# McDona 3321 ST. CHARLES AVE. NEW

REBUILD WITH SPECIAL EXTERIOF <u>SITE ID: 017-0107</u> GREAT SOUTHERN REG



## WAIVER (See Sheet CV2 for P

1. DEVELOPER IS GRANTED A WAIVER FROM THE PROVISIONS OF ARTICLE 22, SE COMPREHENSIVE ZONING ORDINANCE. THE MAXIMUM OFFSTREET PARKING F SUBMITTED SITE PLAN SHOWS THERE ARE TWENTY-EIGHT (28) VEHICULAR SP VARIANCE OF FIFTEEN (15) SPACES.

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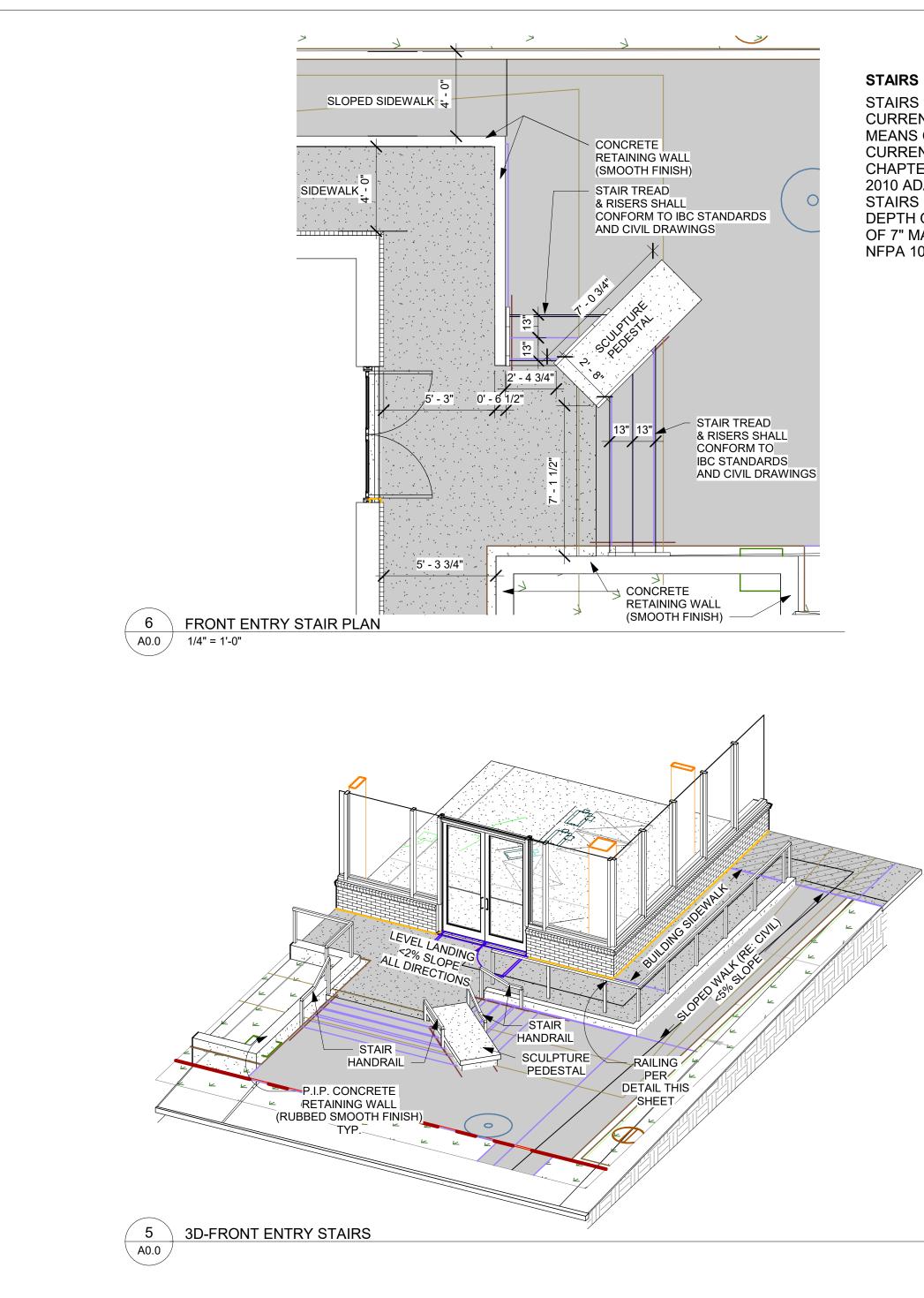
		PROJECT DATA:	
	1. SUBMITTOR	MOUTON LONG TURNER ARCHITECTS	
	2. SUBMITTOR ADDRESS	601 PAPWORTH AVENUE, SUITE 200 METAIRIE, LA 70005 (504) 838-8091	<u>/</u>
	5. PROJECT DESCRIPTION	REBUILD OF EXISTING FAST FOOD RESTAURANT	
	6. OWNER NAME	McDONALDS CORPORATION	( 
	7. OWNER ADDRESS	110 N CARPENTER ST. CHICAGO, IL 60607-2101 UNITED STATES	ç
		COD	)E
OCCUPANT LOAD: CUSTOMER AREA: (1 PE 1389 NSF KITCHEN: (1 PERSON / 2 1190 GSF STORAGE/RECEIVING A 532 GSF TOTAL = 2015 IBC TABLE 2902.1:	= 92	BUILDING CODE INFORMATION         1. BUILDING CODES         DNS	
RESTROOM FIXTURES F MEN WOM W.C. 1 1 LAV 1 1 URINAL 0 0	WATER CLOSETS (1 PER LAVATORIES (1 PER 200 REQUIRED: RESTROOM FIXTURES PRO	M/F) 3. OCCUPANCY OVIDED:	
CONSTRUC NAME: RCM: Keith Botkins	ADDRESS	MGR:       6. BUILDING HEIGHT         PHONE #:       SITE ZONING INFORMATION         1. ZONING	
ACM: Kyle Bourgeois	Keith.Botkin@us.mcd.com kyle.bourgeois@us.mcd.com	504-252-5153 2. PROPOSED USE	
MCDONALD'S SPECIFICATIO	EFER TO THE MOST CURRENT PROJECT MANUAL FOR MATERI ONS AND ADDITIONAL INFORMAT WITH ACM FOR MOST CURRENT	3. SITE DATA IAL TION.	

