TEMPLATE, THE STEEL TO BE FASTENED TO THE CONCRETE BY THE ANCHORS AND COMPLETE THE INSTALLATION.

(E) CONTRACTOR SHALL EXERCISE CARE WHEN INSTALLING NEW HOLES TO PREVENT "NICKING" OR CUTTING EXISTING REINFORCING STEEL, POST-TENSIONING, CONDUIT, PIPING, ETC.

12. QUALITY CONTROL TESTING DURING CONSTRUCTION

(A) GENERAL: EMPLOY A TESTING AGENCY TO PERFORM TESTS AND TO SUBMIT TEST REPORTS.

(B) SAMPLING AND TESTING FOR QUALITY CONTROL DURING CONCRETE PLACEMENT SHALL INCLUDE THE FOLLOWING, AS DIRECTED BY ARCHITECT.

1. SAMPLING FRESH CONCRETE: ASTM C 172, EXCEPT MODIFIED FOR SLUMP TO COMPLY WITH ASTM C 94

2. SLUMP: ASTM C 143; ONE TEST AT POINT OF DISCHARGE FOR EACH DAY'S POUR OF EACH TYPE OF CONCRETE, ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY SEEMS TO HAVE CHANGED.

3. AIR CONTENT: ASTM C 173, VOLUMETRIC METHOD FOR LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE; ASTM C 231, PRESSURE METHOD FOR NORMAL WEIGHT CONCRETE; ONE FOR EACH DAY'S POUR OF EACH TYPE OF AIR-ENTRAINED CONCRETE.

4. CONCRETE TEMPERATURE: ASTM C 1064; ONE TEST HOURLY WHEN AIR TEMPERATURE IS 40 DEG F (4 DEG C) AND BELOW, WHEN 80 DEG F (27 DEG C) AND ABOVE, AND ONE TEST FOR EACH SET OF COMPRESSIVE-STRENGTH SPECIMENS.

5. COMPRESSION TEST SPECIMEN: ASTM C 31, ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPRESSIVE-STRENGTH TEST, UNLESS OTHERWISE DIRECTED. MOLD AND STORE CYLINDERS FOR LABORATORY-CURED TEST SPECIMENS EXCEPT WHEN FIELD-CURED TEST SPECIMENS ARE REQUIRED.

6. COMPRESSIVE-STRENGTH TESTS: ASTM C 39; ONE SET FOR EACH DAY'S POUR EXCEEDING 5 CU. YD. PLUS ADDITIONAL SETS FOR EACH 50 CU. YD MORE THAN THE FIRST 25 CU. YD. OF EACH CONCRETE CLASS PLACED IN ANY ONE DAY; ONE SPECIMEN TESTED 7 DAYS, TWO SPECIMENS TESTED AT 28 DAYS, AND ONE SPECIMEN RETAINED IN RESERVE FOR LATER TESTING IF REQUIRED.

(C) WHEN FREQUENCY OF TESTING WILL PROVIDE FEWER THAN FIVE STRENGTH TESTS FOR A GIVEN CLASS OF CONCRETE, CONDUCT TESTING FROM AT LEAST FIVE RANDOMLY SELECTED BATCHES OR FROM EACH BATCH IF FEWER THAN FIVE ARE USED.

(D) TEST RESULTS WILL BE REPORTED IN WRITING TO ARCHITECT, STRUCTURAL ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TEST.

(E) NONDESTRUCTIVE TESTING: IMPACT HAMMER, SONOSCOPE, OR OTHER NONDESTRUCTIVE DEVICE MAY BE PERMITTED BY SHALL NOT BE USED AS THE SOLE BASIS FOR ACCEPTANCE OR REJECTION.

(F) ADDITIONAL TEST: THE TESTING AGENCY WILL MAKE ADDITIONAL TESTS OF IN-PLACE CONCRETE WHEN TEST RESULTS INDICATE SPECIFIED CONCRETE STRENGTHS AND OTHER CHARACTERISTICS HAVE NOT BEEN ATTAINED IN THE STRUCTURE, AS DIRECTED BY ARCHITECT. TESTING AGENCY MAY CONDUCT TESTS TO DETERMINE ADEQUACY OF CONCRETE BY CORED CYLINDERS COMPLYING WITH ASTM C 42, OR BY OTHER METHODS AS DIRECTED.

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NEW ORLEANS, LA 70113
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Project: #2021-33
RENOVATION/ADDITION TO
LeBEAU & JONES RESIDENCE

ADDRESS:
6325 DOVER PL.
NEW ORLEANS, LA 70131

GENERAL
STRUCTURAL
NOTES

DATE:	05/04/2022
PROJECT NO.:	2021-33
DRAWING BY:	DSA
CHECKED BY:	JBH
SHEET NO.:	S1.0A
CAD FILE NO:	/

axis

ENGINEERING

CIVIL | STRUCTURAL

3500 N. CAUSEWAY BLVD., #200, METAIRIE, LA 70002
504.380.0800 OFFICE - INFO@AXISENGR.COM EMAIL

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL LOCAL, REGIONAL AND NATIONAL REQUIREMENTS. I AM NOT OBSERVING THE WORK.

ENGINEER: JAMES B HEASLIP AE PROJECT #: 22099
LICENSE NUMBER: 31593

WOOD FRAMING NOTES:

1. APPLICABLE CODES OR STANDARDS:

ALL DESIGN, FABRICATION, TESTING, AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:

(A) IRC – INTERNATIONAL RESIDENTIAL CODE (IRC)

(B) AWC – NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)

(C) AWC – WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO–FAMILY DWELLINGS (WFCM)

(D) APA – PLYWOOD DESIGN SPECIFICATION (PDS)
2. WALL SYSTEMS:

WALL SYSTEMS SHALL MEET THE SPECIFICATIONS LISTED IN THE PLAN NOTES (UNLESS NOTED OTHERWISE).
3. MATERIALS:

MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) FRAMING LUMBER SHALL BE SOUTHERN PINE GRADE MARKED AND KILN DRIED, NO. 2.

(B) ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. LUMBER, PLYWOOD, PSL, OR OTHER STRUCTURAL WOOD ELEMENTS SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA.

(C) FLOOR PLYWOOD SHEATHING SHALL BE 3/4" THICK.

(D) WALL PLYWOOD SHEATHING SHALL BE 1/2" THICK.

(E) ATTIC PLYWOOD SHEATHING SHALL BE 1/2" THICK.

(F) ROOF PLYWOOD SHEATHING SHALL BE 5/8" THICK.

(G) MEMBERS DESIGNATED AS "LVL" SHALL BE LAMINATED VENEER LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE I–LEVELTRUSS JOIST COMPANY'S "MICROLLAM" OR APPROVED EQUAL.

(H) MEMBERS DESIGNATED AS "PSL" SHALL BE PARALLEL STRAND LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE I–LEVEL TRUSS JOIST COMPANY'S "PARALLAM" OR APPROVED EQUAL.

(I) MEMBERS DESIGNATED AS "TJI" SHALL BE "I-SHAPED" WOOD JOIST LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE I–LEVEL TRUSS JOIST COMPANY'S "TRUS JOIST" OR APPROVED EQUAL.

(J) MEMBERS DESIGNATED AS "PPG" SHALL BE GLULAM LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE ANTHONY FOREST PRODUCTS COMPANY'S "POWER PRESERVED GLULAM" OR APPROVED EQUAL.

(K) JOIST HANGERS, BEAM HANGERS, HURRICANE CLIPS, ANCHORS, AND CONNECTORS SHALL BE SUPPLIED BY SIMPSON STRONG–TIE CO., INC. OR APPROVED EQUAL AND ATTACHED WITH MANUFACTURER RECOMMENDATIONS.

(L) HANGERS, CLIPS, CONNECTORS, ANCHORS, TIES, ETC. SHALL BE GALVANIZED.

(M) HANGERS, CLIPS, CONNECTORS, ANCHORS, TIES, ETC. EXPOSED TO WEATHER, IN CONTACT WITH EARTH OR WATER, OR BELOW THE FIRST FLOOR LEVEL SHALL RECEIVE THE SIMPSON "Z–MAX" TRIPLE ZINC COATING OR APPROVED EQUAL.

(N) STUD WALL BOTTOM PLATES CONNECTED TO CONCRETE SHALL BE SUPPLIED BY RAMSET OR APPROVED EQUAL.
4. CONNECTIONS:

CONNECTIONS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) WOOD MEMBERS (INCLUDING PLYWOOD SHEATHING OR BRACING) SHALL BE CONNECTED OR FASTENED WITH STEEL NAILS, SCREWS, OR BOLTS. ALL EXPOSED NAILS, SCREWS, OR BOLTS SHALL BE POLYMER COATED OR GALVANIZED.

(B) NO STAPLES SHALL BE PERMITTED.

(C) WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE LISTED IN IRC 2015 TABLE R602.3.

(D) MEMBER END PIECES, JOINTS, OR SPLICES SHALL BE OVER SUPPORTS.

(E) MULTIPLE PIECES OF LUMBER OR MANUFACTURED WOOD PRODUCTS USED TO FORM BEAM OR HEADER MEMBERS SHALL BE ATTACHED TOGETHER WITH (2) ROWS OF 12d NAILS SPACED AT 12" FOR PIECES UP TO 12" DEEP. ALL OTHER PIECES SHALL BE ATTACHED TOGETHER WITH (3) ROWS OF 12d NAILS SPACED AT 12".

(F) MULTIPLE PIECES OF LUMBER USED TO FORM PACKED STUDS SHALL BE ATTACHED TOGETHER WITH (2) ROWS OF NAILS SPACED AT 8".

(G) PLYWOOD WALL SHEATHING SHALL HAVE SOLID BLOCKING AT ALL HORIZONTAL JOINTS.

(H) PLYWOOD ROOF SHEATHING VERTICAL JOINTS SHALL BE STAGGERED EVERY 4 FEET OR LESS.

(I) FLOOR JOISTS SHALL HAVE BRIDGING AT 8'–0" O.C. (MAX.).

(J) BOTTOM PLATE OF STUD WALLS TO CONCRETE SHALL BE CONNECTED WITH 1/4" RAMSETS AT 16" O.C.

(K) PRE–ENGINEERED STRUCTURAL MEMBERS INCLUDING PSL, PPG, LVL, ETC. SHALL BE ERECTED AND BRACED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
5. OPENINGS:

OPENINGS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) OPENINGS IN WALLS SHALL HAVE HEADERS CONSISTING OF A MINIMUM OF TWO 2x12's OR THREE 2x10's (4'–0" MAX.).

(B) OPENINGS IN EXTERIOR WALLS SHALL BE IN ACCORDANCE WITH THE FULL HEIGHT STUD REQUIREMENTS LISTED IN WFCM TABLE 3.23C.

(C) FULL HEIGHT STUDS MAY BE REDUCED IN ACCORDANCE WITH THE REQUIREMENTS LISTED IN WFCM TABLE 3.23D.

(D) JACK STUDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS LISTED IN WFCM TABLE 3.22F.

CONCRETE MASONRY UNIT (CMU) NOTES:

1. APPLICABLE CODES OR STANDARDS:

ALL DESIGN, FABRICATION, TESTING, AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:

(A) TMS "BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES"

(B) ASTM STANDARDS FOR THE MATERIALS LISTED.
2. MATERIALS:

MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) HOLLOW CORE CONCRETE MASONRY UNITS SHALL MEET ASTM C90, LIGHTWEIGHT, TYPE 1, AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1,900 PSI ON THE NET AREA FOR INDIVIDUAL UNITS.

(B) CMU MORTAR SHALL MEET ASTM C270, TYPE "M" OR "S" AND HAVE A MINIMUM COMPRESSIVE CUBE STRENGTH OF 1,800 PSI AT 28 DAYS.

(C) CMU GROUT (POURED OR PUMPED) SHALL MEET ASTM C476 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

(D) REINFORCED MASONRY WALLS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI.

(E) STEEL REINFORCING BARS SHALL MEET ASTM A615 GRADE 60.

(F) JOINT REINFORCING SHALL MEET ASTM A82.
3. REINFORCEMENT:

REINFORCEMENT SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

(A) REINFORCEMENT SHALL BE HELD IN PLACE PRIOR TO GROUTING WITH WIRE POSITIONERS SPACED AT INTERVALS NOT EXCEEDING 192 REINFORCING BAR DIAMETERS FOR 10 FEET. ADDITIONAL POSITIONERS SHALL BE PLACED AT ALL REINFORCING BAR SPLICES.

(B) PROVIDE HORIZONTAL BOND BEAMS AT THE TOP OF ALL WALLS AND AT ROOF. BOND BEAMS SHALL BE REINFORCED AS FOLLOWS:

WALL WDTH: 8"

REINFORCING: 2 – #5

(C) CONCRETE MASONRY WALLS SHALL HAVE 2 – NO. 9 WIRE GALVANIZED HORIZONTAL JOINT REINFORCEMENT EVERY OTHER COURSE, IN ADDITION TO HORIZONTAL BOND BEAM REINFORCEMENT. TERMINATE BOND BEAM AND HORIZONTAL JOINT REINFORCING AT CONTROL JOINTS.

(D) REINFORCE MASONRY AT BEARING POINTS OF ALL BEAMS, LINTELS, ETC. WITH 1 – #6 (CONTINUOUS TO FOUNDATION) IN EACH BLOCK CORE BENEATH BEARING PLATES.

(E) PROVIDE DOWELS FOR CMU WALL CONNECTION TO CONCRETE BEAMS, SLABS, AND FOOTINGS. LAP DOWELS 2'–0" (MIN.) WITH VERTICAL BARS.

(F) REINFORCEMENT, REBAR POSITIONERS, AND TIES SHALL BE PLACED PRIOR TO GROUTING.
4. GROUTING

(A) CMU TO BE LAID IN RUNNING BOND PATTERN

(B) GROUT PLACEMENT SHALL CONFORM TO APPLICABLE DESIGN STANDARDS; HOWEVER, THE MAXIMUM GROUT POUR HEIGHT SHALL NOT EXCEED 8 FEET AND THE MAXIMUM HEIGHT WHICH GROUT IS PLACED IN ONE CONTINUOUS OPERATION (GROUT LIFT) SHALL NOT EXCEED 4 FEET. THERE SHALL BE A MINIMUM OF 1 HOUR SETTING TIME BETWEEN EACH GROUT LIFT.

(C) CLEANOUTS SHALL BE CONSTRUCTED ADJACENT TO EACH VERTICAL BAR IN THE BOTTOM COURSE OF MASONRY FOR EACH GROUT POUR HEIGHT THAT EXCEEDS 5 FEET. CONSTRUCT CLEANOUTS WITH AN OPENING OF SUFFICIENT SIZE TO PERMIT REMOVAL OF DEBRIS, BUT NO LESS THAN 3 IN. DIMENSION. AFTER CLEANING, CLOSE CLEANOUTS WITH CLOSURES BRACED TO RESIST GROUT PRESSURE. ALL CLEANOUTS SHALL BE LOCATED ON WALL FACE NOT EXPOSED TO VIEW.

(D) THE TOP OF EACH GROUT POUR SHALL BE 1" BELOW THE BED JOINT.
5. SHORING

(A) SHORE ALL MASONRY LINTELS UNTIL MASONRY AND GROUT HAVE BEEN ALLOWED TO SET FOR A MINIMUM OF 7 DAYS.

(B) CONTRACTOR SHALL DESIGN, FABRICATE AND INSTALL BRACING THAT WILL ASSURE THE STABILITY OF THE MASONRY DURING CONSTRUCTION.

DESIGN INFORMATION:

1. DESIGN LOADS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE).

(A) DESIGN BUILDING CODE – 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)

(B) DESIGN GRAVITY LOADS:

FIRST FLOOR DL = 10 PSF
LL = 40 PSF

ATTIC DL = 10 PSF
LL = 20 PSF

ROOF DL = 15 PSF
LL = 20 PSF

(C) WIND LOADS SHALL BE IN ACCORDANCE WITH ASCE 7–10:
MAIN WIND FORCE RESISTING SYSTEM

PARAMETER	VALUE	REFERENCE
RISK CATEGORY	II	TABLE 1.5–1
BASIC WIND SPEED	Vult. = 144 MPH Vasd. = 113 MPH	FIGURE 26.5–1B
DIRECTIONALITY	Kd = 0.85	FIGURE 26.6–1
EXPOSURE CATEGORY	B	SECTION 26.7
TOPOGRAPHIC FACTOR	Kzt = 1.0	FIGURE 26.8–1
GUST EFFECT FACTOR	0.85	SECTION 26.9
ENCLOSURE CLASSIFICATION	ENCLOSED	SECTION 26.10
INTERNAL PRESSURE COEFFICIENT	Cgpi = +/–0.18	SECTION 26.11
VELOCITY	qh = 31.15 PSF	SECTION 28.3.2