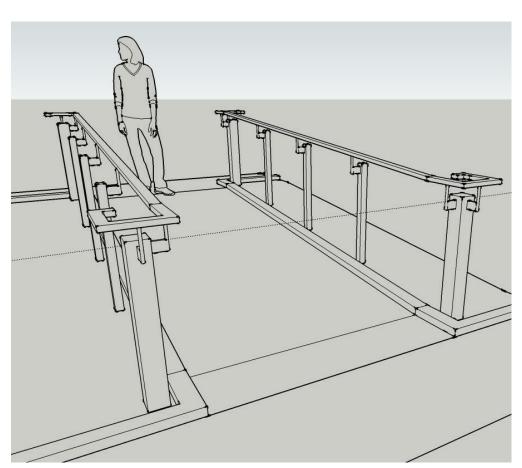
		DRAWING INDEX	DRAWING INDEX	Drawings and specifications as instuments or sevice are and shall remain the property of the architect whether the project for which they are made is executed or not. They are not to be used by the average remains does on other
ald's			REV     REV     REV       DATE     REV #     SHEET       SHEET     SHEET NAME     DATE	REV #       be used by the owner or anyone else on othe projects or extensions to this project except agreement in writing and with appropriate compensation to the Architect.         Protected by U.S. copyright law.
		CHITECTURAL V COVER SHEET	A2.2 STOREFRONT/SIGNAGE ELEVATIONS A2.3 DRIVE THRU CUSTOM FASCIA	BMT BMT BMT
W ORLEANS, LA		V-2 PROVISOS REFERENCE 0 SITE ARCH DETAILS	A3.0 CONDIMENT CENTER DETAILS A4.0 RESTROOM PLAN AND DETAILS	
OR/INTERIOR		0     CIVIL COVER SHEET	A5.0 OVERALL BUILDING SECTIONS A5.1 OVERALL BUILDING SECTIONS	VIEW VIEW BRAND BRAND M/HEAL
		1CIVIL GENERAL NOTES2ALTA NSPS LAND TITLE SURVEY	A5.2       ENLARGED WALL SECTIONS       Date 2       2         A5.3       ENLARGED WALL SECTIONS       Date 2       2	AND REV SUBMIT BMIT FO BMIT SF BMIT SF
<u>EGION</u>		0CIVIL DEMOLITION PLAN0EROSION CONTROL PLAN	A5.4       ENLARGED WALL SECTIONS       Date 2       2         A5.5       ENLARGED WALL SECTIONS       Date 2       2	19         BR           19         BR           22         SU           22         SU
		1EROSION CONTROL DETAILS0SITE & PAVING PLAN	A5.6 SECTION DETAILS A6.0 DOOR/HARDWARE SCHEDULE AND DETAILS	09/26/ 11/07/ 11/18/ 06/22/ 05/04/ 05/12/
		0 DRIVE THRU COORDINATE PLAN 0 PAVING PLAN	A6.1 FINISH SCHEDULES A7.0 HOOD SECTION	
		0       GRADING PLAN         0       PRE-DEVELOPED DRAINAGE PLAN         4       POST DEVELOPED DRAINAGE PLAN	KITCHEN       K1.0       KITCHEN COVER SHEET	SERT J. TURNER
		1       POST-DEVELOPED DRAINAGE PLAN         0       UTILITY PLAN         0.0       STANDARD DETAILS	K2.0     KITCHEN PLAN       K2.1     KITCHEN SCHEDULE       MECHANICAL	
		0.1 STANDARD DETAILS 0.2 STANDARD DETAILS	MILCHANICAL M1.0 MECHANICAL ROOF PLAN M1.2 DUCTWORK PLAN	TRE FIL OF LOUISING
nald's		0.3 STANDARD DETAILS 0.4 STANDARD DETAILS	M1.3 NOT USED M1.4 REFRIGERANT AND GAS PIPING PLAN	5/12/2022 3:16:41 PM Se
		0.5 STANDARD DETAILS UDS DETENTION SYSTEM	M2.0 EXHAUST HOODS M3.0 MECHANICAL DETAILS	
		UDS DETENTION SYSTEM UDS DETENTION SYSTEM	M4.0       GENERAL MECHANICAL NOTES         M4.1       MECHANICAL SCHEDULES	
		UDS DETENTION SYSTEM       1     SITE FOUNDATION DETAILS	PLUMBING P1.0 DOMESTIC WATER PIPING	
	THESE PLANS AND SPECIFICATIONS HAVE BEEN	2 SITE FOUNDATION DETAILS 3 SITE FOUNDATION DETAILS	P1.2 WASTE VENT & STORM PIPING PLAN P1.3 NOT USED	
	PREPARED BY ME OR UNDER MY CLOSE SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY SHALL COMPLY WITH ALL LOCAL CODE AND	1     TRASH ENCLOSURE/STORAGE DETAILS       NDSCAPE       0     LANDSCAPE PLAN	P1.4 UNDERGROUND ROUGH-IN P1.5 NOT USED P1.6 OVERHEAD ROUGH-IN	
	CITY REQUIREMENTS. SIGNED: Bat J.	0   FOUNDATION PLAN	P1.0     OVERHEAD ROOGH-IN       P2.0     DOMESTIC WATER ISOMETRIC       P2.1     WASTE & VENT ISOMETRIC	
	DATE: <u>05-12-22</u> LICENSE NO: <u>6630</u>	1 FOUNDATION DETAILS 0 LOW ROOF FRAMING PLAN	P2.2 STORM ISOMETRIC P3.0 PLUMBING DETAILS	
		0 FRAMING DETAILS 1 FRAMING DETAILS	P4.0 GENERAL NOTES P4.1 SCHEDULES	601 Papworth Avenue
SECTION 22.4.B. MAXIMUM VEHICLE PARKING	G OF THE	CHITECTURAL 1.0 ABBREVIATIONS & GENERAL NOTES	ELECTRICAL E1.0 POS ELECTRICAL RISER DIAGRAM	⊡         Metairie,         LA         70005           ₩         504.838.8091         504.838.8091           ₩         ₩         ₩
G REQUIREMENT IS THIRTEEN (13) SPACES. SPACES ON THE TOTAL SITE, NECESSITATIN		1.1ACCESSIBILITY NOTES1.2ACCESSIBILITY DETAILS	E1.1       ROUGH IN FLOOR PLAN         E2.0       LIGHTING PLAN & SCHEDULE	
		1     ARCHITECTURAL SLAB PLAN       0     FLOOR PLAN	E3.0 ELECTRICAL SCHEDULE E3.1 ELECTRICAL & LIGHTING NOTES	LC nation D nation o with its with its with its on at con at on a for reuse
		1EXTERIOR BUILDING LIGHTING PLAN2INTERIOR BUILDING LIGHTING PLAN3ROOF PLAN	E3.2 INTERLOCK DIAGRAMS E4.0 WIRING DETAILS E4.1 LIGHTING CONTROLS	onaids corpo onaids corpo and and a copied itract do njunction rerent si rent si incensed uments
<b>BUILDING INFORMATION:</b>		4 LOW BLADE ROOF DRAINAGE DESIGN 0 EXTERIOR ELEVATIONS	E4.2 UTILITIES DISTRIBUTION	© 2001 McD 2001 McD USJ USJ USJ Confide the confide the confide th
<u>ADDRESS:</u> STATE SITE CODE: 017-0107 STREET ADDRESS: 3321 ST. CHARLES AVE.		1 EXTERIOR ELEVATIONS		and sha and sha rization. pecific sit for use of the cont
CITY: NEW ORLEANS PARISH: ORLEANS STATE: LOUISIANA		CO	NTRACTOR GENERAL NOTES	fications fications SA, LLC n authori n this sp drawing the servine tion servine the servine
		ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDE ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.	ERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCL	nuld speci r use or r use or r use or refered equires s not au
DE:	PROJECT TEAM	GEN.ERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATIN SEQUENCING OF THE WORK.	NG WITH THE OWNER'S VENDORS REGARDING SCHEDULING ON SITE DURING CONSTRUCTION A	
	ARCHITECT: MOUTON LONG TURNER ARCHITECTS	THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED T INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION	TO ILLUSTRATE THE DESIGN INTENT AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE N, MATERIAL AND WORKMANSHIP THROUGHOUT.	III TEPARED FO These dr bese dr roperty eproduce vere preparent ssue dot acter time another fi
IBC 2015 NFPA 101 (2015) IMC 2015 IPC 2015	601 PAPWORTH AVE. SUITE 200 METAIRIE, LOUISIANA 70005	THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE D	I CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LAR	
NEC 2015 NEC 2014 IECC 2015 IFC 2015	CONTACT: BERT TURNER 504.838.8091	UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WAT	RACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE, TER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL B	
	<u>CIVIL ENGINEER:</u> LAGAN ADAMS ENGINEERING		ICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL	
IBC: V-B, NON SPRINKLERED NFPA: V(000)	8951 CYPRESS WATERS BLVD. STE 150 DALLAS, TX 75019 CONTACT:	CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN	DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK. N WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES, SIGNAGE, AND OTHER D	EVICES
ASSEMBLY (A-2) 4,265 S.F.	MATTHEW KORTE, P.E. 817.328.3239	REQUIRED. ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY	TYPE OF ENERGY LOSS.	к Ш
4,203 S.F. 1,380 S.F.	STRUCTURAL ENGINEER: CARUBBA ENGINEERING		PLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS	
1 STORY (MAX HGHT: 25'-8")	3400 HESSMER AVE. METAIRIE, LA 70002 CONTACT:	SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.	INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE O	ND IN
CU ORDINANCE# 027975	MATTHEW DAUPHIN, P.E.		ER'S SIGN CONTRACTOR. OWNER'S SIGN VENDOR WILL PROVIDE MONUMENT SIGN BASE (CON SE. SEE SHEET L-1 TO VERIFY IF REQUIRED. GENERAL CONTRACTOR TO PROVIDE ROUGH-IN & F	