1139 ORETHA CASTLE HALEY
NEW ORLEANS, LA 70113
504.322.1220

Project: #2021-33
RENOVATION/ADDITION TO
LeBEAU & JONES RESIDENCE

ADDRESS:
6325 DOVER PL.
NEW ORLEANS, LA 70131

GENERAL
STRUCTURAL
NOTES

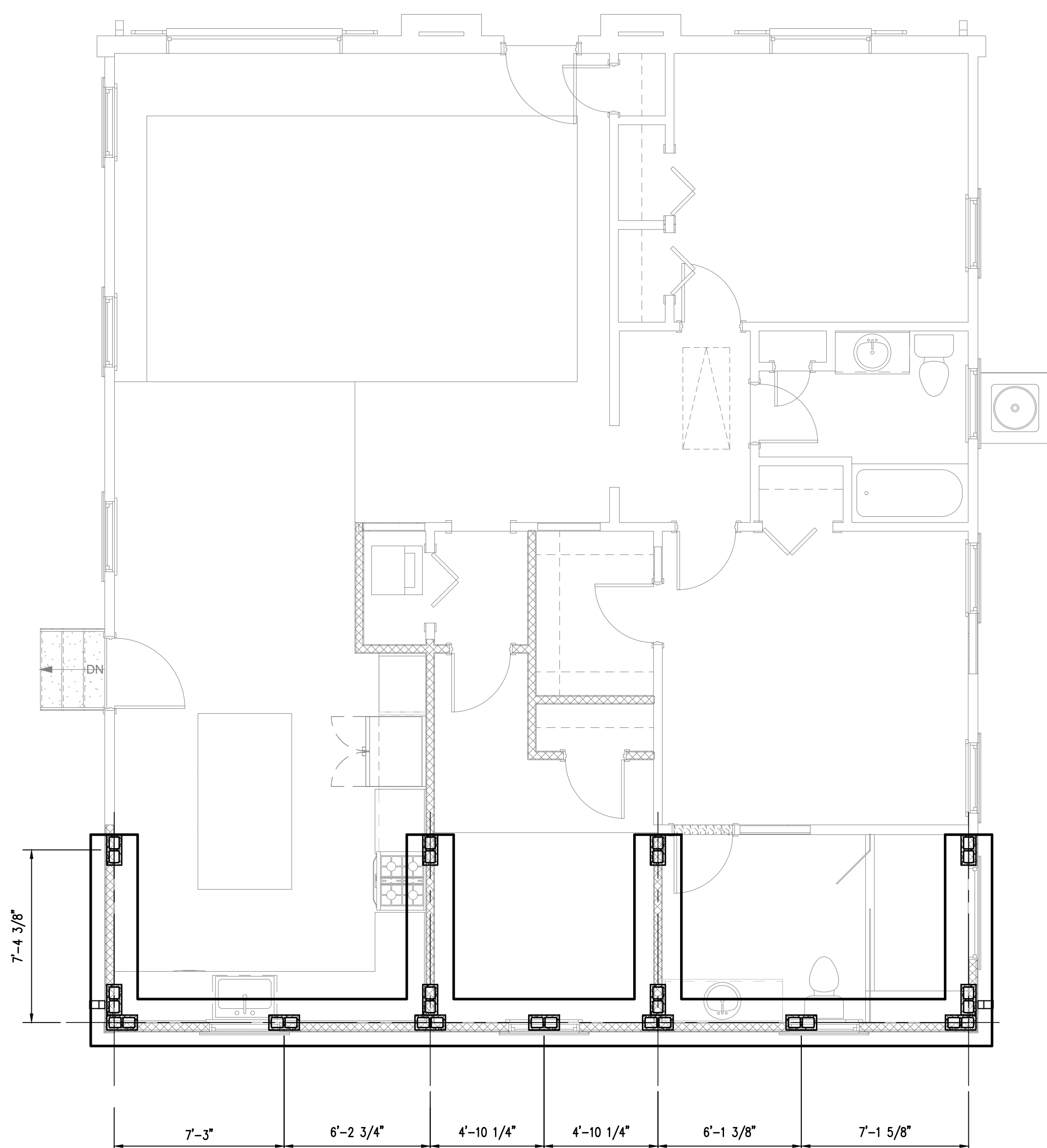
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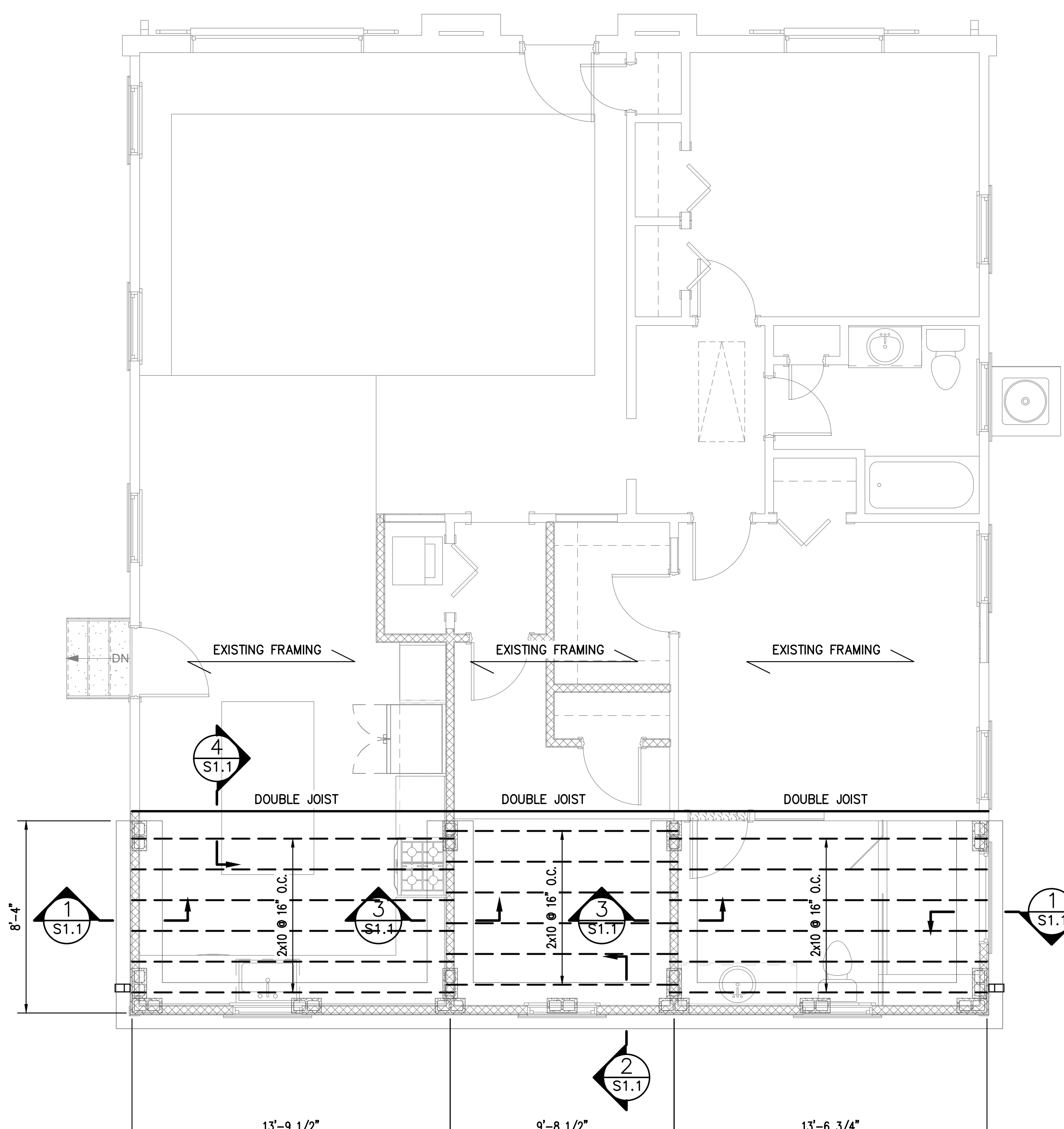
ENGINEER: JAMES B HEASLIP AE PROJECT #: 22099
LICENSE NUMBER: 31593

	DATE:	05/04/2022
	PROJECT NO.:	2021-33
	DRAWING BY:	DSA
	CHECKED BY:	JBH
	SHEET NO.:	S1.0B
CAD FILE NO:	/	



FOUNDATION / CMU LAYOUT PLAN


SCALE: 1/4" = 1'-0"

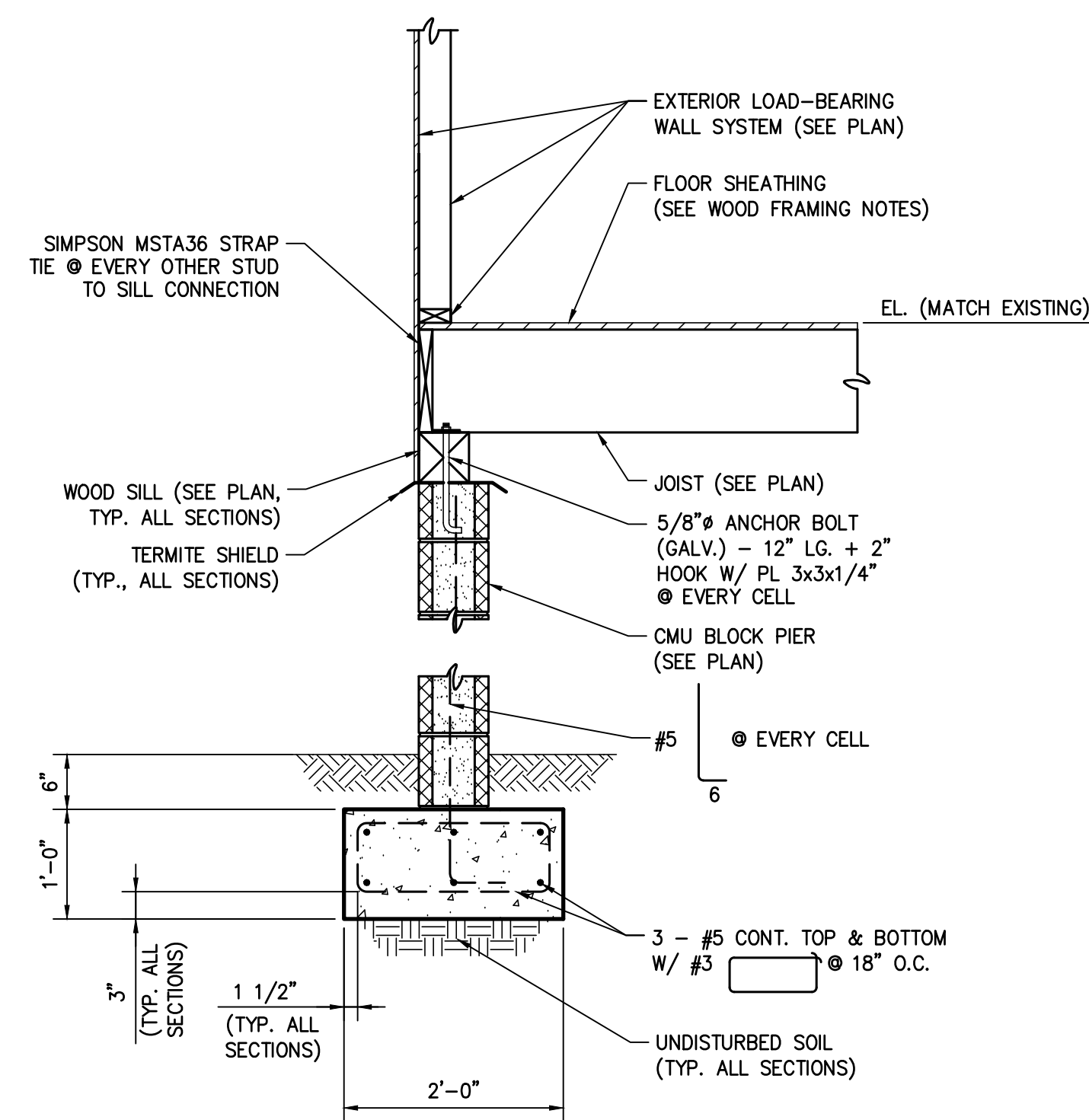


FIRST FLOOR FRAMING PLAN

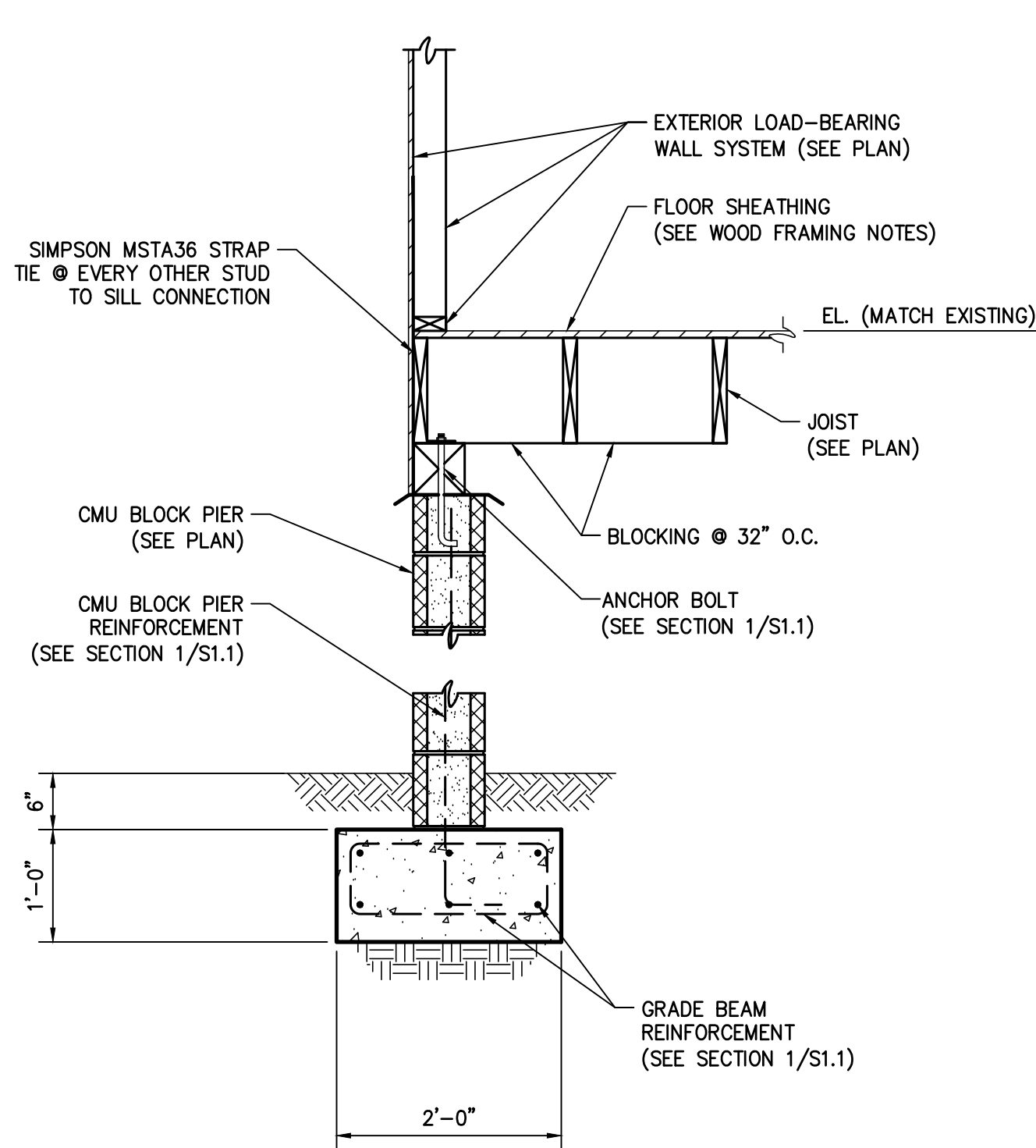
SCALE: 1/4" = 1'-0"

PLAN NOTES:

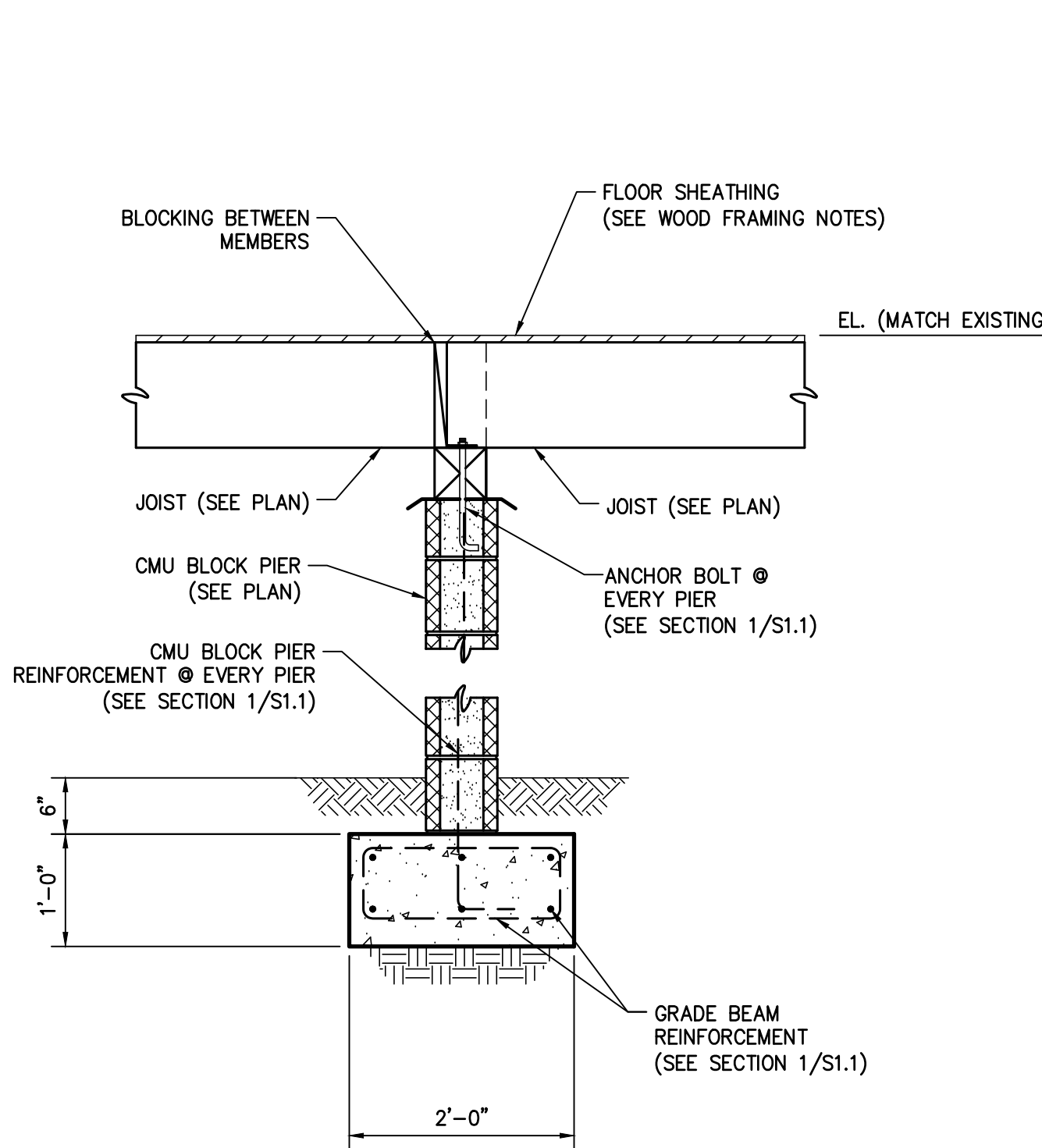
- FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
-  - SYMBOL ON PLAN INDICATES 8" CMU BLOCK PIER:
A. GROUT FILL ALL CELLS
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL ELEVATIONS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AS SHOWN ON DRAWINGS. CONTACT ENGINEER OF RECORD IF ANY CONDITIONS DIFFER IN FIELD.



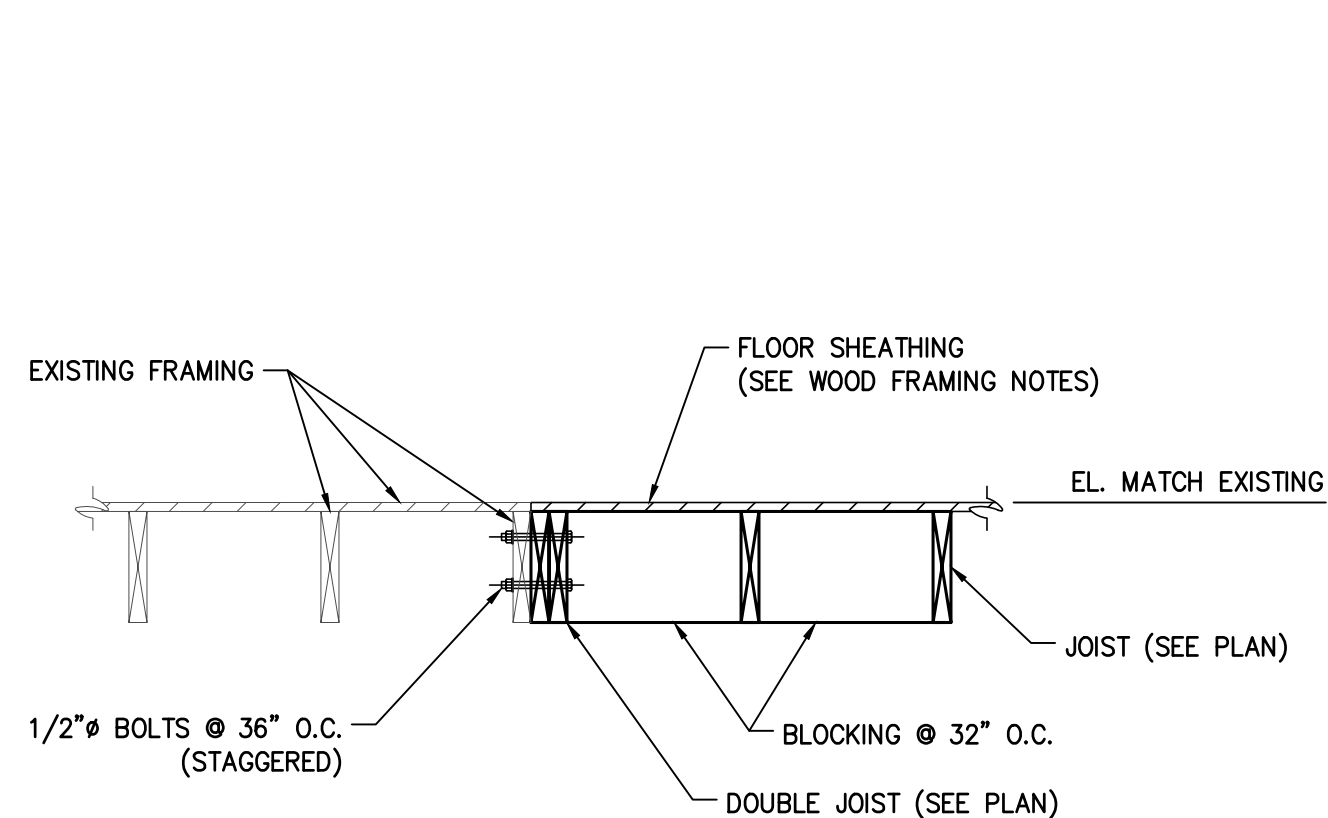
SECTION 1
SCALE: 3/4" = 1'-0"



SECTION 2
SCALE: 3/4" = 1'-0"



SECTION 3
SCALE: 3/4" = 1'-0"



SECTION 4
SCALE: 3/4" = 1'-0"

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ENGINEER: JAMES B HEASLIP AE PROJECT #: 220999
LICENSE NUMBER: 31593

FOUNDATION
PLAN / 1ST
FLOOR FRAMING
PLAN &
SECTIONS



DATE:	05/04/2022
PROJECT NO.:	2021-33
DRAWING BY:	DSA
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SHEET NO.:	S1.1
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Project: #2021-33

RENOVATION/ADDITION TO

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CEILING AND

ROOF FRAMING

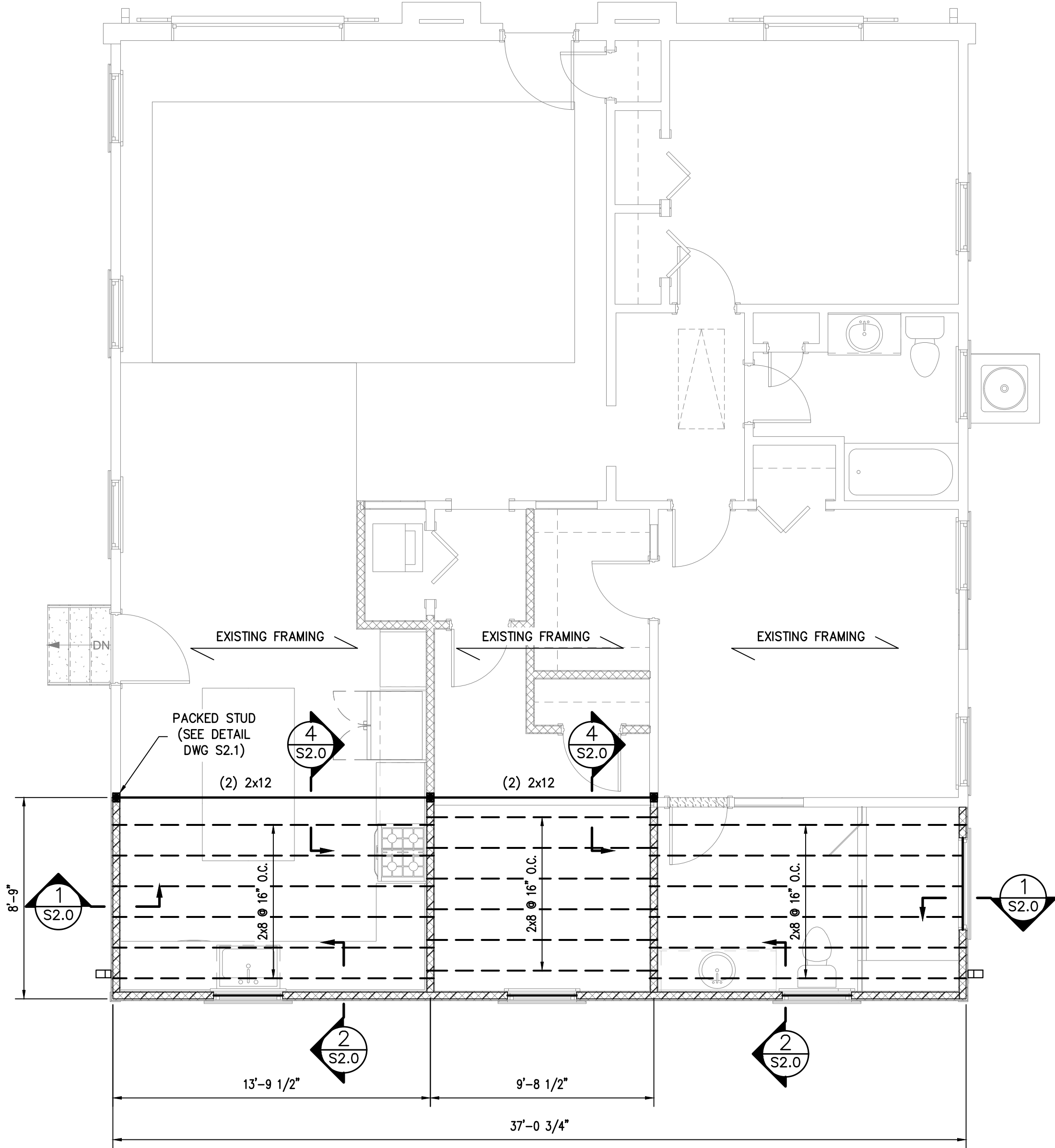
PLANS AND

SECTIONS

DATE:	05/04/2022
PROJECT NO.:	2021-33
DRAWING BY:	DSA
CHECKED BY:	JBH
SHEET NO.:	S2.0
CAD FILE NO.:	/

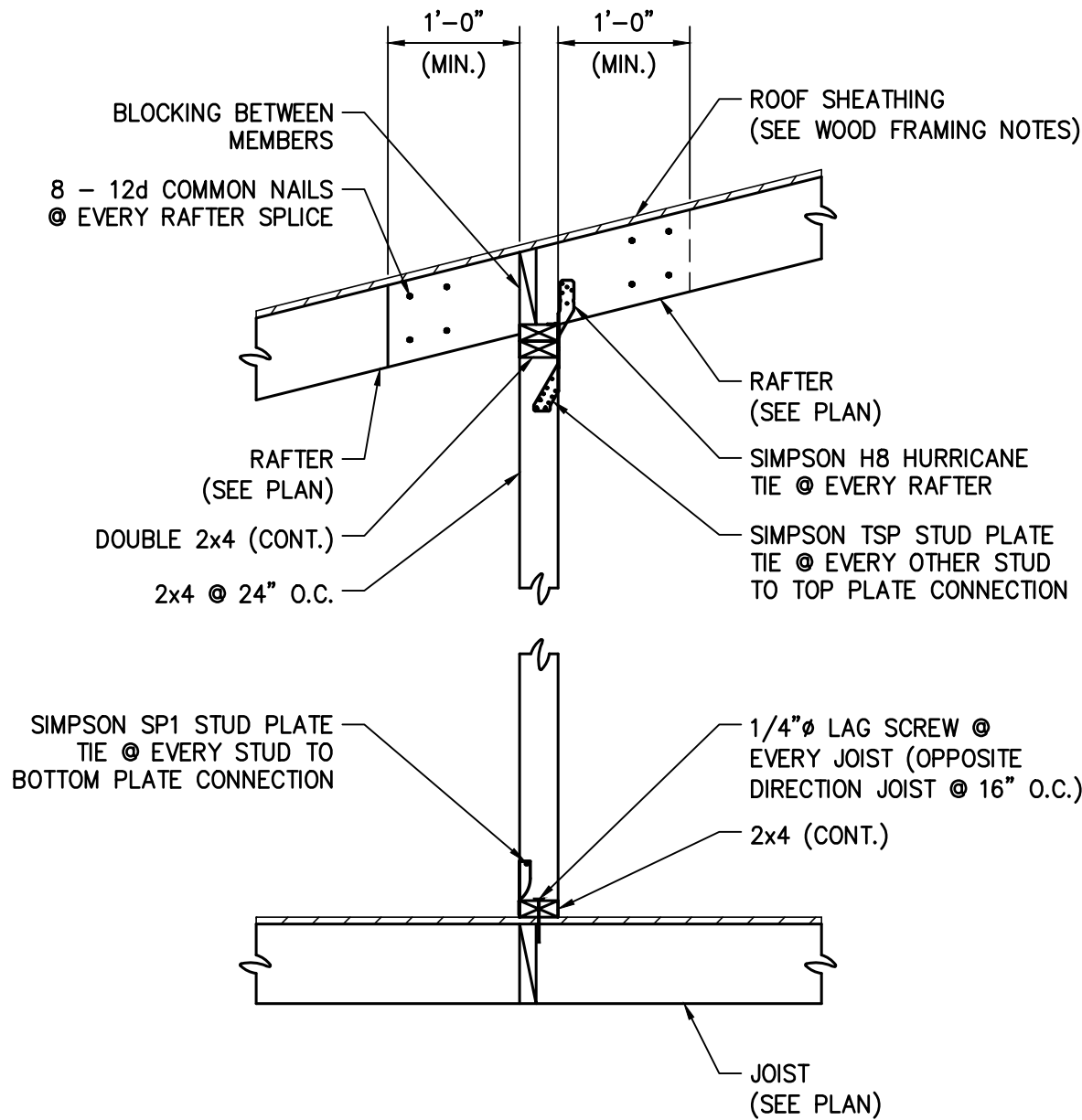
PLAN NOTES:

- FOR ALL NOTES, SEE DRAWING S1.0A – S1.0B.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
- MEASUREMENTS ARE TO EDGE OF FRAMING. SEE ARCHITECTURAL DRAWINGS FOR FINISHED DIMENSIONS.
- UNLESS SHOWN ON PLANS, SEE WOOD FRAMING NOTES FOR HEADER SIZING.
-
-



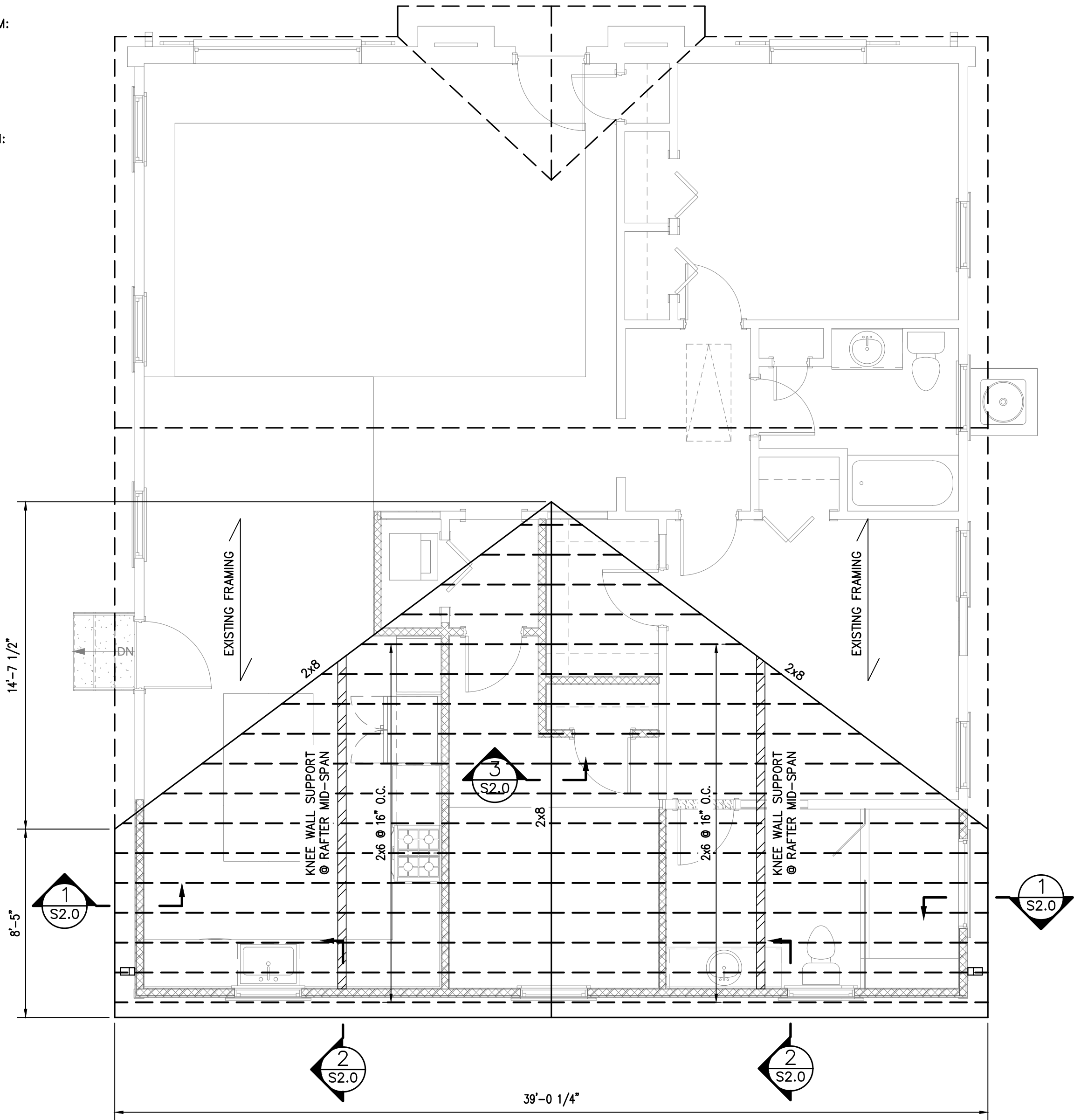
CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"



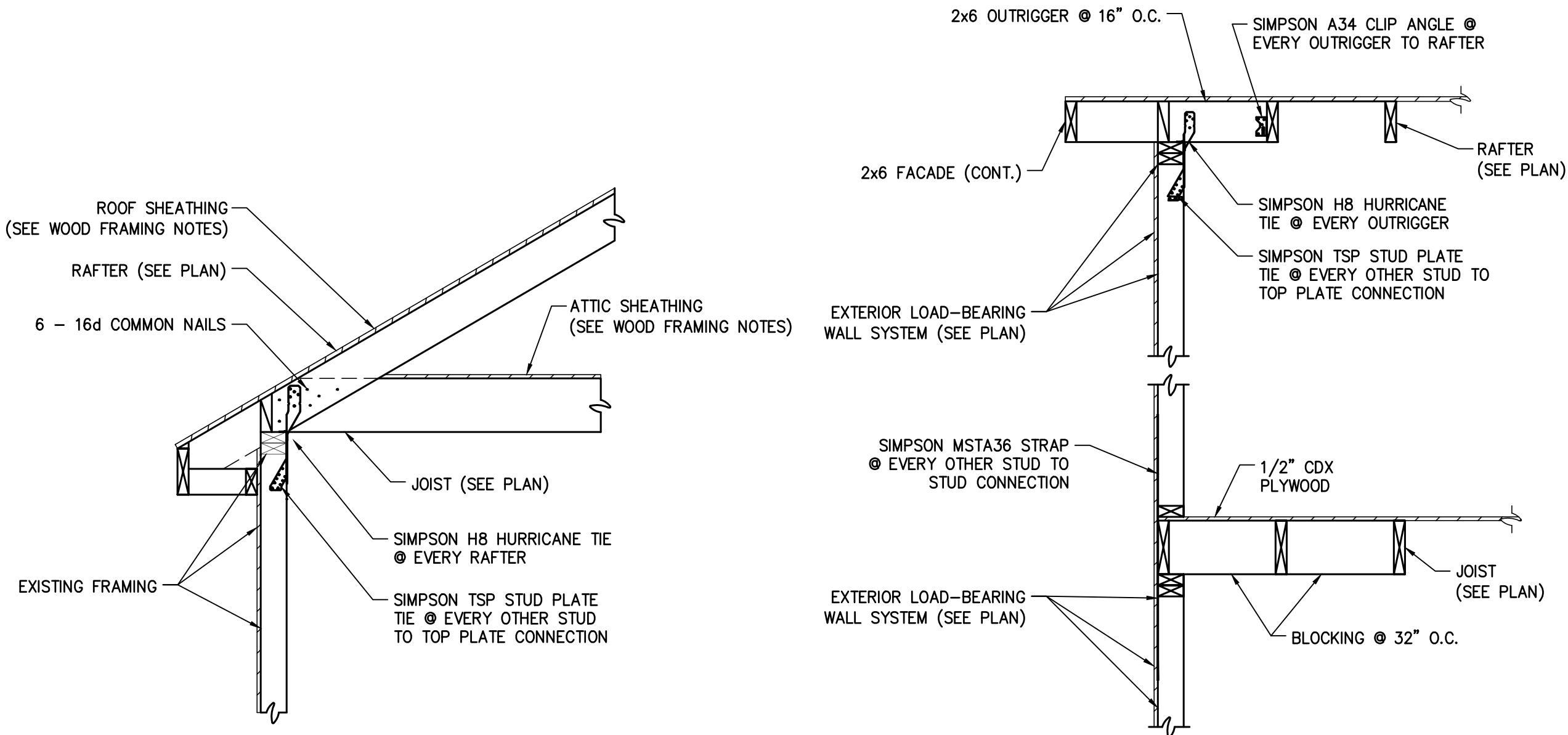
TYPICAL KNEE WALL SECTION

SCALE: 3/4" = 1'-0"



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



SECTION 1

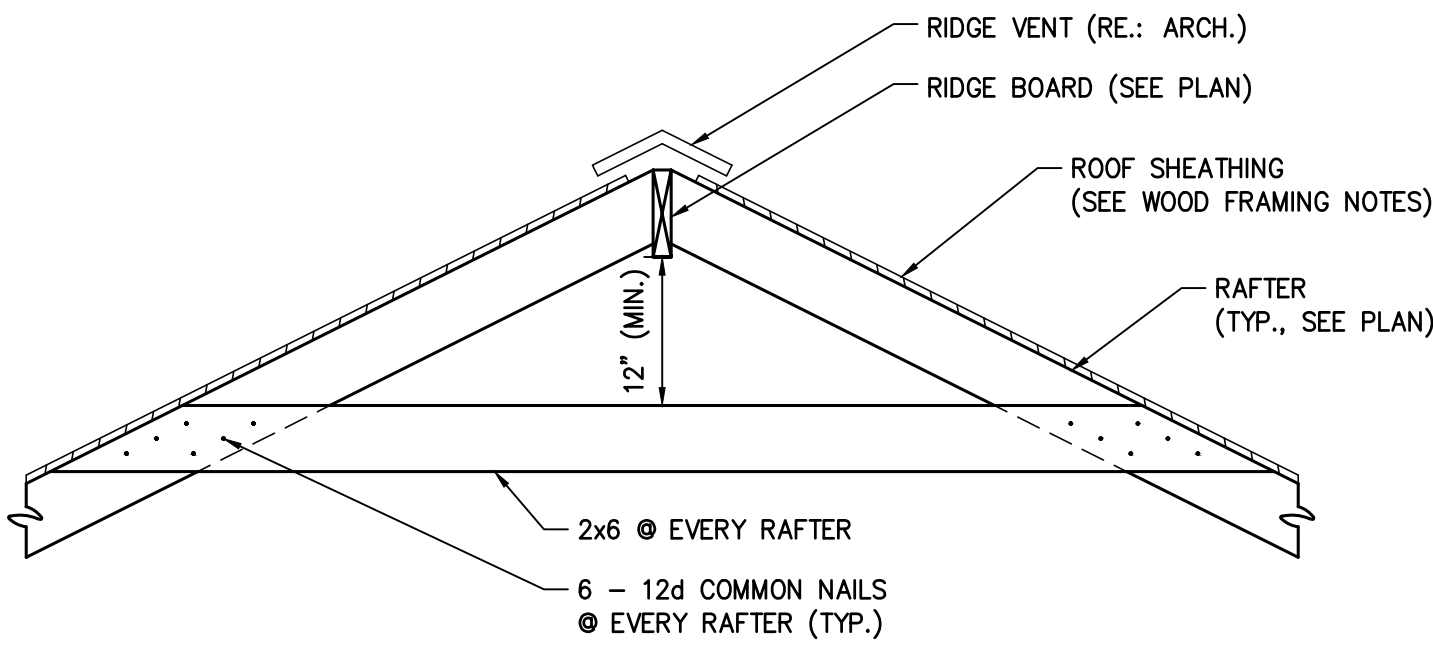
SCALE: 3/4" = 1'-0"

S2.0 | S2.0

SECTION 2

SCALE: 3/4" = 1'-0"

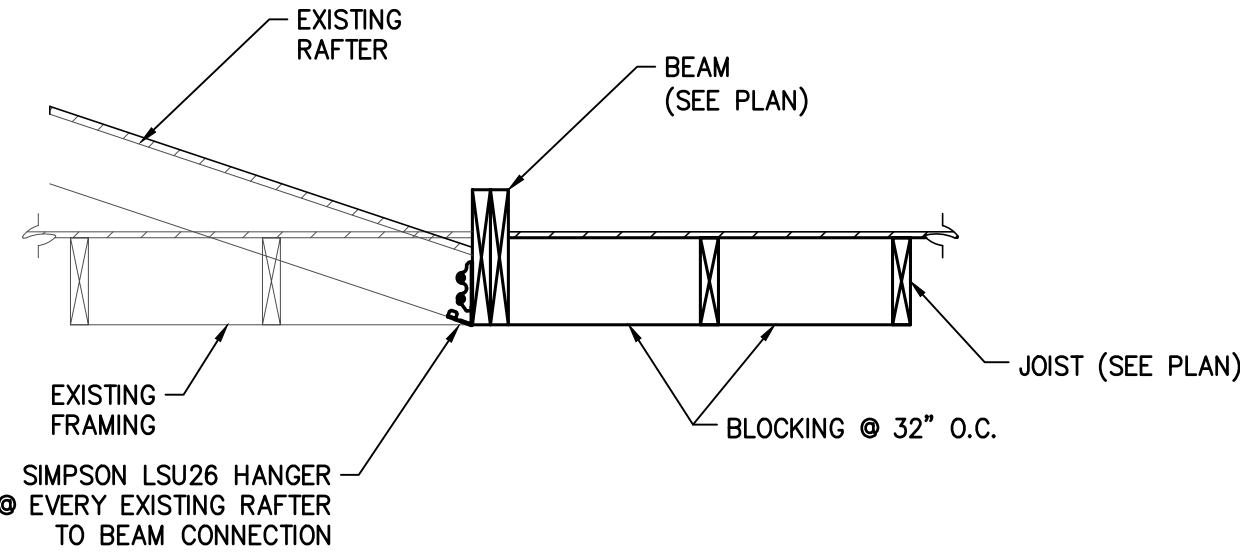
S2.0 | S2.0



SECTION 3

SCALE: 3/4" = 1'-0"

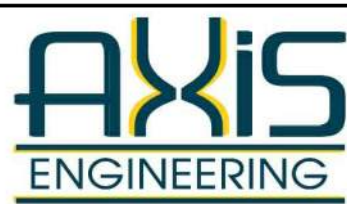
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SECTION 4

SCALE: 3/4" = 1'-0"