HU-MU HISTORIC URBAN ST.CHARLES AVE. OVERLAY DISTRICT CPC OVERLAY DISTRICT	MECHANICAL ENGINEER: WILSON ENGINEERING ROBERT WILSON, P.E.	GENERAL CONTRACTOR TO PROVIDE FOUR (4) 30 YARD DUMP	IPSTERS DURING McDONALD RETAIL MOVE-IN. RER FOR ONE WEEK DURING McDONALD RETAIL MOVE-IN. (40 HOURS)	D STE A
RESTAURANT W/DRIVE-THRU	504.473.3199		P AND COORDINATION OF ALL THE UTILITY SERVICES FOR THE PROJECT.	IEI     -LD
SEE SHEET C4.0 FOR DETAILED SITE DATA	<u>ELECTRICAL ENGINEER:</u> DRAKE ENGINEERING RYAN ORGERON, P.E.	ALL EXTERIOR FLOOR PLAN DIMENSIONS ARE TO EXTERIOR F FACE OF FINISH UNLESS OTHERWISE NOTED.	FACE OF MASONRY UNLESS OTHERWISE NOTED. ALL INTERIOR FLOOR PLAN DIMENSIONS ARE	
	504.368.1575	FINAL KEYING TO BE COORDINATED WITH MCDONALD FACILIT		MLT PROJ #17-1406 및 OCV
		REFER TO "PROJECT MANUAL" FOR ALL OTHER INSTRUCTION		중 COVER SHEET



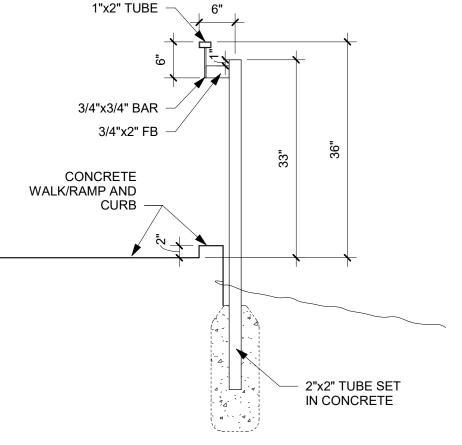
PROVISOS
NO PERSON SHALL USE ANY OF THE PROPERTIES DESCRIBED HEREIN OR PERMIT ANOTHER TO USE ANY OF THOSE PROPERTIES DESCRIBED HEREIN FOLLOWING REQUIREMENTS ARE MET AND CONTINUE TO BE MET:
1. THE DEVELOPER SHALL OBTAIN ALL REQUIRED APPROVALS FROM THE HISTORIC DISTRICT LANDMARKS COMMISSION. THE PLANS SUBMITTED T SHALL MATCH THOSE APPROVED BY THE HISTORIC DISTRICT LANDMARKS COMMISSION. WHEN SUBMITTING PLANS TO THE CITY PLANNING COM PROVIDE DOCUMENTATION OF ALL REQUIRED APPROVALS BY THE HISTORIC DISTRICT LANDMARKS COMMISSION.
2. THE DEVELOPER SHALL MODIFY THE LAYOUT OF THE LANDSCAPING AND PARKING SPACES ON LOTS 4 AND 5 IN A MANNER THAT CREATES A LAF RIGHT-OF-WAY AND THE PARKING SPACES ON THOSE LOTS.
3. THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL COMPLY WITH THE 10% PERMEABLE OPEN SPACE RE THE COMPREHENSICE ZONING ORDINANCE.
4. THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL COMPLY WITH THE FRONT YARD SETBACK REQUIREN COMPREHENSIVE ZONING ORDINANCE.
5. THE DEVELOPER SHALL RESUBDIVIDE THE LOTS WITHIN THE PETITIONED SITE IN A MANNER APPROVED BY THE DEPARTMENT OF SAFETY AND F OFFICE OF CONVEYANCES.
6. THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL COMPLY WITH THE PARKING DESIGN REQUIREMENTS ZONING ORDINANCE.
<ol> <li>THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL INCLUDE A LANDSCAPING PLAN THAT COMPLIES WITH ZONING ORDINANCE. THE LANDSCAPE PLAN SHALL BE PREPARED BY A LICENSED LOUISIANA LANDSCAPE ARCHITECT. THIS LANDSCAPE PLAN S</li> <li>A.) THE GENUS, SPECIES, SIZE, LOCATION, QUANTITY, AND IRRIGATION OF ALL EXISTING AND PROPOSED PLANT MATERIALS WITHIN BOTH THE C THE SITE, WITH APPLICABLE REMARKS AND DETAILS.</li> </ol>
B.) COMPLIANCE WITH ALL APPLICABLE LANDSCAPE REGULATIONS IN ARTICLE 23 AND ELSEWHERE IN THE COMPREHENSIVE ZONING ORDINANCE SECTION 23.7.
<ul> <li>C.) COMPLIANCE WITH ALLK REGULATIONS CONTAINED IN ARTICLE 23, SECTION 23.10 - TREE PRESERVATION.</li> <li>8. THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL INDICATE THE TYPE, LOCATION, SIZE, AND MATERIALS REQUIREMENTS OF ARTICLE 24 OF THE COMPREHENSIVE ZONING ORDINANCE, SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY PLANNING NOT BE PERMITTED.</li> </ul>
<ol> <li>THE DEVELOPER SHALL SUBMIT A LIGHTING PLAN INDICATING LIGHTING DETAILS INCLUDING BUT NOT LIMITED TO, FIXTURE TYPE, HEIGHT, AND 21.5.C.1 OF THE COMPREHENSIVE ZONING ORDINANCE. THIS PLAN IS SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY PLANNING COMMIS ADJACENT PROPERTIES.</li> </ol>
10. IN ACCORDNACE WITH ARTICLE 23, SECTION 23.13.C.1 OF THE COMPREHENSIVE ZONING ORDINANCE, THE PLANS SUBMITTED TO THE CITY PLAN THE LOCATION OF THE TRASH RECEPTACLE WHICH MAY BE WITHIN AN ENCLOSED STRUCTURE OR SCREENED BY A SEVEN FOOT (7') OPAQUE FE COLLECTION DAYS, SHALL TRASH BE STORED AS TO BE VISABLE FROM THE PUBLIC RIGHTS-OF-WAY.