S2.0 | S2.0



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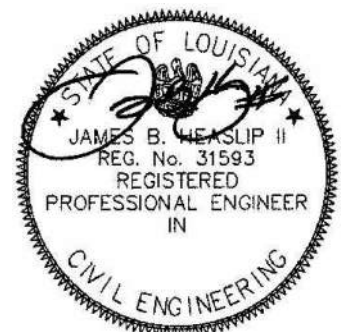
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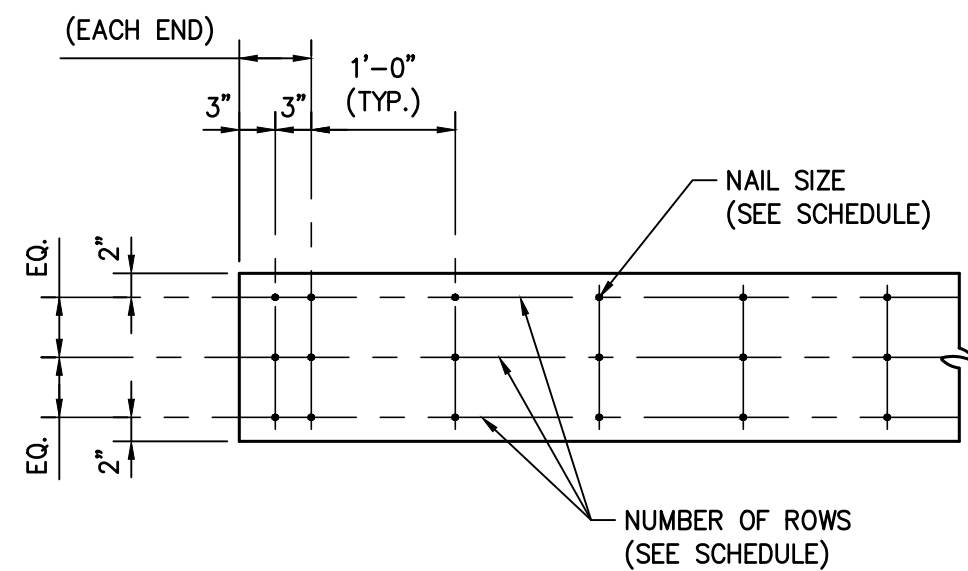
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ENGINEER: JAMES B HEASLIP AE PROJECT #: 22099

LICENSE NUMBER: 31593





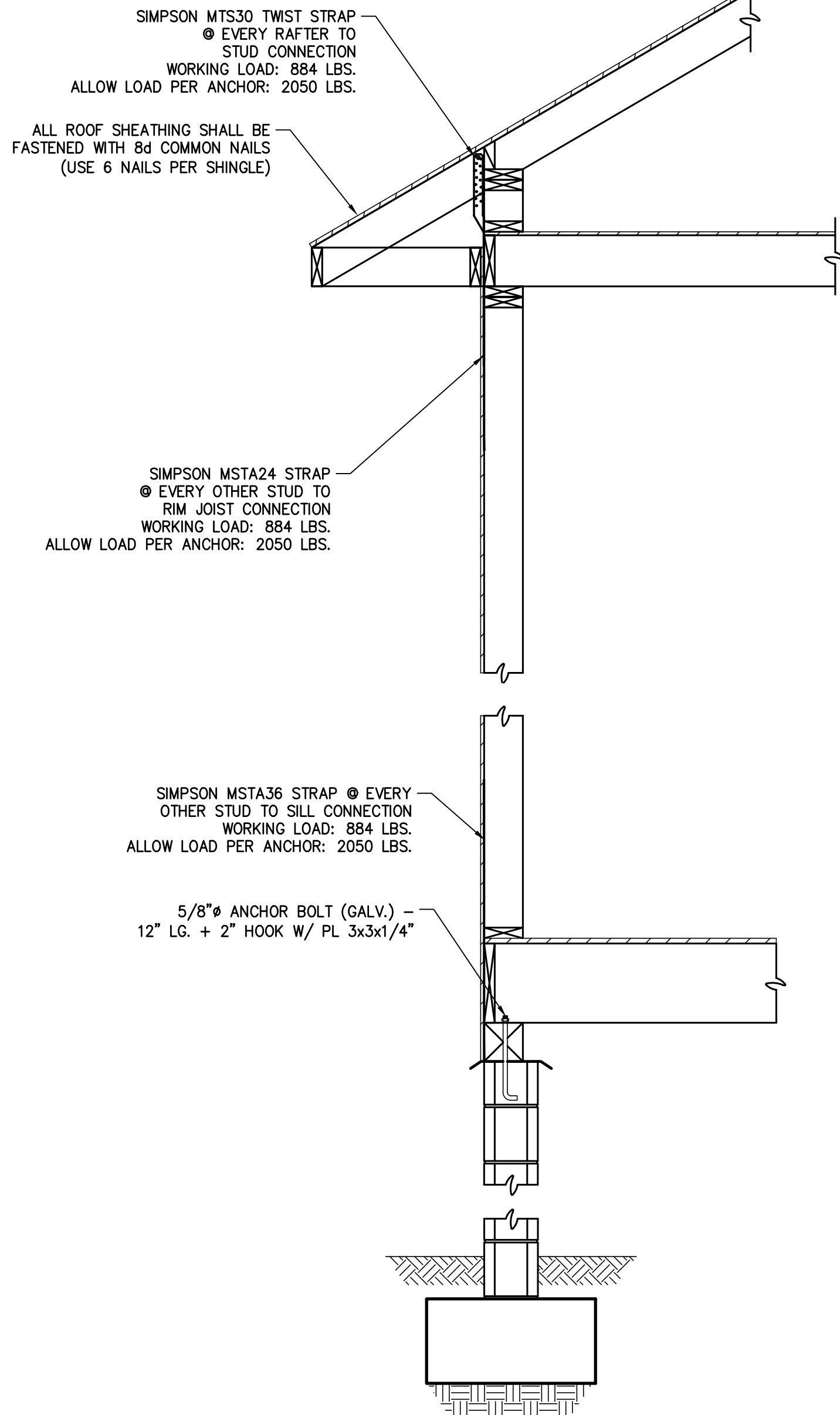
BEAM AND HEADER MEMBER SIZE	NUMBER OF ROWS	NAIL SIZE (COMMON NAIL)
(2) 2x8	2	12d
(2) 2x10	2	12d
(2) 2x12	3	12d
(3) 2x8	2	16d
(3) 2x10	2	16d
(3) 2x12	3	16d

NOTE:

ALL BEAM AND HEADER MEMBERS TO BE PROPERLY SHORED BY CONTRACTOR PRIOR TO NAILING MEMBERS TOGETHER.

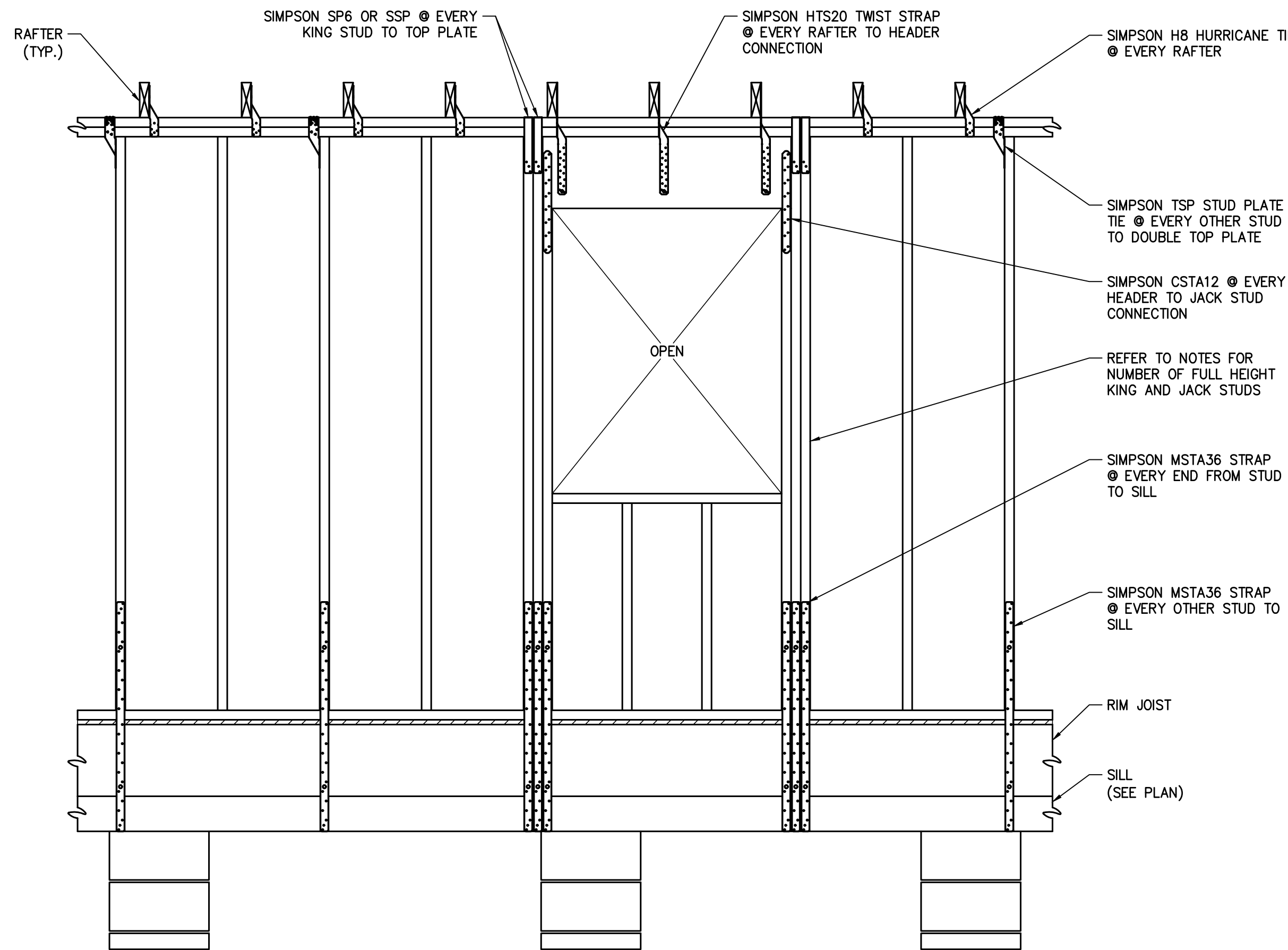
BEAM AND HEADER FASTENING PATTERN DETAIL

SCALE: N.T.S.



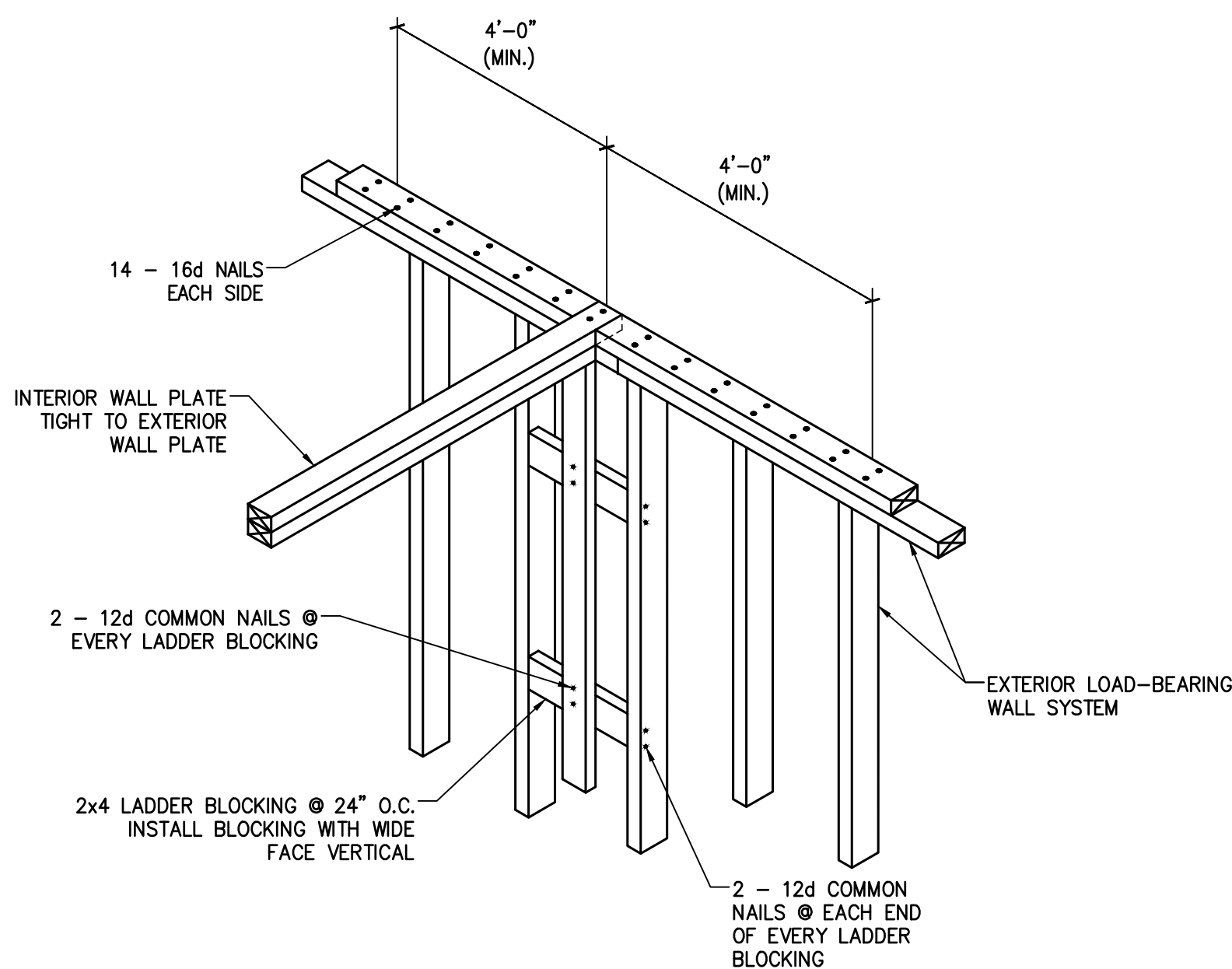
HURRICANE STRAPPING DIAGRAM

SCALE: 3/4" = 1'-0"



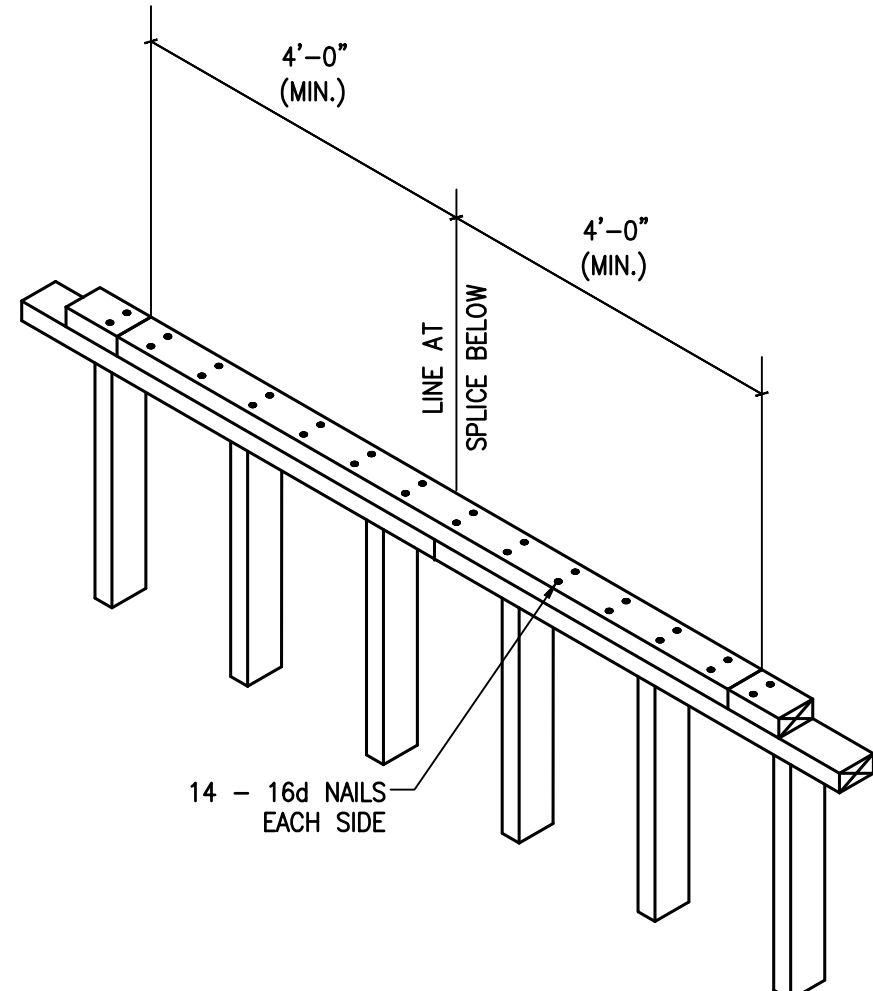
CONTINUOUS LOAD PATH @ OPENINGS

SCALE: 3/4" = 1'-0"



INTERIOR WALL INTERSECTION DETAIL

SCALE: N.T.S.



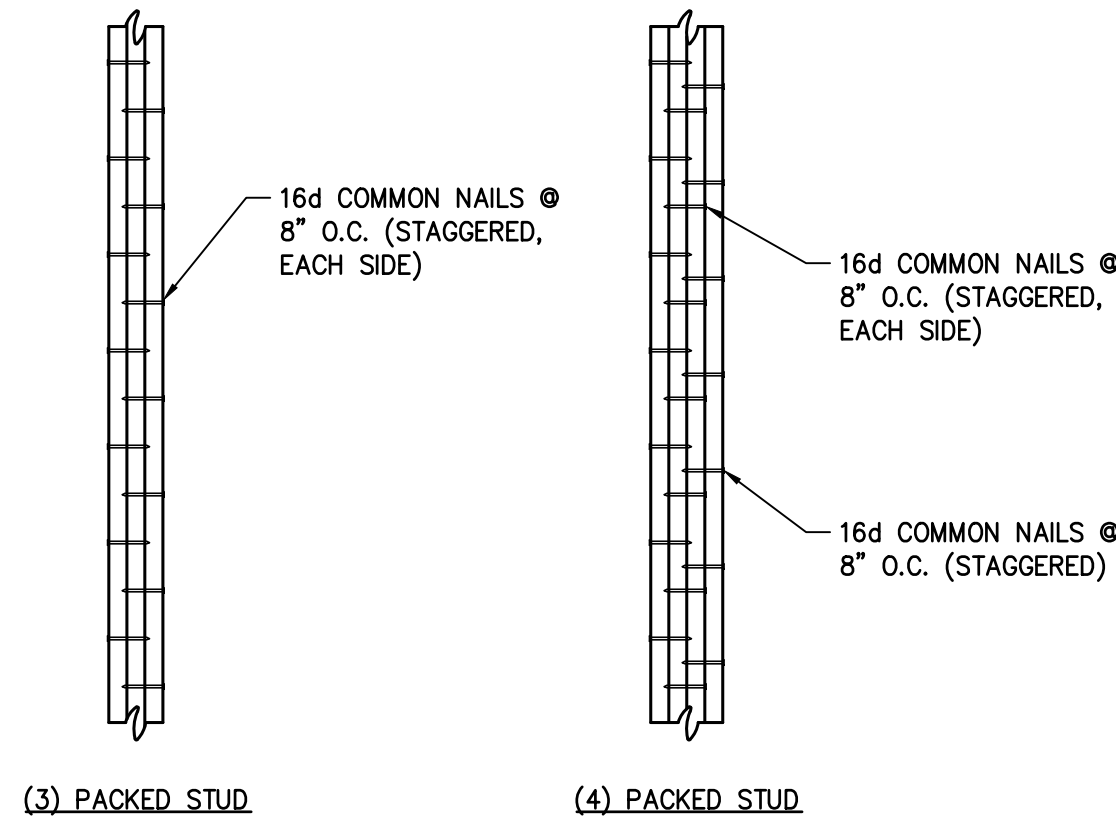
TOP PLATE SPLICE DETAIL

SCALE: N.T.S.

PACKED STUD SCHEDULE (INTERIOR BEAM COLUMNS)		PACKED STUDS REQUIRED FOR HEADERS IN EXTERIOR WALLS		
BEAM SIZE	MIN. NUMBER OF STUDS REQUIRED	OPENING SIZE	MIN. NUMBER OF JACK STUDS REQUIRED	MIN. NUMBER OF KING STUDS REQUIRED
(2) 2x8 or (2) 2x10 or (2) 2x12	3	0'-0" - 4'-0"	1	2
(3) 2x8 or (3) 2x10 or (3) 2x12	3	4'-1" - 8'-0"	2	3
(2) LVL	3	8'-1" - 10'-0"	3	4
(3) LVL	4	10'-1" - 12'-0"	3	5
(4) LVL	5	12'-1" - 16'-0"	3	6
DOUBLE TRUSS	5	16'-1" - 18'-0"	4	7

NOTES:

- PACKED STUD IS REQUIRED UNDER EACH BEAM END (UNLESS SHOWN OTHERWISE).
- ALL PACKED STUDS SHALL BE CARRIED DOWN TO THE FOUNDATION.
- FULL HEIGHT STUDS ARE REQUIRED FOR PACKED STUD CONSTRUCTION.
- SEE PACKED STUD DETAIL, THIS DRAWING.



PACKED STUD DETAIL

SCALE: N.T.S.



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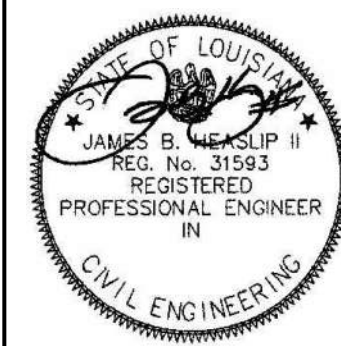
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AE PROJECT #: 22099

LICENSE NUMBER:

31593



DATE: 05/04/2022

PROJECT NO.: 2021-33

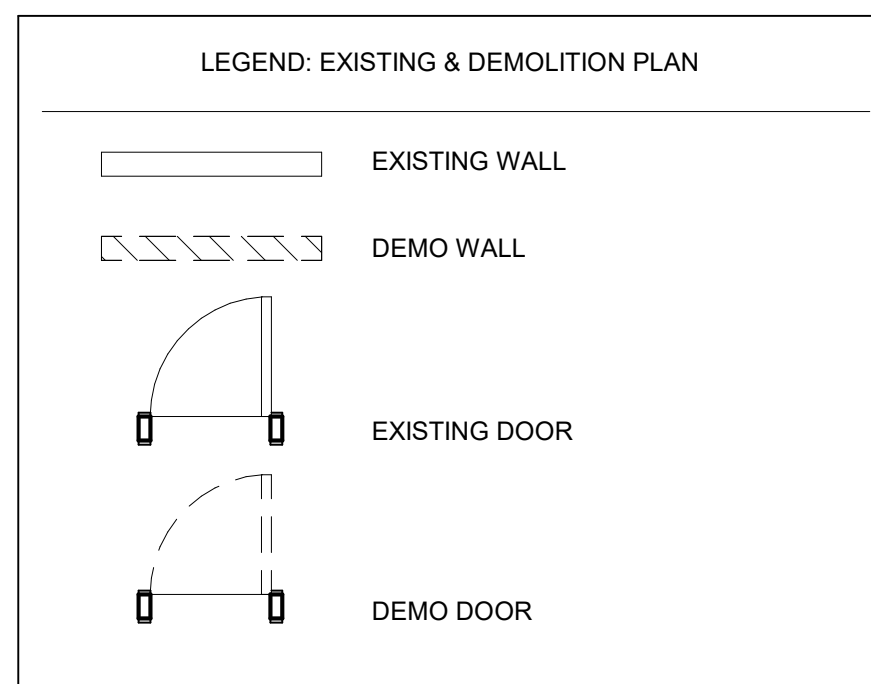
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SHEET NO.:

S2.1

CAD FILE NO: /

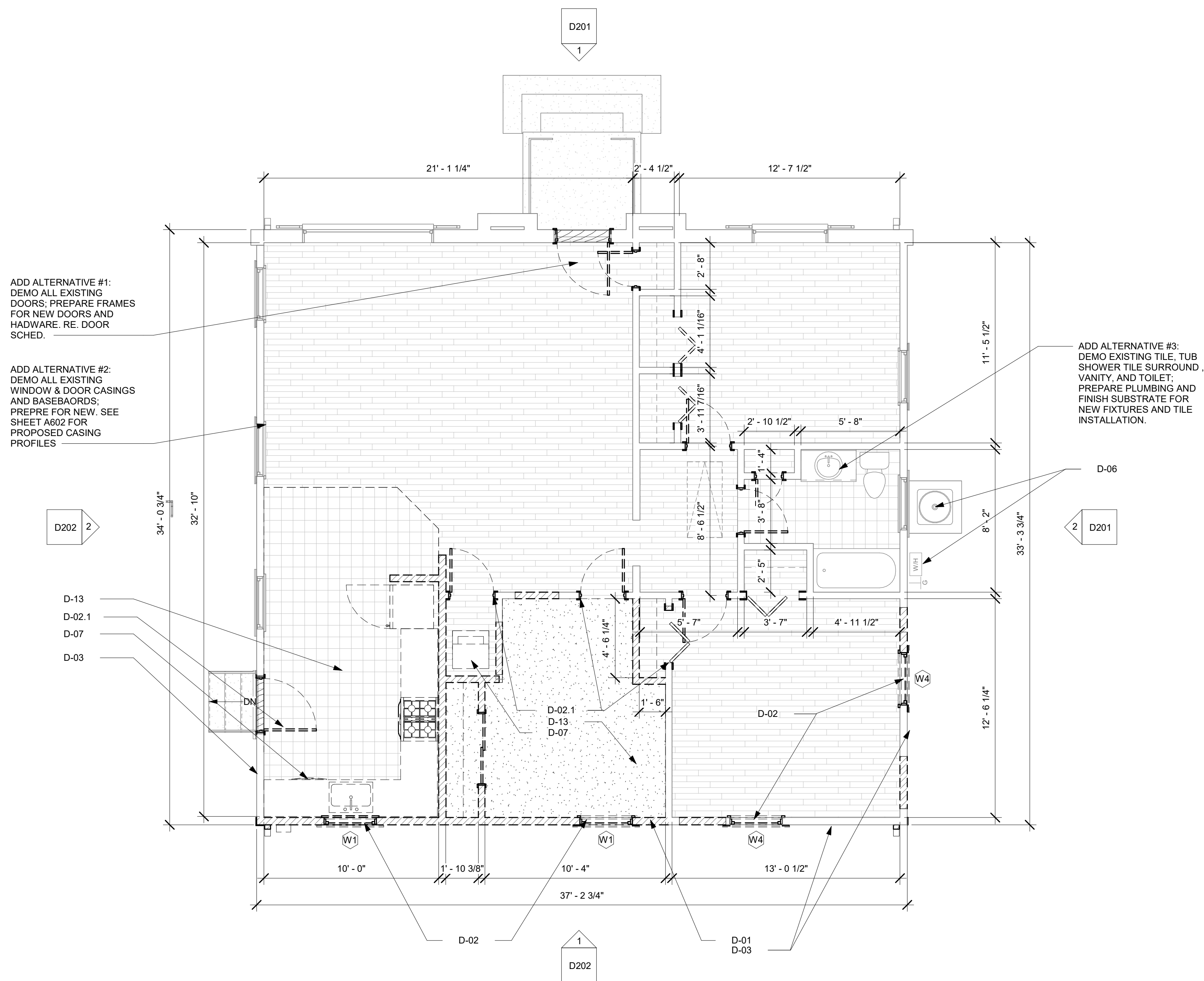


SHEET - KEYNOTES	
Key Value	Keynote Text
D-01	HATCH INDICATES AREA OF DEMO, TYP.; PROVIDE SHORING WHERE REQ.
D-02	REMOVE EXIST. WINDOW AT THIS LOCATION; RETAIN EXIST. ASSEMBLY FOR INSTALLATION AT NEW LOCATION. TAG INDICATES LOCATION OF REUSE ON SHEET A101. PREPARE OPENING FOR INFILL.
D-02.1	REMOVE EXIST. DOOR AT THIS LOCATION; RETAIN EXIST. ASSEMBLY FOR INSTALLATION AT NEW LOCATION. TAG INDICATES LOCATION OF REUSE ON SHEET A101. PREPARE OPENING FOR NEW DOOR OR WALL INFILL.
D-03	REMOVE EXISTING VINYL SLIDING FINISH AT THIS LOCATION; REPAIR / PREPARE SUBSTRATE FOR INSTALLATION OF NEW FINISH AS PER PROPOSED PLANS.
D-06	RETAIN EXIST. ELEMENT; PROVIDE PROTECTION THROUGHOUT CONSTRUCTION.
D-07	RETAIN EXIST. APPLIANCE; PROVIDE PROTECTION THROUGHOUT CONSTRUCTION.
D-13	REMOVE FLOORING FINISH IN THIS ROOM TO EXPOSE HARWOOD FLOORS BELOW.

- GENERAL DEMOLITION NOTES**
-
1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND REPORT DISCREPANCIES IN EXISTING CONDITIONS DRAWINGS TO ARCHITECT.
 2. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING & BRACING, TO ENSURE PLUMBNESS, STABILITY AND SAFETY, WHENEVER REQUIRED TO SUPPORT LOADS THAT MAY BE IMPOSED ON THE STRUCTURE DURING DEMOLITION AND CONSTRUCTION.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING & OBJECTS OUTSIDE THE DEMO SCOPE DUE TO DEMOLITION.
 4. CONTRACTOR SHALL REMOVE FROM BUILDING SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION.
 5. CONTRACTOR SHALL REMOVE EXISTING ELECTRICAL WORK AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING ELECTRICAL NOT UP TO CODE.
 6. CONTRACTOR SHALL REMOVE ALL EXISTING PLUMBING LINES & BRANCHES AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING PLUMBING NOT UP TO CODE.
 7. CONTRACTOR SHALL PREPARE BUILDING AS REQUIRED FOR PROPOSED HVAC WORK. ADDITIONAL SELECTIVE DEMOLITION MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING HVAC EQUIPMENT & DUCTWORK NOT UP TO CODE.
 8. CONTRACTOR SHALL REMOVE ALL EXISTING ACCESSORIES, LIGHT FIXTURES AND APPLIANCES. SAVE FOR REVIEW BY **OWNER**.
 9. ALL REMOVED DOORS, WINDOWS, AND ASSOCIATED HARDWARE AS NOTED BY THE PLANS TO BE REVIEWED BY OWNER PRIOR TO DISPOSAL.
 10. CONTRACTOR TO INSPECT ALL EXISTING FRAMING AND DEMOLISH ALL TERMITE DAMAGED FRAMING. PREPARE FOR REPLACEMENT WITH NEW TREATED MEMBERS TO MATCH EXISTING IN SIZE.
 11. CONTRACTOR SHALL DONATE ALL MATERIALS, DOORS, WINDOWS, APPLIANCES, CABINETS, VANITIES, HISTORICAL DETAILS DESIGNATED FOR REMOVAL TO THE NON-PROFIT SALVAGE BUILDING SUPPLY STORE, THE GREEN PROJECT. CONTRACTOR SHALL ARRANGE PICK-UP OF MATERIALS DIRECTLY WITH A GREEN PROJECT REPRESENTATIVE & PROVIDE RECEIPT TO CLIENT. ANY ITEMS DONATED WITHOUT OWNER CONSENT, SHALL BE REPLACED & INSTALLED BY CONTRACTOR AT NO COST TO OWNER.



1139 ORETHA CASTLE HALEY
NEW ORLEANS, LA 70113
504.322.1220

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29 APR. 2022	CD95
27 APR. 2022	CD90
25 APR. 2022	CD85
15 APR. 2022	CD80
14 MAR. 2022	SD-
07 MAR. 2022	EC-

Project: #2021-33**LeBEAU & JONES RESIDENCE
RENOVATION/ADDITION**

ADDRESS:
6325 DOVER PL.
NEW ORLEANS, LA 70131

EXISTING / DEMO FIRST FLOOR PLAN & NOTES



DATE: 5/17/2022 11:12:45 AM

PROJECT NO.: 2021-33

DRAWING BY:: ADB/JI

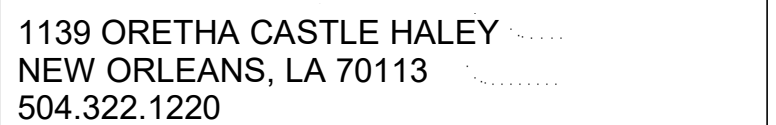
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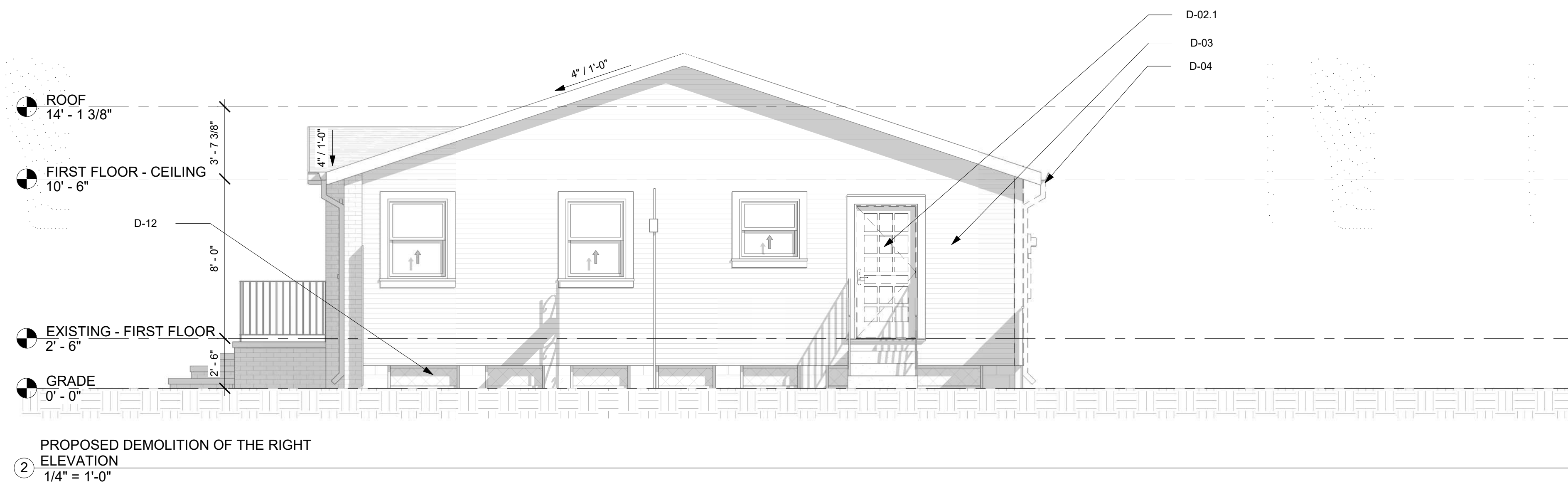
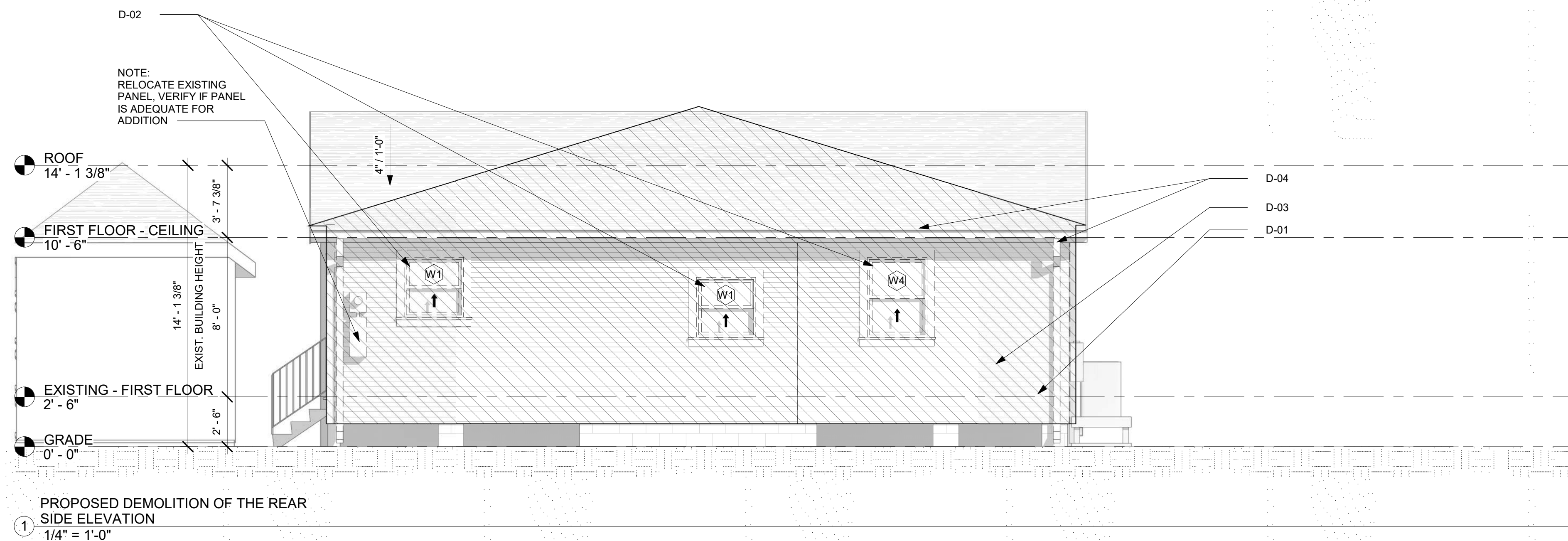
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2024 201PPE OUTCD	

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SHEET - KEYNOTES	
Key Value	Keynote Text
D-01	HATCH INDICATES AREA OF DEMO, TYP.: PROVIDE SHORING WHERE REQ.
D-02	REMOVE EXIST. WINDOW AT THIS LOCATION; RETAIN EXIST. ASSEMBLY FOR INSTALLATION AT NEW LOCATION. TAG INDICATES LOCATION OF REUSE ON SHEET A101. PREPARE OPENING FOR INFILL.
D-02.1	REMOVE EXIST. DOOR AT THIS LOCATION; RETAIN EXIST. ASSEMBLY FOR INSTALLATION AT NEW LOCATION. TAG INDICATES LOCATION OF REUSE ON SHEET A101. PREPARE OPENING FOR NEW DOOR OR WALL INFILL.
D-03	REMOVE EXISTING VINYL SIDING FINISH AT THIS LOCATION; REPAIR / PREPARE SUBSTRATE FOR INSTALLATION OF NEW FINISH AS PER PROPOSED PLANS.
D-04	REMOVE EXIST. ROOFING, GUTTERS, AND D.S.; PREPARE FOR NEW AS PER PROPOSED PLANS.
D-12	REMOVE EXIST DECORATIVE LATTICE IN BETWEEN PIERs.

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND REPORT DISCREPANCIES IN EXISTING CONDITIONS DRAWINGS TO ARCHITECT.
2. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING & BRACING, TO ENSURE PLUMBNESS, STABILITY AND SAFETY, WHENEVER REQUIRED TO SUPPORT LOADS THAT MAY BE IMPOSED ON THE STRUCTURE DURING DEMOLITION AND CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING & OBJECTS OUTSIDE THE DEMO SCOPE DUE TO DEMOLITION.
4. CONTRACTOR SHALL REMOVE FROM BUILDING SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION.
5. CONTRACTOR SHALL REMOVE EXISTING ELECTRICAL WORK AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING ELECTRICAL NOT UP TO CODE.
6. CONTRACTOR SHALL REMOVE ALL EXISTING PLUMBING LINES & BRANCHES AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING PLUMBING NOT UP TO CODE.
7. CONTRACTOR SHALL PREPARE BUILDING AS REQUIRED FOR PROPOSED HVAC WORK. ADDITIONAL SELECTIVE DEMOLITION MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING HVAC EQUIPMENT & DUCTWORK NOT UP TO CODE.
8. CONTRACTOR SHALL REMOVE ALL EXISTING ACCESSORIES, LIGHT FIXTURES AND APPLIANCES. SAVE FOR REVIEW BY OWNER.
9. ALL REMOVED DOORS, WINDOWS, AND ASSOCIATED HARDWARE AS NOTED BY THE PLANS TO BE REVIEWED BY OWNER PRIOR TO DISPOSAL.
10. CONTRACTOR TO INSPECT ALL EXISTING FRAMING AND DEMOLISH ALL TERMITE DAMAGED FRAMING; PREPARE FOR REPLACEMENT WITH NEW TREATED MEMBERS TO MATCH EXISTING IN SIZE.
11. CONTRACTOR SHALL DONATE ALL MATERIALS, DOORS, WINDOWS, APPLIANCES, CABINETS, VANITIES, HISTORICAL DETAILS DESIGNATED FOR REMOVAL TO THE CITY OF SALT LAKE COUNTY SUPPLY STORE, THE GREEN PROJECT. CONTRACTOR SHALL ARRANGE PICK-UP OF MATERIALS DIRECTLY WITH A 'GREEN PROJECT' REPRESENTATIVE & PROVIDE RECEIPT TO CLIENT. ANY ITEMS DONATED WITHOUT OWNER CONSENT, SHALL BE REMOVED & INSTALLED BY CONTRACTOR AT NO COST TO OWNER.