11. THE DEVELOPER SHALL SECURE THE APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS FOR ANY IMPROVEMENTS TO THE ADJACENT PUBLIC CUTS, AND ANY OTHER MODIFICATIONS TO THE SURROUNDING PUBLIC RIGHTS-OF-WAY. WHEN SUBMITTING PLANS TO THE CITY PLANNING COM PROVIDE DOCUMENTATION OF ALL REQUIRED APPROVALS BY THE DEPARTMENT OF PUBLIC WORKS.
12. THE DEVELOPER SHALL SECURE THE APPROVAL OF THE DEPARTMENT OF PARKS AND PARKWAYS FOR ANY TREES PLANTED IN OR REMOVED FIND TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL, THE DEVELOPER SHALL PROVIDE DOCUMENTATION OF ALL REQUIRED APPROVALS
13. IN ACCORDNACE WITH ARTICLE 23, SECTION 23.13.C.1 OF THE COMPREHENSIVE ZONING ORDINANCE, THE PLANS SUBMITTED TO THE CITY PLAN THE LOCATION OF THE TRASH RECEPTACLE WHICH MAY BE WITHIN AN ENCLOSED STRUCTURE OR SCREENED BY A SEVEN FOOT (7') OPAQUE FE COLLECTION DAYS, SHALL TRASH BE STORES AS TO BE VISABLE FROM THE PUBLIC RIGHTS-OF-WAY. ADDITIONALLY, PRIOR TO CITY PLANNING ABATEMENT PROGRAM LETTER TO THE DEPARTMENT OF SANITATION FOR REVIEW AND APPROVAL. THE LETTER SHALL INCLUDE THE STATE LC TRASH RECEPTACLES, THE FREQUENCY OF TRASH PICKUP BY CONTRACTED TRASH REMOVAL COMPANY, AND THE CLEARING OF ALL LITTER FF NAME AND PHONE NUMBER OF THE OWNER/OPERATOR SHALL BE INCLUDED IN THIS LETTER TO BE KEPT ON FILE IN CASE OF ANY VIOLATIONS. FROM THE PUBLIC TIGHT-OF-WAY. THE DUMPSTER SHALL BE SERVICED AT LEAST TWO (2) TIMES A WEEK BETWEEN THE HOURS OF 5:00 A.M. AN
14. THE DEVELOPER SHALL COMPLY WITH THE APPLICABLE STANDARDS OF ARTICLE20, SECTION 20.3.ZZ:
<ul> <li>A.) THE RESTAURANT SHALL SUBMIT A SECURITY AND OPERATION PLAN, TO BE REVIEWED BY THE DIRECTOR OF SAFETY AND PERMITS, AND ALL</li> <li>B.) THE RESTAURANT SHALL SUBMIT A NOISE ABATEMENT PLAN TO BE REVIEWED BY THE DIRECTOR OF SAFETY AND PERMITS, AND ALL OTHER F</li> </ul>
<ul> <li>C.) UNLESS OTHERWISE PERMITTED BY LAW, RETAIL SALES OF PACKAGED ALCOHOLIC BEVERAGES FOR CONSUMPTION OFF THE PREMISES ARE</li> <li>D.) IN ACCORDANCE WITH TABLE 20-2 OF THE COMPREHENSIVE ZONING ORDINANCE, THERE ARE NO LIMITATIONS ON THE RESTAURANT'S HOURS</li> <li>E.) HOURS OF OPERATION SHALL BE POSTED ON OR NEAR THE RESTAURANT ENTRANCE VISIBLE TO THE PUBLIC.</li> <li>F.) IF THE RESTAURANT USE PLANS AN INCREASE IN INTENSITY, SUCH AS AN EXPANSION OF FLOOR AREA OR INCREASE IN PERMITTED OCCUPAN APPROVED PRIOR TO THE ISSUANCE OF ANY PERMITS.</li> </ul>
G.) SECURITY AND OPERATION PLANS MAY BE REVISED BY THE PROPERTY OWNER OR PERSON AUTHORIZED IN WRITING BY THE OWNER. NEW P 15. THE DEVELOPER SHALL COMPLY WITH THE APPLICABLE STANDARDS OF ARTICLE 20, SECTION 20.3.V:
A.) IN THE HISTORIC URBAN NEIGHBORHOODS, A DRIVE-THROUGH USE SHALL HAVE A MINIMUM OF TEN-THOUSAND (10,000) SQUARE FEET OF LC ALL OTHER DISTRICTS, WHERE DRIVE-THROUGH FACILITIES ARE ALLOWED, THE USE SHALL HAVE A MINIMUM OF TWENTY-THOUSAND (20,000