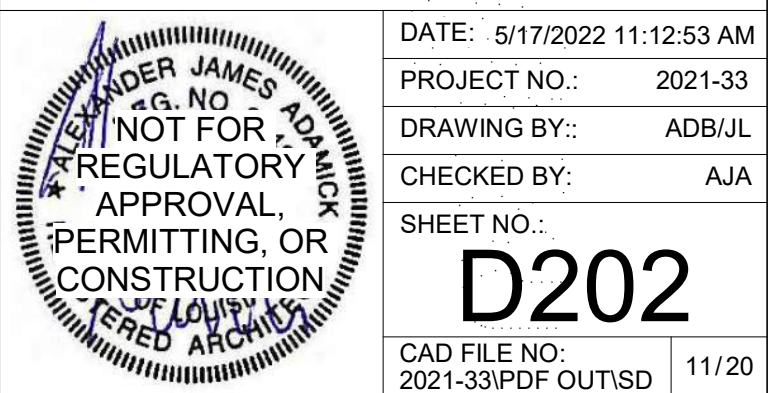
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Project: #2021-33






**LeBEAU & JONES RESIDENCE
RENOVATION/ADDITION**

**ADDRESS:
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NEW ORLEANS, LA 70131**

EXISTING / DEMO EXTERIOR ELEVATIONS & NOTES



LEGEND: CONSTRUCTION PLAN

	EXISTING WALL
	NEW WALL
	NEW DOOR
	EXISTING DOOR
	WOOD THRESHOLD

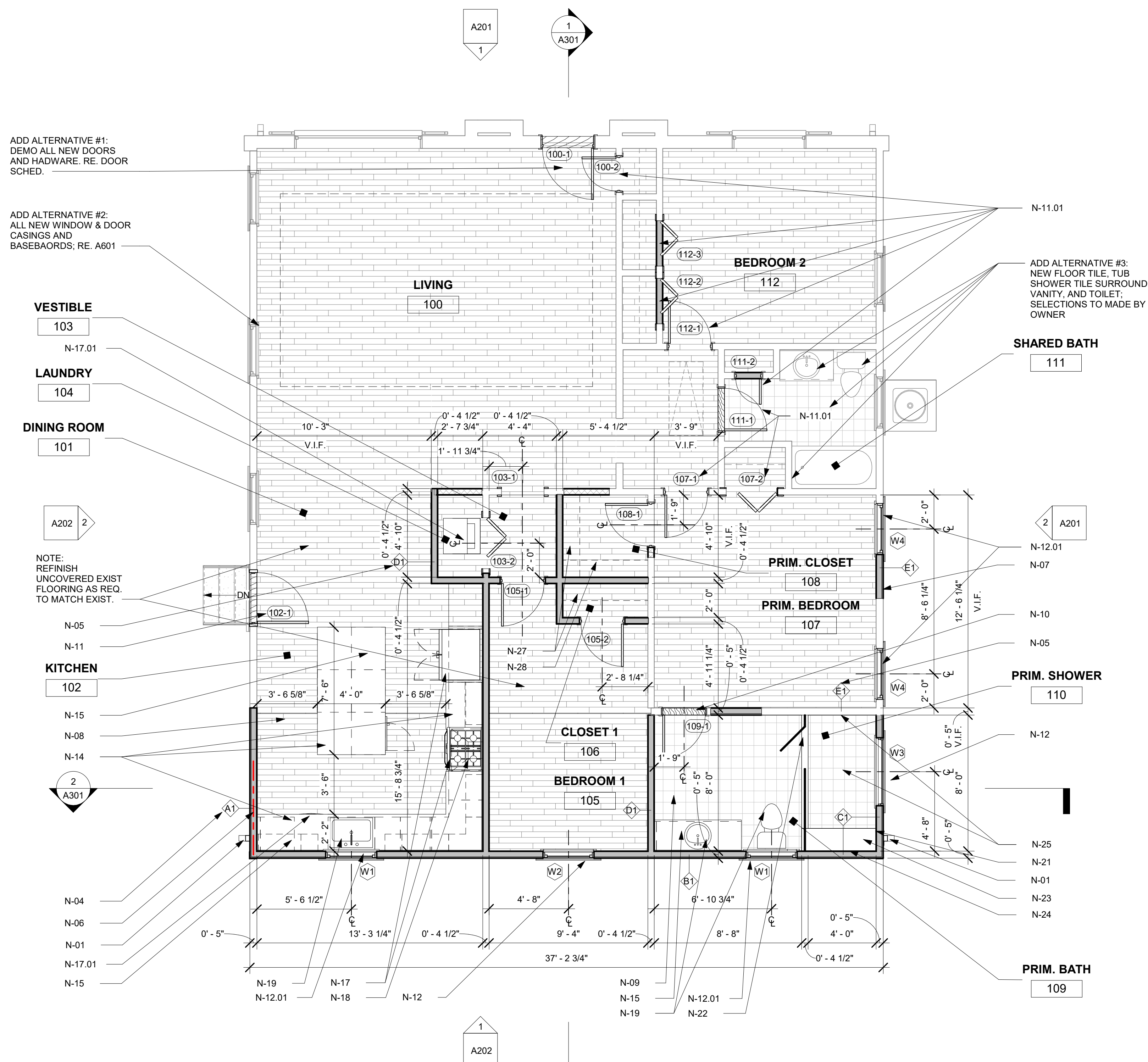
SHEET - KEYNOTES	
Key Value	Keynote Text
N-01	NEW ALUMINUM BAKED 5 1/2" K-STYLE GUTTERS CONNECTED TO 3 1/2" REC. D.S. BELOW. TYP.
N-04	NEW EXT. WALL, TYP. PER TAG; RE. WALL SCHED. & STRUC. RE. DTL 3/501
N-05	NEW INT. WALL, TYP. PER TAG; RE. WALL SCHED. & STRUC. RE. DTL 3/501
N-06	NEW EXT. 1-HR RATED WALL, TYP. PER TAG; RE. WALL SCHED.
N-07	NEW WALL / CLG. INFILL AT THIS LOCATION TO MATCH EXIST IN THICKNESS & FINISH.
N-08	NEW HARDWOOD FLOORING TO MATCH EXISTING THROUGHOUT UNLESS NOTED OTHERWISE; RE. ROOM SCHED.
N-09	NEW TILE FLOORS AT THIS LOCATION; RE. ROOM SCHED.
N-10	SYMBOL INDICATES NEW WOOD THRESHOLD TO FLOOR WOOD FLOORING. TYP.
N-11	NEW DOOR, TYP. PER TAG; RE. DOOR SCHED.
N-11.01	NEW DOOR IN SAME LOCATION AS EXISTING DOOR FRAMING; RE. DOOR SCHED.
N-12	NEW WINDOW, TYP. PER TAG; RE. WINDOW SCHED.
N-12.01	SALVAGED WINDOW, TYP. PER TAG; RE. WINDOW SCHED.
N-14	NEW SOLID SURFACE COUNTERTOP AT THIS LOCATION; GC TO COORD. SELECTION W/ OWNER & VENDOR AS REQ.
N-15	NEW MILLWORK (CABINETS / ETC.) AT THIS LOCATION; GC TO COORD. SELECTIONS W/ OWNER & VENDOR AS REQ.

SHEET - KEYNOTES	
Key Value	Keynote Text
N-17	NEW APPLIANCES AT THIS LOCATION; GC TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-17.01	RE-INSTALL EXIST. APPLIANCE AS REQ. FOR PROPER FUNCTION.
N-18	NEW EXHAUST HOOD AT THIS LOCATION; GC TO SIZE HOOD PER EXHAUST LOAD OF RANGE; COORD. SELECTION W/ OWNER.
N-19	NEW PLUMBING FIXTURES, AT THIS ROOM; GC & PLUMBER TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-21	NEW WALL TILE UP TO 8'-0" CEILING; GC TO COORD. SELECTIONS W/ OWNER & VENDORS AS REQ.
N-22	NEW FRAMELESS GLASS SHOWER ENCLOSURE & DOOR AT THIS LOCATION; GC TO COORD. CURB & WALL DESIGN W/ OWNER.
N-23	NEW SHOWER BENCH W/ STONE TOP; GC, TO COORD. SIZE, LOCATION, & SELECTIONS W/ OWNER & VENDORS AS REQ.
N-24	NEW TILED SHOWER NICHE W/ STONE SILL; GC TO COORD. SIZE, LOCATION, & SELECTIONS W/ OWNER & VENDORS AS REQ.
N-25	PROVIDE TWO SEPARATE VALVES FOR FIXED HEAD FAUCET & RAINHEAD FAUCET; GC TO COORD. SELECTIONS W/ OWNER & VENDORS.
N-27	NEW SINGLE ROD W/ SINGLE SHELF AT THIS LOCATION; GC TO COORD. LAYOUT, HEIGHT, & SPACING W/ OWNER.
N-28	NEW DOUBLE ROD & DOUBLE SHELVES THIS LOCATION; GC, TO COORD. LAYOUT, HEIGHT, & SPACING W/ OWNER.

1. ALL DIMENSIONS ARE "FINISH TO FINISH," UNLESS NOTED OTHERWISE. GC TO VERIFY ALL DIMS. IN FIELD.
2. GC WILL PROVIDE BATT INSULATION IN CAVITIES OF ANY EXTERIOR WALL. SEE SHEETS A351 & A501 FOR INSULATION STRATEGY.
3. GC TO INSTALL DRAFT STOPS IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED IN ACCORDANCE WITH IRC 2015 SECTION R302.12.
4. GC WILL REPLACE FIREPROOFING IF DISTURBED OR FOUND DEFICIENT DURING THE COURSE OF CONSTRUCTION.
5. GC TO PROVIDE WINDOWS & DOORS TO BE SELECTED BY GC, AND APPROVED BY THE OWNER PRIOR TO PURCHASE AND INSTALL. ALL NEW WINDOWS & DOORS TO BE INSTALLED USING MANUFACTURERS SPECS. ALL EXTERIOR DOORS & WINDOWS TO HAVE NEW DRIP CAP. CASING **(TO MATCH EXISTING)**. SEE WINDOW & DOORS SCHEDULE ON SHEET A601 FOR SIZING AND GENERAL WINDOW NOTES.
6. ALL NEW SIDING TO BE HARDIE BOARD WITH SMOOTH FINISH WITH 5 1/2" EXPOSURE, OR EXPOSURE TO MATCH EXISTING. ALL NEW TRIM AND CORNER BOARDS TO BE 5" HARDIE BOARD UNLESS SPECIFIED OTHERWISE. FINISH COLOR TO BE SELECTED BY OWNER, GC TO COORDINATE A MIN. OF TWO (2) SAMPLES.
7. GC TO PROVIDE PROTECTION FOR ALL NEW INSTALLED MATERIALS, FIXTURES, MILLWORK, APPLIANCES, ETC. AND TURNED OVER AT FINAL COMPLETION FREE OF BLEMISHES, DENTS, GC RESPONSIBLE FOR REPLACING/ FIXING ANY DAMAGED ITEMS AT END OF CONSTRUCTION.



1139 ORETHA CASTLE HALEY
NEW ORLEANS, LA 70113
504.322.1220

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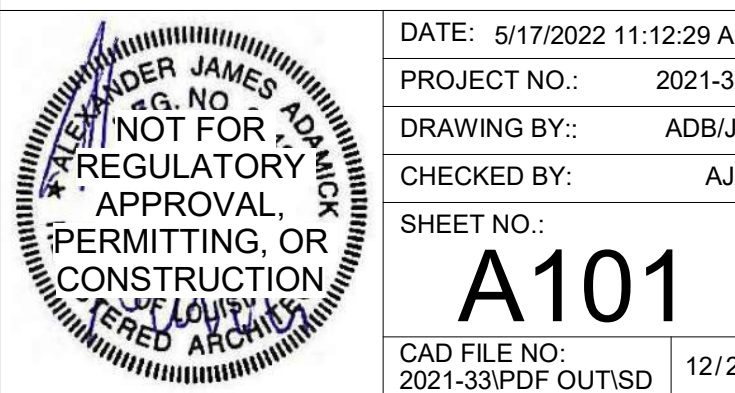
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Project: #2021-33

**LeBEAU & JONES RESIDENCE
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PROPOSED FIRST FLOOR PLAN & NOTES



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PROPOSED EXTERIOR ELEVATIONS & NOTES

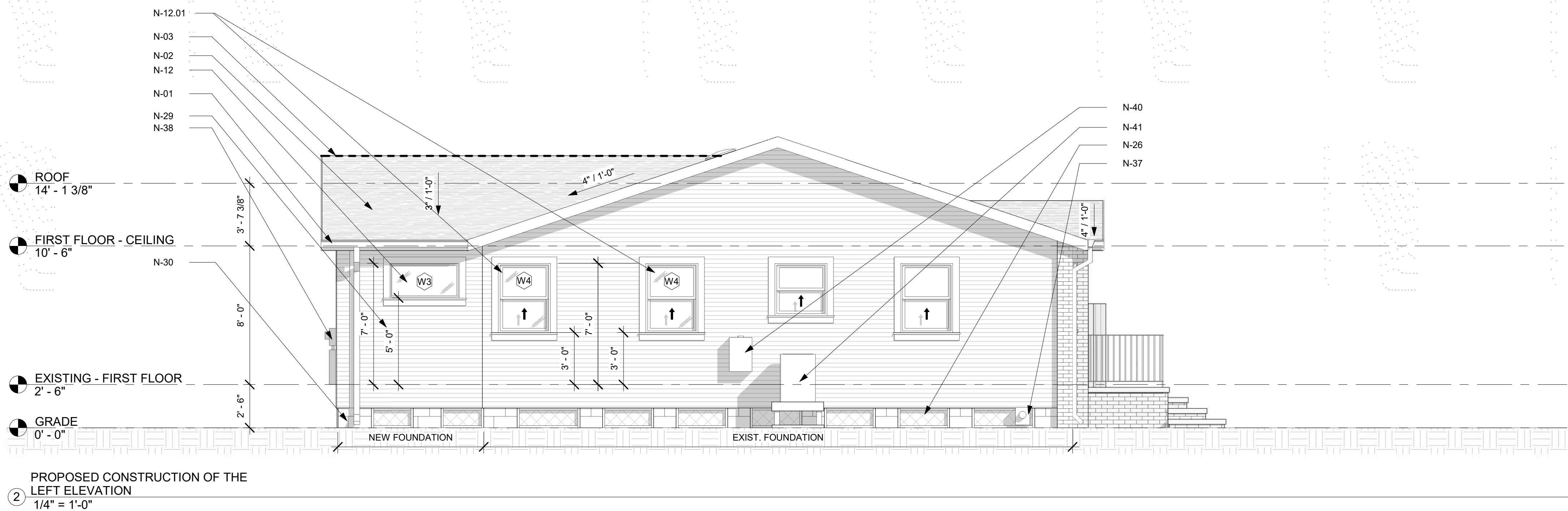


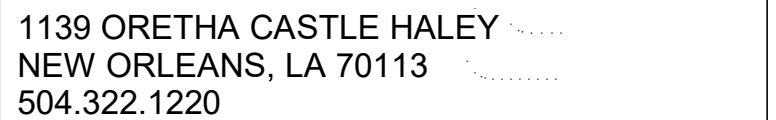
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PROJECT NO.:	2021-33
DRAWING BY.:	ADB/JL
CHECKED BY:	AJA
SHEET NO.:	
A201	
CAD FILE NO: 2021-33/PDF OUTSD	13/20

SHEET - KEYNOTES	
Key Value	Keynote Text
N-01	NEW ALUMINUM BAKED 5/12" K-STYLE GUTTERS CONNECTED TO 3/12" REC. D.S. BELOW, TYP.
N-02	NEW ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP NEW SHEATHING; RE. STRUC. FOR SHEATHING SIZE.
N-03	NEW ROOF RIDGE VENT; RE. STRUC.
N-12	NEW WINDOW, TYP. PER TAG; RE. WINDOW SCHED.
N-12.01	SALVAGED WINDOW, TYP. PER TAG; RE. WINDOW SCHED.
N-26	NEW DECORATIVE LATTICE BETWEEN PIERS TO MATCH EXISTING. GC. TO COORD. LAYOUT, HEIGHT, & SPACING W/ OWNER.
N-29	NEW HARDIEPLANK LAPSIDING W/ SMOOTH FINISH AND 5/12" EXPOSURE. TRIM & CORNERBOARDS TO BE 5/12" HARDIEPLANK TRIM.
N-30	NEW FOUNDATION (W/ SKIRT BOARDING, RE. DTL XA501); RE. STRUC.
N-37	EXIST. LOCATION OF GAS METER; PLUMBING TO COORD. INSTALL W/ ENERGY AS REQ.
N-38	PROPOSED LOCATION OF ELECTRICAL METER; ELECTRICIAN TO COORD. INSTALL W/ (REVIEW EXISTING METER IS ADEQUATE FOR ADDITION & COORD. NEW INSTALLATION AS REQ.)
N-40	EXIST. LOCATION OF TANKLESS GAS W.H.; PLUMBING TO SIZE & PROVIDE DEDICATED GAS LINE; REINSTALL AS REQ. FOR PROPER FUNCTION.
N-41	EXIST. LOCATION OF 16 SEER A/C CONDENSER ON PTL WOOD PLANTATION 3'-0" A.F. G. PROVIDE REQ. CLEARANCES I.A.W. CODE. GC. TO VERIFY EXIST. HVAC SYSTEM IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL AND PROVIDE NEW DUCTING AS REQ. AT ADDITION.

GENERAL CONSTRUCTION NOTES

1. ALL DIMENSIONS ARE "FINISH TO FINISH", UNLESS NOTED OTHERWISE. GC TO VERIFY ALL DIMS. IN FIELD.
2. GC WILL PROVIDE BATT INSULATION IN CAVITIES OF ANY EXTERIOR WALL. SEE SHEETS A351 & A501 FOR INSULATION STRATEGY.
3. GC TO INSTALL DRAFT STOPS IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED IN ACCORDANCE WITH IRC 2015 SECTION R302.12.
4. GC WILL REPLACE FIREPROOFING IF DISTURBED OR FOUND DEFICIENT DURING THE COURSE OF CONSTRUCTION.
5. ALL NEW WINDOWS & DOORS TO BE SELECTED BY GC, AND APPROVED BY THE OWNER PRIOR TO PURCHASE AND INSTALL. ALL NEW WINDOWS & DOORS TO BE INSTALLED USING MANUFACTURERS SPECS. ALL EXTERIOR DOORS & WINDOWS TO HAVE NEW DRS CAL CASING **(TO NOT EXISTING)**. SEE WINDOW & DOORS SCHEDULE ON SHEET A601 FOR SIZING AND GENERAL WINDOW NOTES.
6. ALL NEW SIDING TO BE HARDIE BOARD WITH SMOOTH FINISH WITH 5 1/2" EXPOSURE, OR EXPOSURE TO MATCH EXISTING. ALL NEW TRIM AND CORNER BOARDS TO BE 5" HARDWOOD. SEE SHEET 0501 OTHERWISE. FINISH COLOR TO BE SELECTED BY OWNER, GC TO COORDINATE A MIN. OF TWO (2) SAMPLES.
7. GC TO PROVIDE PROTECTION FOR ALL NEW INSTALLED MATERIALS, FIXTURES, MILLWORK, APPLIANCES, ETC. AND TURNED OVER AT FINAL COMPLETION FREE OF BLEMISHES, DENTS, GC RESPONSIBLE FOR REPLACING/ FIXING ANY DAMAGED ITEMS AT END OF CONSTRUCTION.



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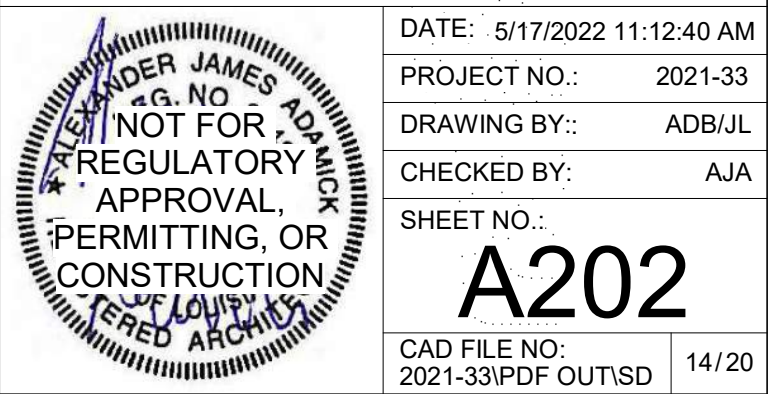
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Project: #2021-33

**LeBEAU & JONES RESIDENCE
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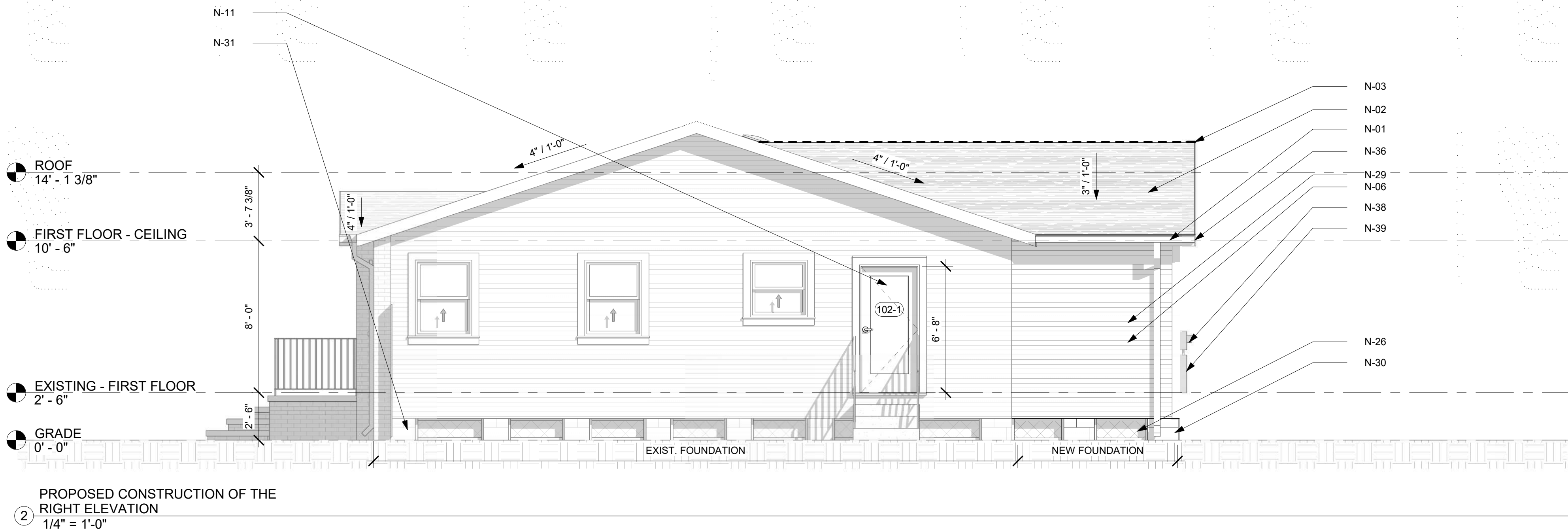
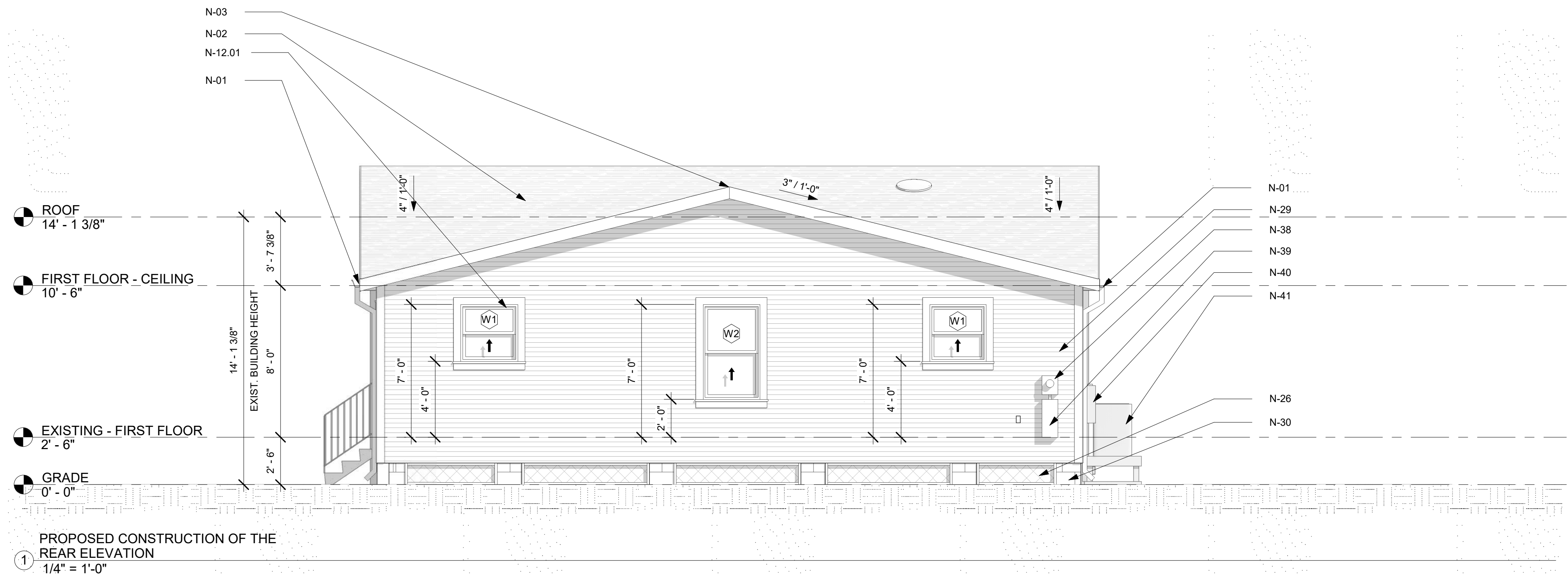
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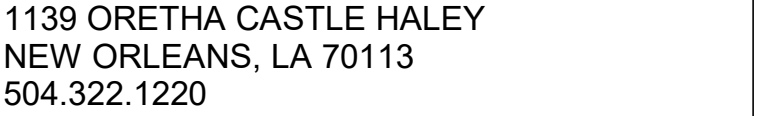
PROPOSED EXTERIOR ELEVATIONS & NOTES



SHEET - KEYNOTES	
Key Value	Keynote Text
N-01	NEW ALUMINUM BAKED 5 1/2" K-STYLE GUTTERS CONNECTED TO 3 1/2" REC. D.S. BELOW, TYP.
N-02	NEW ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT AT TOP NEW SHEATHING, RE. STRUC. FOR SHEATHING SIZE.
N-03	NEW ROOF RIDGE VENT; RE. STRUC.
N-06	NEW EXT. 1-HR RATED WALL, TYP. PER TAG; RE. WALL SCHED.
N-11	NEW DOOR, TYP. PER TAG; RE. DOOR SCHED.
N-12.01	SALVAGED WINDOW, TYP. PER TAG; RE. WINDOW SCHED.
N-26	NEW DECORATIVE LATTICE BETWEEN PIERS TO MATCH EXISTING G.C. TO COORD. LAYOUT, HEIGHT, & SPACING W/ OWNER.
N-27	NEW HARDIEPLANK LAPSIDING W/ SMOOTH FINISH AND 5 1/2" EXPOSURE, TRIM & CORNERBOARDS TO BE 5 1/2" HARDIE/TRIM.
N-30	NEW FOUNDATION (W/ SKIRT BOARDING, RE. DTL A5A01). RE. STRUC.
N-31	REPAIR EXIST. PIERS W/ LIME RICH MORTAR RECIEPE, TYP.
N-36	NEW RATED SOFFIT / OVERHANG AT THIS LOCATION; RE. DTL 2/501
N-38	PROPOSED LOCATION OF ELECTRICAL METER; ELECTRICIAN TO COORD. INSTALL. W/ (REVIEW EXISTING METER IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL) ENTERGY AS REQ.
N-39	PROPOSED LOCATION OF ELECTRICAL PANEL. ELECTRICIAN TO COORD. LOCATION W/ OWNER.
N-40	EXIST. LOCATION OF TANKLESS GAS W.H., PLUMBER TO SIZE & PROVIDE DEDICATED GAS LINE. REINSTALL AS REQ. FOR PROPER FUNCTION.
N-41	EXIST. LOCATION OF 16 SEER A/C CONDENSER ON PLT WOOD PLATFORM 3'-0" A.F.G. PROVIDE REQ. CLEARANCES I.A.W. CODE. GC. TO VERIFY EXIST. HVAC SYSTEM IS ADEQUATE FOR ADDITION & COORD. NEW INSTALL AND PROVIDE NEW DUCTING AS REQ. AT ADDITION.

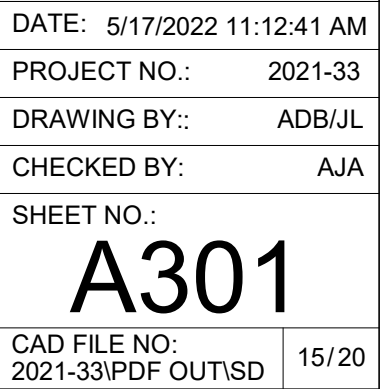
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2. GC WILL PROVIDE BATT INSULATION IN CAVITIES OF ANY EXTERIOR WALL. SEE SHEETS A351 & A501 FOR INSULATION STRATEGY.
3. GC TO INSTALL DRAFT STOPS IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED IN ACCORDANCE WITH IRC 2015 SECTION R302.12.
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5. ALL NEW WINDOWS & DOORS TO BE SELECTED BY GC, AND APPROVED BY THE OWNER PRIOR TO PURCHASE AND INSTALL. ALL NEW WINDOWS & DOORS TO BE INSTALLED USING MANUFACTURERS SPECS. ALL EXTERIOR DOORS & WINDOWS TO HAVE NEW DRIP CAP. CASING TO MATCH EXISTING. SEE WINDOW & DOORS SCHEDULE ON SHEET A601 FOR SIZING AND GENERAL WINDOW NOTES.
6. ALL NEW SIDING TO BE HARDIE BOARD WITH SMOOTH FINISH WITH 5 1/2" EXPOSURE, OR EXPOSURE TO MATCH EXISTING. ALL NEW TRIM AND CORNER BOARDS TO BE 5" HARDIE BOARD UNLESS SPECIFIED OTHERWISE. FINISH COLOR TO BE SELECTED BY OWNER, GC TO COORDINATE A MIN. OF TWO (2) SAMPLES.
7. GC TO PROVIDE PROTECTION FOR ALL NEW INSTALLED MATERIALS, FIXTURES, MILLWORK, APPLIANCES, ETC. AND TURNED OVER AT FINAL COMPLETION FREE OF BLEMISHES, DENTS, GC RESPONSIBLE FOR REPLACING/FLEXING ANY DAMAGED ITEMS AT END OF CONSTRUCTION.





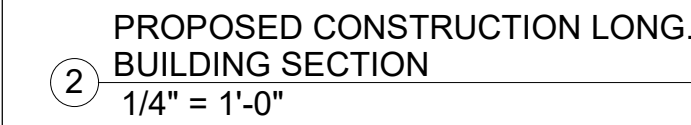
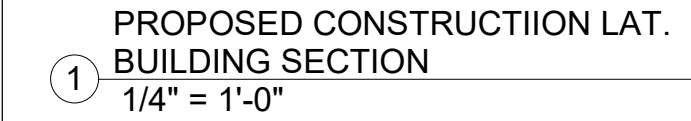
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PROPOSED BUILDING SECTIONS & NOTES



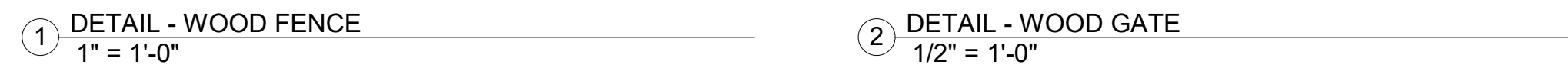
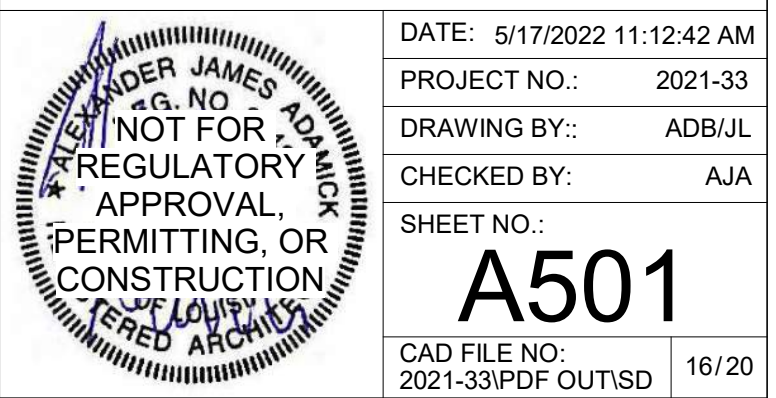
GENERAL CONSTRUCTION NOTES

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2. GC WILL PROVIDE BATT INSULATION IN CAVITIES OF ANY EXTERIOR WALL. SEE SHEETS A3&1 A 5&01 FOR INSULATION STRATEGY.
3. GC TO INSTALL DRAFT STOPS IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED IN ACCORDANCE WITH IRC 2015 SECTION R302.12.
4. GC WILL REPLACE FIREPROOFING IF DISTURBED OR FOUND DEFICIENT DURING THE COURSE OF CONSTRUCTION.
5. ALL NEW WINDOWS & DOORS TO BE SELECTED BY GC, AND APPROVED BY THE OWNER PRIOR TO PURCHASE AND INSTALL. ALL NEW WINDOWS & DOORS TO BE INSTALLED USING MANUFACTURERS SPECS. ALL EXTERIOR DOORS & WINDOWS TO HAVE NEW DRIP CAP. CASING (TO MATCH EXISTING). SEE WINDOW & DOORS SCHEDULE ON SHEET A6&01 FOR SIZING AND GENERAL WINDOW NOTES.
6. ALL NEW SIDING TO BE HARDIE BOARD WITH SMOOTH FINISH WITH 5 1/2" EXPOSURE, OR EXPOSURE TO MATCH EXISTING. ALL NEW TRIM AND CORNER BOARDS TO BE 5" HARDIE BOARD UNLESS SPECIFIED OTHERWISE. FINISH COLOR TO BE SELECTED BY OWNER, GC TO COORDINATE A MIN. OF TWO (2) SAMPLES.
7. GC TO PROVIDE PROTECTION FOR ALL NEW INSTALLED MATERIALS, FIXTURES, MILLWORK, APPLIANCES, ETC. AND TURNED OVER AT FINAL COMPLETION FREE OF BLEMISHES, DENTS, GC RESPONSIBLE FOR REPLACING/ FIXING ANY DAMAGED ITEMS AT END OF CONSTRUCTION.

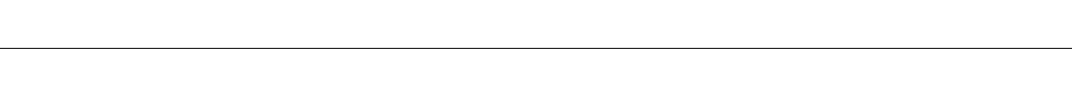
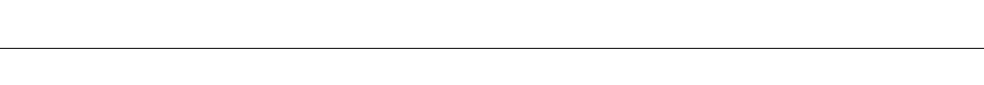
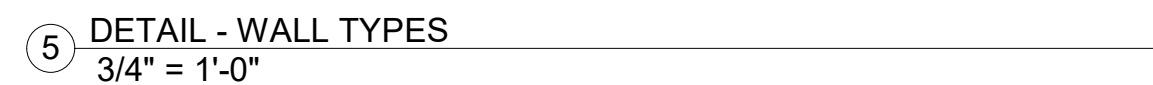
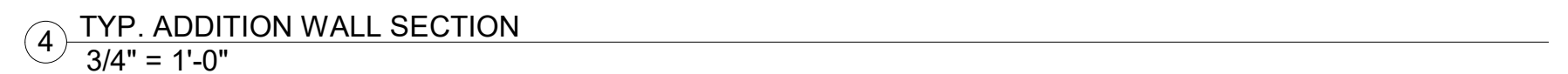


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CONSTRUCTION DETAILS



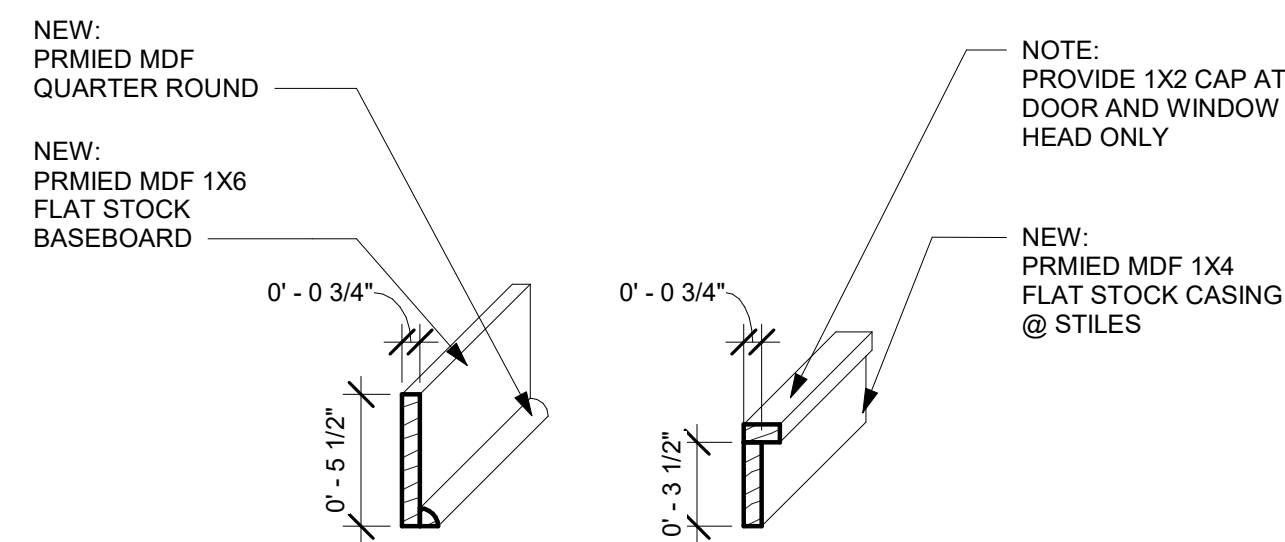
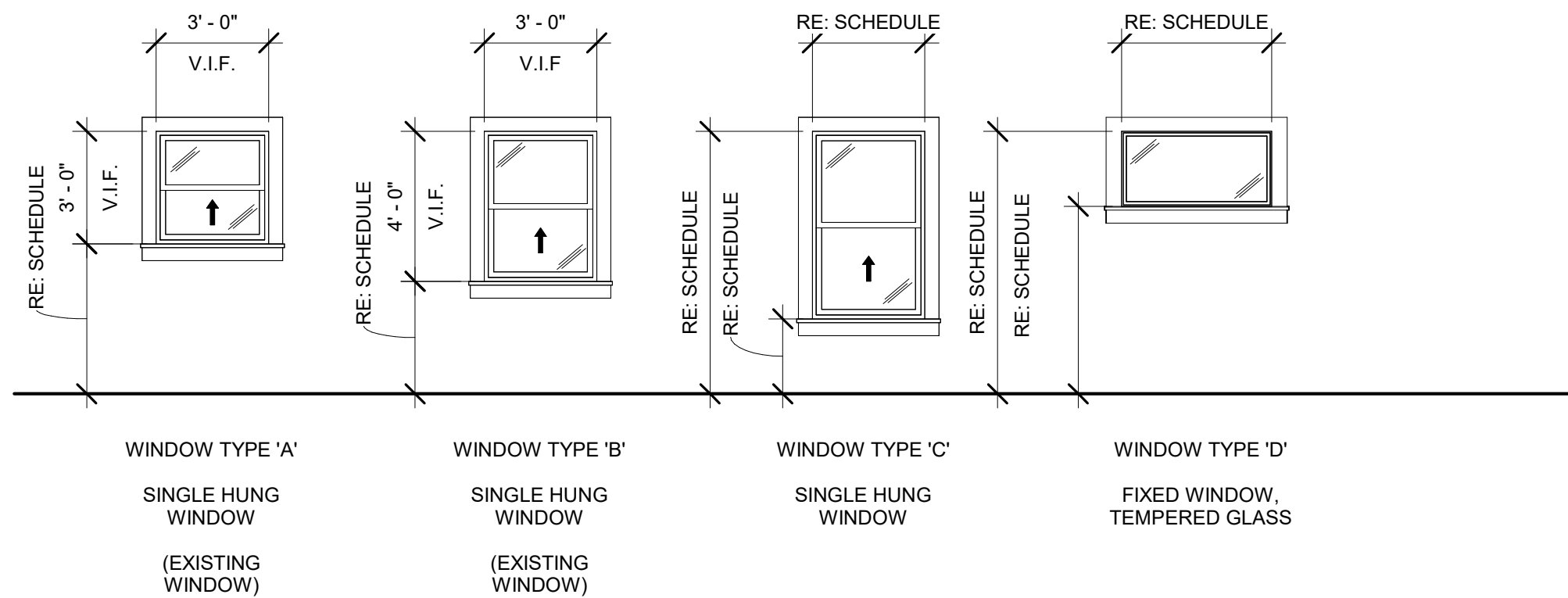
5/8" (15.9 mm) ToughRock Fireguard C or 5/8" (15.9 mm) DensArmor Plus Fireguard C applied perpendicular to the resilient channels spaced 16" (406 mm) o.c. with 1" (25 mm) Type S screws 12" (305 mm) o.c. Space channels 12" (305 mm) o.c. when insulation is draped over channels. End joints attached with screws 8" (203 mm) o.c. attached to pieces of channel 60" (1524 mm) long located 3" (76 mm) back from either side of the end joint. Resilient channel applied perpendicularly to the bottom of the wood trusses 24" (610 mm) o.c. with 1-1/4" (32 mm) Type S screws. Glass fiber insulation attached to wood panels or draped over channels. When DensArmor Plus Fireguard C is used batt insulation shall be secured to wood structural panels on trusses. Trusses supporting 15/32" (405 mm) wood structural panels applied perpendicular to trusses with adhesive and 6d ring shank nails 12" (305 mm) o.c. Optional ceiling damper (refer to damper manufacturer for damper type).