<ul> <li>B.) ALL DRIVE-THROUGH LANES SHALL BE LOCATED AND DESIGNED TO ENSURE THAT THEY DO NOT ADVERSELY AFFECT THE SAFETY AND EFFIC DRIVE-THROUGH LANES ON CORNER LOTS SHALL NOT ROUTE EXISTING TRAFFICE INTO ADJACENT RESIDENTIAL NEIGHBORHOODS.</li> <li>C.) ALL STACKING SPACES FOR DRIVE-THROUGH LANES SHALL BE DESIGNED IN ACCORDANCE WITH SECTION 22.12.</li> <li>D.) ALL DRIVE-THROUGH FACILITIES SHALL BE PROPERLY SCREENED. DRIVE AISLES OF DRIVE-THROUGH FACILITIES SHALL BE EFFICTIVELY SCREAT THE EDGES OF SITES ADJACENT TO RESIDENTIAL PROPERTIES IN ORDER TO MINIMIZE THE IMPACT OF EXTERIOR SITE LIGHTING, HEADLIGHT GLAR SHALL CONSIST OF A MASONRY WALL, SOLID FENCE, OR DENSE EVERGREEN HEDGE AT LEAST SIX (6) FEET IN HEIGHT. PLANT MATERIALS SHALL BE IN SOFTENING EFFECT.</li> </ul>
<ul> <li>E.) THE VOLUME ON ALL INTERCOM MENU DISPLAYS SHALL BE MAINTAINED AT A LEVEL SO AS NOT TO BE AUDIBLE IN ADJOINING RESIDENTIAL DISSHALL COMPLY WITH ALL LOCAL NOISE REGULATIONS.</li> <li>F.) THE OPERATOR OF THE DRIVE-THRU FACILITY SHALL PROVIDE ADEQUATE ON-SITE OUTDOOR WASTE RECEPTACLES AND PROVIDE DAILY LITT</li> </ul>
RIGHTS-OF-WAY ABUTTING THE PROPERTY. 16. THE DEPARTMENT OF SAFETY AND PERMITS SHALL ISSUE NO BUILDING PERMITS OR LICENSES FOR THIS PROJECT UNTIL FINAL DEVELOPMENT AND RECORDED WITH THE OFFICE OF CONVEYANCES. FAILURE TO COMPLETE THE CONDITIONAL USE PROCESSBY PROPERLY RECORDING PLA REQUEST AN ADMINISTRATIVE EXTENSION AS PROVIDED FOR IN ARTICLE 4, SECTION 4.3.H.2 OF THE COMPREHENSIVE ZONING ORDINANCE WILL
17. THE SUBJECT PROPERTY (INCLUDING REAR LOTS 4 AND 5) IS APPROXIMATELY 38,028 SQUARE FEET, THEREFORE MEETING THE MINIMUM LOT AI AISLES ARE LOCATED IN THE REAR AND SIDE OF THE BUILDING, EFFECTIVELY SHIELDING CARS FROM THE PUBLIC RIGH-OF-WAY. THE STANDAR FACILITIES PROVIDE A MINIMUM OF THREE(3) STACKING SPACES THAT ARE 9 FEET BY 18 FEET EACH. TO SHOW COMPLIANCE WITH THE ABOVE I INDICATE THE DRIVE-THROUGH DRIVEWAY'S MEASUREMENTS.
18. THE DEPARTMENT OF PUBLIC WORKS HAS OBJECTED TO THE PROPOSED CURB CUT WIDTHS, NOTING THEIR NON-COMPLIANCE WITH THE CITY ( ORDINANCE.
19. THE DEVELOPER SHALL INDICATE THE INSTALLATION OF AT LEAST TWO (2) SHORT-TERM BICYCLE PARKING SPACES, AS SET FORTH IN ARTICLE2 ZONING ORDINANCE, ON THE FINAL PLANS SUBMITTED TO THE CITY PLANNING COMMISSION. THE DESIGN OF BICYCLE PARKING SPACES SHALL ARTICLE 22, SECTION 22.9 OF THE COMPREHENSIVE ZONING ORDINANCE.
20. THE DEVELOPER SHALL REPAIR AND RESTORE ANY DAMAGED SIDEWALKS ALONG ALL STREET FRONTAGES SUBJECT TO THE REVIEW AND APPF 21. THE SUBJECT PROPERTY SHALL BE ONLY USED IN CONNECTION WITH OPERATION OF A MCDONALD'S CORPORATION RESTAURANT.
22. NO LOITERING SHALL BE ALLOWED ON THE SITE AND ADJACENT PUBLIC RIGHT-OF-WAY.
23. RECORDED MUSIC OR EXCESSIVE NOISE SHALL NOT BE AUDIBLE OUTSIDE OF THE BUILDING AND THERE SHALL BE NO LIVE MUSIC ALLOWED AT 24. ANY MATURE TREE ALLOWED TO BE REMOVED BECAUSE OF DRIVEWAY PLACEMENT WILL BE REPLACED WITH FIVE (5) LIVE OAK PLANTINGS ON
NEIGHBORHOOD ASSOCIATIONS AND APPROVED BY PARK AND PARKWAYS.