WINDOW SCHEDULE											
WDW TAG	WDW TYPE	WIDTH	HEIGHT	SILL	HEADER	WINDOW MAT.	GLAZING	EXT. MAT.	INT. MAT.	COUNT	REMARKS
W1	A	3' - 0"	3' - 0"	4' - 0"	7' - 0"	VINYL	GLASS	MATCH EXIST.	MATCH EXIST.	2	SALVAGED WINDOW, RE-INSTALL PER MANUF. SPECS. SEE PAGES D101 & A101 FOR WINDOW LOCATION
W2	C	3' - 0"	5' - 0"	2' - 0"	7' - 0"	VINYL	GLASS	MATCH EXIST.	MATCH EXIST.	1	
W3	D	4' - 0"	2' - 0"	5' - 0"	7' - 0"	VINYL	TEMPERED GLASS	MATCH EXIST.	MATCH EXIST.	1	
W4	B	3' - 0"	4' - 0"	3' - 0"	7' - 0"	VINYL	GLASS	MATCH EXIST.	MATCH EXIST.	2	SALVAGED WINDOW, RE-INSTALL PER MANUF. SPECS. SEE PAGES D101 & A101 FOR WINDOW LOCATION

GENERAL NOTES: WINDOW & HARDWARE SCHEDULE

1. CONTRACTOR SHALL PROVIDE OWNER WITH WINDOW, CASING, & TRIM SPECIFICATIONS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
2. NEW WINDOWS SHALL BE RECESSED MOUNTED WITH DRIP CAP & ALL REQ. FLASHING INSTALLED PER MANUFACTURER'S SPECIFICATIONS (TYP.) AND CLEAR GLAZING WITHOUT TINT OR TEXTURE.
3. PER IRC SECTION 301.2.1.2 PROTECTION OF OPENINGS, CONTRACTOR SHALL PROVIDE 1/2" THICK PRECUT WOOD STRUCTURAL PANELS FOR EACH WINDOW COVERING THE EXTERIOR CASING, PROVIDE PREDRILLED ANCHORS FOR FUTURE MOUNTING.
4. NO HALF-SCREENS PERMITTED. PREFABRICATED FULL SCREENS ON NON-STREET-FACING ELEVATIONS ONLY.
5. ALL WINDOW CASING SHALL BE PRIMED & PAINTED 1X WOOD WITH PROFILE MATCHING EXISTING BUILDING STANDARD OR NEW APPROVED BY OWNER PRIOR TO INSTALL. FOR INSTANCES WHERE JAMB CASING MUST BE CUT, CUT ONLY THAT PIECE AND LEAVING HEADER FULL SIZE.



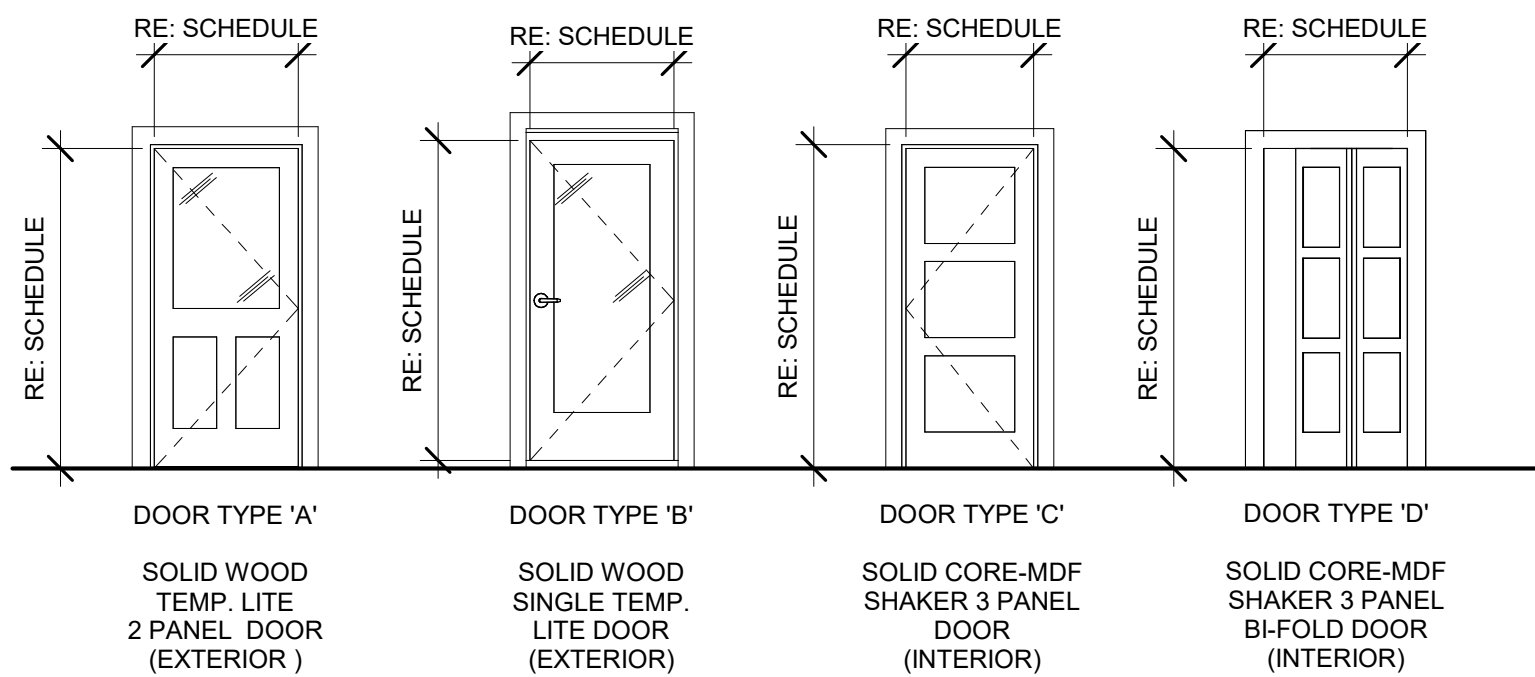
LEGEND - LINEAR TRIM
1 1/2" = 1'-0"

DOOR SCHEDULE									
DOOR TAG	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	EXT. TRIM	INT. TRIM		COUNT	REMARKS
100-1	A	3' - 0"	6' - 8"	SOLID WOOD	PTL 4"	4" MDF FLAT STOCK		1	ADD ALTERNATE #1: NEW DOOR W/ TRIM
100-2	C	2' - 0"	6' - 8"	MDF	N/A	4" MDF FLAT STOCK		1	ADD ALTERNATE #1: NEW DOOR W/ TRIM
102-1	Y	3' - 0"	6' - 8"	SOLID WOOD	N/A	4" MDF FLAT STOCK		1	ADD ALTERNATE #1: NEW DOOR W/ TRIM
103-1	C	2' - 6"	6' - 8"	MDF	MATCH EXISTING	MATCH EXISTING		1	MATCH EXISTING TRIM; IF ADD ALTERNATIVE #1 IS APPROVED, DOOR TRIM TO BE NEW 4" MDF FLAT STOCK
103-2	D	3' - 0"	6' - 8"	MDF	MATCH EXISTING	MATCH EXISTING		1	MATCH EXISTING TRIM; IF ADD ALTERNATIVE #1 IS APPROVED, DOOR TRIM TO BE NEW 4" MDF FLAT STOCK
105-1	C	2' - 6"	6' - 8"	MDF	MATCH EXISTING	MATCH EXISTING		1	MATCH EXISTING TRIM; IF ADD ALTERNATIVE #1 IS APPROVED, DOOR TRIM TO BE NEW 4" MDF FLAT STOCK
105-2	C	2' - 6"	6' - 8"	MDF	MATCH EXISTING	MATCH EXISTING		1	MATCH EXISTING TRIM; IF ADD ALTERNATIVE #1 IS APPROVED, DOOR TRIM TO BE NEW 4" MDF FLAT STOCK
107-1	C	2' - 6"	6' - 8"	MDF	N/A	4" MDF FLAT STOCK		1	ADD ALTERNATE #1: NEW DOOR W/ TRIM
107-2	D	3' - 0"	6' - 8"	MDF	N/A	4" MDF FLAT STOCK		1	ADD ALTERNATE #1: NEW DOOR W/ TRIM
108-1	C	2' - 6"	6' - 8"	MDF	MATCH EXISTING	MATCH EXISTING		1	MATCH EXISTING TRIM; IF ADD ALTERNATIVE #1 IS APPROVED, DOOR TRIM TO BE NEW 4" MDF FLAT STOCK
109-1	C	2' - 6"	6' - 8"	MDF	MATCH EXISTING	MATCH EXISTING		1	MATCH EXISTING TRIM; IF ADD ALTERNATIVE #1 IS APPROVED, DOOR TRIM TO BE NEW 4" MDF FLAT STOCK
111-1	C	2' - 8"	6' - 8"	MDF	N/A	4" MDF FLAT STOCK		1	ADD ALTERNATE #1: NEW DOOR W/ TRIM
111-2	C	1' - 6"	6' - 8"	MDF	N/A	4" MDF FLAT STOCK		1	ADD ALTERNATE #1: NEW DOOR W/ TRIM
112-1	C	2' - 6"	6' - 8"	MDF	N/A	4" MDF FLAT STOCK		1	ADD ALTERNATE #1: NEW DOOR W/ TRIM
112-2	D	2' - 8"	6' - 8"	MDF	N/A	4" MDF FLAT STOCK		1	ADD ALTERNATE #1: NEW DOOR W/ TRIM
112-3	D	2' - 8"	6' - 8"	MDF	N/A	4" MDF FLAT STOCK		1	ADD ALTERNATE #1: NEW DOOR W/ TRIM

Grand total: 16

GENERAL NOTES: DOOR & DOOR HARDWARE
SCHEDULE

1. CONTRACTOR SHALL PROVIDE OWNER WITH ALL DOOR, CASING, & TRIM SPECIFICATIONS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
2. IF EXTERIOR DOORS ARE MILLED LOCALLY, CONTRACTOR SHALL PROVIDE RIGID WEATHER-STRIPPING & REQ. FLASHING AT ALL EXTERIOR DOOR LOCATIONS. IF EXTERIOR DOORS ARE MANUFACTURED, THEN MANUFACTURER SHALL PROVIDE WEATHER-STRIPPING WITH DOOR UNIT.
3. ALL NEW EXTERIOR LITES SHALL BE TEMPERED, CLEAR GLAZING WITHOUT TINT OR TEXTURE.
4. ALL DOOR CASINGS SHALL BE PRIMED & PAINTED 1X WOOD (TREATED FOR EXTERIOR) WITH PROFILE MATCHING EXISTING BUILDING STANDARD OR NEW APPROVED BY OWNER PRIOR TO INSTALL. FOR INSTANCES WHERE JAMB CASING MUST BE CUT, CUT ONLY THAT PIECE, LEAVING HEADER FULL SIZE.
5. ALL HARDWARE TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
6. CONTRACTOR TO VERIFY PROPOSED DOOR MATCHES EXISTING SIZING AND OVERALL HEAD HEIGHT IN THE FIELD PRIOR TO PURCHASE AND INSTALL.
7. FOR POCKET DOORS, ENSURE THAT FINISH NAILS DO NOT SCRAPE DOOR WHEN FINISHED.

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ADAMICK
ARCHITECTURE

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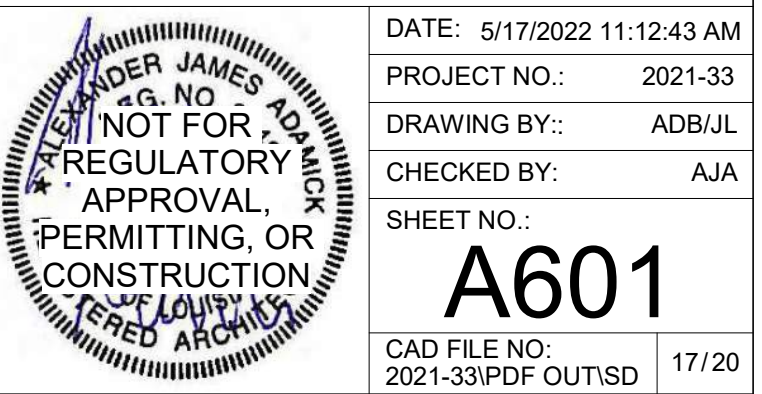
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Project: #2021-33 LeBEAU & JONES RESIDENCE RENOVATION/ADDITION ADDRESS: 6325 DOVER PL. NEW ORLEANS, LA 70131	

Project: #2021-33

**LeBEAU & JONES RESIDENCE
RENOVATION/ADDITION**

**ADDRESS:
6325 DOVER PL.
NEW ORLEANS, LA 70131**

DOOR & WINDOW SCHEDULE & NOTES





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Project: #2021-33

**LeBEAU & JONES RESIDENCE
RENOVATION/ADDITION**

ADDRESS:
6325 DOVER PL.
NEW ORLEANS, LA 70131

M.E.P. LEGEND & GENERAL NOTES



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PROJECT NO.:	2021-33
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
















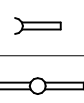



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CHECKED BY: AJA

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MEP LEGEND AND GENERAL NOTES			
SYMBOL		DESCRIPTION	
GENERAL ELECTRICAL		MECHANICAL SYSTEMS	
	ELECTRICAL METER		EXHAUST FAN
	ELECTRICAL PANEL		EXHAUST FAN W/ LIGHT
	TRANSFER SWITCH		EXHAUST FAN W/ HEATER
	GAS METER		EXHAUST FAN W/ LIGHT & HEATER
ELECTRICAL RECEPTACLES			RADIANT IN-FLOOR WARMING MAT
	DUPLEX RECEPTACLE		RADIANT IN-FLOOR CONTROLS
	GFI DUPLEX RECEPTACLE		THERMOSTAT
	WET LOCATION RECEPTACLE		RETURN AIR GRILLE OR REGISTER AT WALL
	SWITCHED DUPLEX RECEPTACLE		SUPPLY AIR GRILLE OR REGISTER AT WALL
	DEDICATED APPLIANCE RECEPTACLE		RETURN AIR CHASE
	A/C DEDICATED APPLIANCE RECEPTACLE		
	FLUSH MOUNTED FLOOR QUAD RECEPTACLE		SUPPLY AIR CHASE
ELECTRICAL SWITCHES			
	SWITCH		RETURN AIR GRILLE OR REGISTER AT CEILING
	THREE-WAY SWITCH		SUPPLY AIR GRILLE OR REGISTER AT CEILING
	FOUR-WAY SWITCH		A/C CONDENSOR
	DIMMABLE SWITCH		
	THREE-WAY DIMMABLE SWITCH		
	JAMB SWITCH (DOOR ACTIVATED)	PUMBING SYSTEMS	
ELECTRICAL FIXTURES			GAS LINE
	RECESSED CAN FIXTURE		TANKLESS WATER HEATER
	RECESSED DIRECTIONAL CAN FIXTURE		TANK WATER HEATER
	RECESSED DAMP - RATED CAN FIXTURE		
	RECESSED VAPOR PROOF CAN FIXTURE		DEDICATED WATER LINE
	RECESSED WATER - RATED CAN FIXTURE		HOSE BIB
	RECESSED SPOT CAN FIXTURE		GARBAGE DISPOSAL
SECURITY SYSTEM		SECURITY SYSTEM	
	CEILING MOUNTED FIXTURE		MOTION SENSOR PHOTOVOLTAIC FLOOD LIGHTS
	WALL MOUNTED FIXTURE	MISCELLANEOUS SYSTEMS	
	CHANDELIER/PENDANT		DOOR BELL BUTTON
	FIXTURE, PULL CHAIN OPERATED		DOOR BELL CHIME
	RECESSED FLOOR FIXTURE		GARAGE DOOR OPENER
	UNDER CABINET FIXTURE		GARAGE DOOR REMOTE OPENER
LIGHTING TRACK		FIRE & LIFE SAFETY SYSTEM	
LINEAR FIXTURE			HEAT DETECTOR
	CEILING FAN		SMOKE DETECTOR
	CEILING FAN WITH LIGHTS		SMOKE & CO2 DETECTOR UNIT
	CEILING FAN WITH LIGHTS		TEMPERATURE SENSOR
			CARBON MONOXIDE DETECTOR
GAS FIXTURES			FIRE EXTINGUISHER
	GAS CEILING MOUNTED FIXTURE		FIRE ALARM PULL SYSTEM
	GAS WALL MOUNTED FIXTURE		EXIT SIGN W/ EMERGENCY LIGHTING
	GAS CHANDELIER/PENDANT		EMERGENCY LIGHTING
AUDIO & VISUAL SYSTEMS			
	CABLE TELEVISION OUTLET/SOURCE		

GENERAL NOTES: M.E.P. DIAGRAM

- ELECTRICIAN SHALL:
- A. COORDINATE CAPACITY AND TYPE OF SWITCHES AND RECEPTACLES W/ CORRESPONDING CIRCUITS, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.
 - B. CONCEAL ALL NEW AND EXISTING ELECTRICAL CIRCUITS THROUGHOUT.
 - C. PROVIDE LOW VOLTAGE RELAYS, AS REQUIRED, FOR ALL SWITCHES HAVING MORE THAN 1350 WATTS.
 - D. COORDINATE GANGING OF WALL PLATES FOR CLUSTERS OF SWITCHES AND RECEPTACLES, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.
 - E. INSTALL RECEPTACLES AND OUTLETS IN A VERTICAL FASHION, UNLESS OTHERWISE NOTED.
 - F. PROVIDE PLATES AND DEVICES IN WHITE THROUGHOUT, UNLESS OTHERWISE NOTED.
 - G. PROVIDE CUTS OF ALL PLATES & DEVICES AND ELECTRICAL FIXTURES FOR APPROVAL OF ARCHITECT & OWNER, PRIOR TO INSTALLATION.
 - H. PROVIDE ALL PLATES & DEVICES AND UNSPECIFIED ELECTRICAL FIXTURES.
 - I. PROVIDE POWER TO ALL MECHANICAL EQUIPMENT AND DEVICES AS REQUIRED.
3. MECHANICAL AND ELECTRICAL CONTRACTOR MUST CHECK OWNER'S PRESENT EQUIPMENT BEING RE-USED, EQUIPMENT SUBSTITUTED FOR SPECIFIED TYPE OR MANUFACTURER OR THAT EQUIPMENT MARKED (BY VENDOR) WHICH IS BEING SUPPLIED BY OTHERS SO THAT THE SERVICE REQUIREMENTS ARE CORRECTLY TYPED, ADEQUATELY SIZED, & ROUGHED IN PROPERLY (LOCATION, HEIGHT, & CONNECTION TYPE) SO AS TO MINIMIZE THE AMOUNT OF MATERIALS & FITTINGS NEEDED FOR FINAL HOOK UP RESULTING IN A NEAT AND ORDERLY LOOKING JOB.
4. ALL LABOR, SWITCHES, DISCONNECTS, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY TO COMPLY WITH ALL CODES, INCLUDING ALL INTERWIRING TO BE FURNISHED BY ELECTRICAL CONTRACTOR UNLESS OTHERWISE STATED.
5. ALL LABOR, VALVES, TRAPS, TAILPIECES, STRAINERS, PRESSURE REDUCING VALVES, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY COMPLY WITH ALL CODES, INCLUDING ALL INTERCONNECTIONS TO BE FURNISHED BY MECHANICAL CONTRACTOR UNLESS OTHERWISE STATED.
6. PRIOR TO PURCHASE OF EXTERIOR LIGHT FIXTURES, G.C. SHALL SUBMIT MANUFACTURERS TO HDLC & OWNER FOR APPROVAL.