<ul> <li>25. IF A GREASE TRAP IS PLACED ON THE PROPERTY OUTSIDE THE BUILDING, IF ABOVE GROUND IT SHALL ALSO BE SCREENED COMPLETELY BY AN GREASE TRAP TO BE SERVICED AS OFTEN IS NECESSARY TO PREVENT ANY OVERFLOWING GREASE, VERMIN OR NOXIOUS ODORS.</li> <li>26. ALL DISPOSABLE CUPS AND TAKE OUT MATERIALS USED AT THE MCDONALD'S RESTAURANT SHALL BEAR THE MCDONALD'S LOGO.</li> </ul>
27. COMMENCING AFTER CONSTRUCTION OF THE NEW RESTAURANT BUILDING NO DELIVERY VEHICLES LARGER THAN TWO AXLES OR LONGER THA
THIS PROPERTY. ALL DELIVERIES TO THE RESTAURANT SHALL BE MADE BY DELIVERY TRUCKS SOLEY ENTERING THE PROPERTY FROM LOUISIA 10:00 P.M. AND 8:00 A.M. MONDAY THROUGH SUNDAY. 28. THE RESTAURANT'S DINING ROOM HOURS (WHERE IT IS OPEN TO PUBLIC) SHALL BE DAILY FROM 6:00 A.M. TO 11:00 P.M., WITH THE RESTAURANT
20. ME HE REGRAMANTS DIVING HEAVING WITH HE REGRAMMENT TO FOREIGN STALL BE DAILY FROM 0.00 A.M. FO FI.30 FI.M., WITH THE REGRAMMENT HOURS A DAY. 29. NO SIDEWALK SEATING ON PUBLIC RIGHT-OFOWAYS WILL BE ALLOWED AT THE MCDONALD'S RESTAURANT. NOR SHALL THERE BE OUTSIDE PAT
29. NO SIDEWALK SEATING ON FODER HIGHT-OFOWATS WILL BE ALLOWED AT THE MEDONALD STRESTAURANT. NON STALL THERE BE OUTSIDE FAT BUMP-OUTS ON THE ST. CHARLES AVENUE FAÇADE OF THE NEW BUILDING, THE EDGE OF THE BASE OF THE BUILDING WILL BE SET BACK 22 FEE 30. DEVELOPER SHALL CAUSE THE INSTALLATION AND MAINTENANCE OF A WORKING EXTERIOR CAMERA SYSTEM IN THE FRONT, SIDE AND REAR O
30. DEVELOPER SHALL CAUSE THE INSTALLATION AND MAINTENANCE OF A WORKING EXTERIOR CAMERA SYSTEM IN THE FRONT, SIDE AND REAR O CAPTURING THE SIDEWALK AND STREET AREAS IN FRONT OF THE RESTAURANT AND IN THE REAR OF THE RESTAURANT, AND CAPTURING ACTIV RESTAURANT. DEVELOPER FURTHER AGREES TO USE ITS REASONABLE EFFORTS TO ALLOW NOPD OR GARDEN DISTRICT SECURITY DISTRICT ( REQUEST AFTER A REPORTED INCIDENT OF A SUSPICIOUS OR CRIMINAL NATURE.

REIN FOR THE USE AUTHORIZED BY THIS ORDINANCE, UNLESS THE	SHEET COMPLIANCE REFERENCE DRAWING NO.	BMT	BMT	BMT	BJT	BJT	BJT	BY
TED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL G COMMISSION FOR FINAL APPROVAL, THE DEVELOPER SHALL	SEE STAMPED HDLC PLANS			N				TION
A LARGER LANDSCAPE BUFFER BETWEEN THE LOUISIANA AVENUE	L1.0	-		ND REVIEW	JLC CofA	/HEALTH	PERMIT	SCRIPTIC
CE REQUIREMENT OF ARTICLE 12, SECTION 12.3.A.1 (TABLE 12-2) OF	L1.0	REVIEW	REVIEW	IT BRAND	FOR HDL	SFM/HE	FOR PE	DES
UIREMENT OF ARTICLE 12, SECTION 12.3.A.1 (TABLE 12-2) OF THE	C4.0	BRAND	BRAND	RESUBMIT	SUBMIT	SUBMIT	SUBMIT	
AND PERMITS AND RECORD THE RESUBDIVISION PLAN IN THE	RESUB SURVEY BY ACADIA LAND SURVEYING	26/19	/19	/18/19	22/20	)4/22	/12/22	ŢĒ
IENTS OF ARTICLE 22, SECTION 22.8 OF THE COMPREHENSIVE		2/60	11/07	11/1	6/2	05/0	05/1	DATE
S WITH ARTICLE 23, SECTION 23.3.B OF THE COMPREHENSICE	C4.0							REV
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JBLIC RIGHT-OF-WAY, INCLUDING SIDEWALKS, CURBING, AND CURB G COMMISSION FOR FINAL APPROVAL, THE DEVELOPER SHALL	SEE DPW APPROVAL LETTER				1	í D		
VED FROM THE PUBLIC RIGHT-OF-WAY. WHEN SUBMITTING PLANS WALS BY THE DEPARTMENT OF PARKS AND PARKWAYS.	SEE PARKS & PARKWAYS APPROVAL LETTER						н С	
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ND ALL OTHER RELEVANT CITY AGENCIES. HER RELEVANT CITY AGENCIES. S ARE PROHIBITED. IOURS OF OPERATION.	SEE NOISE ABATEMENT PLAN	PREPARED BY:	Su Me 50	uite 2 etairi 4. 83	00 e, L 38.80	_A 091	Avenu 70005 ng.cor	
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OF LOT AREA IN ORDER TO HAVE A DRIVE-THROUGH FACILITY. IN 20,000) SQUARE FEET.		McDonald	ک	ntial and	ā,	 00 <sup>−</sup>	her pro eers. f	ject is
EFFICIENCY TO TRAFFIC CIRCULATION ON ADJOINING STREETS.		© 2001	S S	confidential	not be	, aocum with i	ar a l on anot d engine	her pro
/ SCREENED FROM VIEW ALONG THE PUBLIC RIGHT-OF-WAY AND GLARE AND ANY MENU INTERCOM DISPLAYS. SUCH SCREENING . BE INSTALLED ALONG THE FENCE OR WALL TO PROVIDE A	C4.0		ld's	s are the	and shall	conjunction	ent site or example c chitects and	se on anot
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MENT PLANS ARE APPROVED BY THE CITY PLANNING COMMISSION G PLANS WITHIN A ONE YEAR TIME PERIOD OR FAILURE TO E WILL VOID THE CONDITIONAL USE APPROVAL.	SHALL COMPLY	FOR:	<b>N</b> C	าก รถน่างก	of McDor	on this s	able tor u rawings fo of proper	act docu
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CITY CODE, AS WELL AS THE COMPREHENSIVE ZONING	C4.0		F DATF		ED BY	SUT SUT	i <b>∕19</b>	
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		-	0.	)				
) APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.	C4.0 SHALL COMPLY							
	SHALL COMPLY		ΓŊ					ANS, LA.
ED AT ANY TIME AT THE RESTAURANT. GS ON ST. CHARLES AVE. IN LOCATIONS CHOSEN BY THE AFFECTED	SHALL COMPLY	-	URA					ORLE
			RESTAURANT					NEW
BY AN OPAQUE FENCE, AND DEVELOPER SHALL CAUSE THE	UNDERGROUND GREASE TRAP SHALL BE EMPLOYED					IOR 21111	KIICHEN	S AVE.
R THAN 20 FEET IN LENGTH SHALL BE ALLOWED TO DELIVER TO	SHALL COMPLY	-	LDS			INTER!		ESS CHARLES
DUISIANA AVENUE AND SHALL OCCUR BETWEEN THE HOURS OF	SHALL COMPLY		McDONALDS				₽ I	SITE ADDRESS 3321 ST. CHI
JRANT'S DRIVE-THRU WINDOW OPENED UP TO TWENT-FOUR (24)	SHALL COMPLY		/ Mci	, UILD		L EXTER		107
DE PATIO SEATING. WITH THE EXCEPTION OF THE TWO (2) 2 FEET FROM THE PROPERTY SIDE OF THE SIDEWALK.	C4.0, A2.0, A2.1	TITLE	NEW Me	REB	DESCRIPTION	SPECIAL		SITE ID 017-01
EAR OF THE MCDONALD'S RESTAURANT, IN EACH INSTANCE, ACTIVITY WITHIN AT LEAST 30 FEET OF THE MCDONALD'S RICT (GDSD) ACCESS TO THIS FOOTAGE WITHIN 24 HOURS UPON	SHALL COMPLY	IEET NO.		С	V		<u>17</u> -1 2 ( <b>RENC</b>	
	1	<b>1</b> "		101	- r	6		



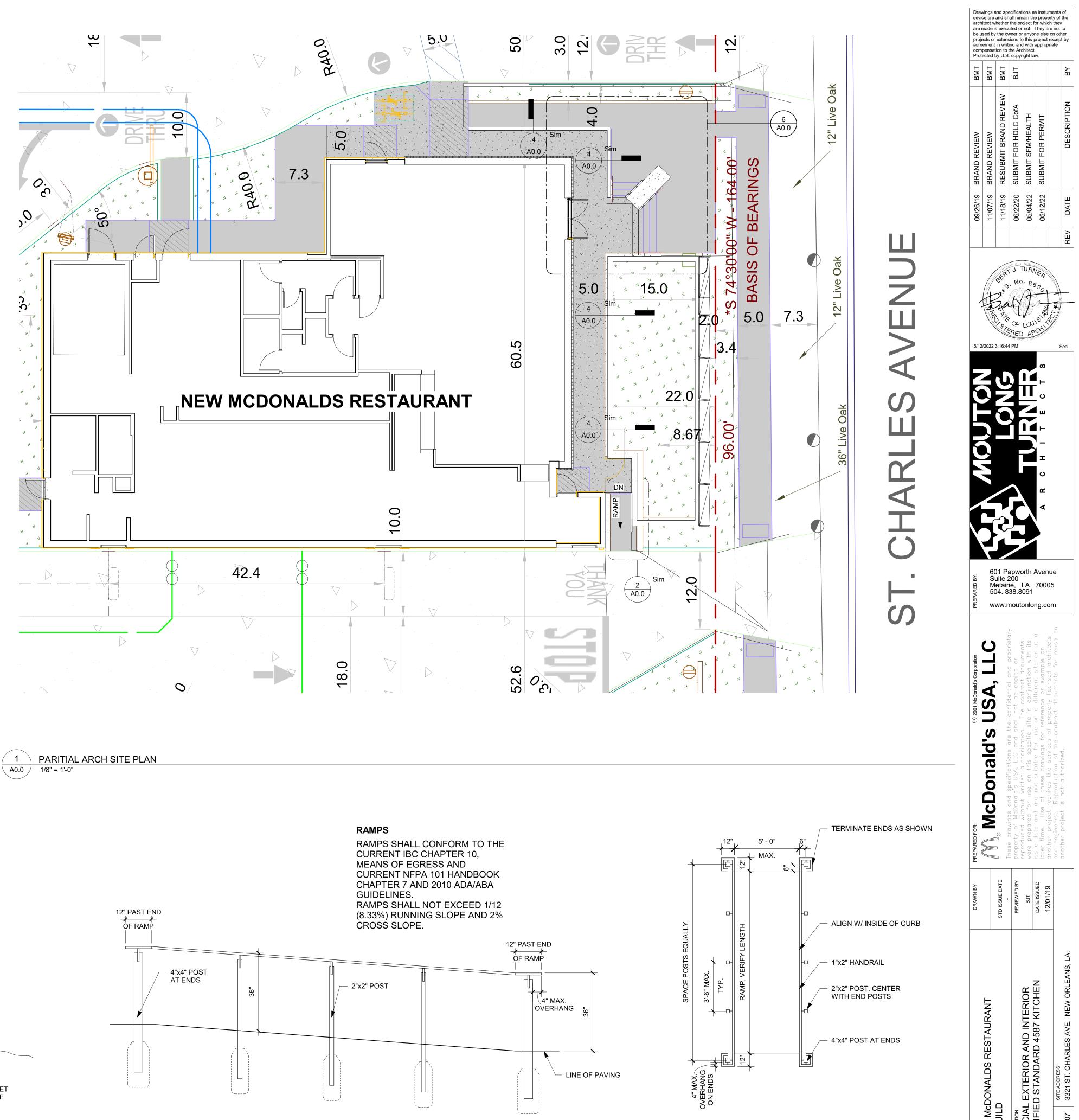


3D RAMP VIEW WITH HANDRAIL DETAIL (TYPICAL)

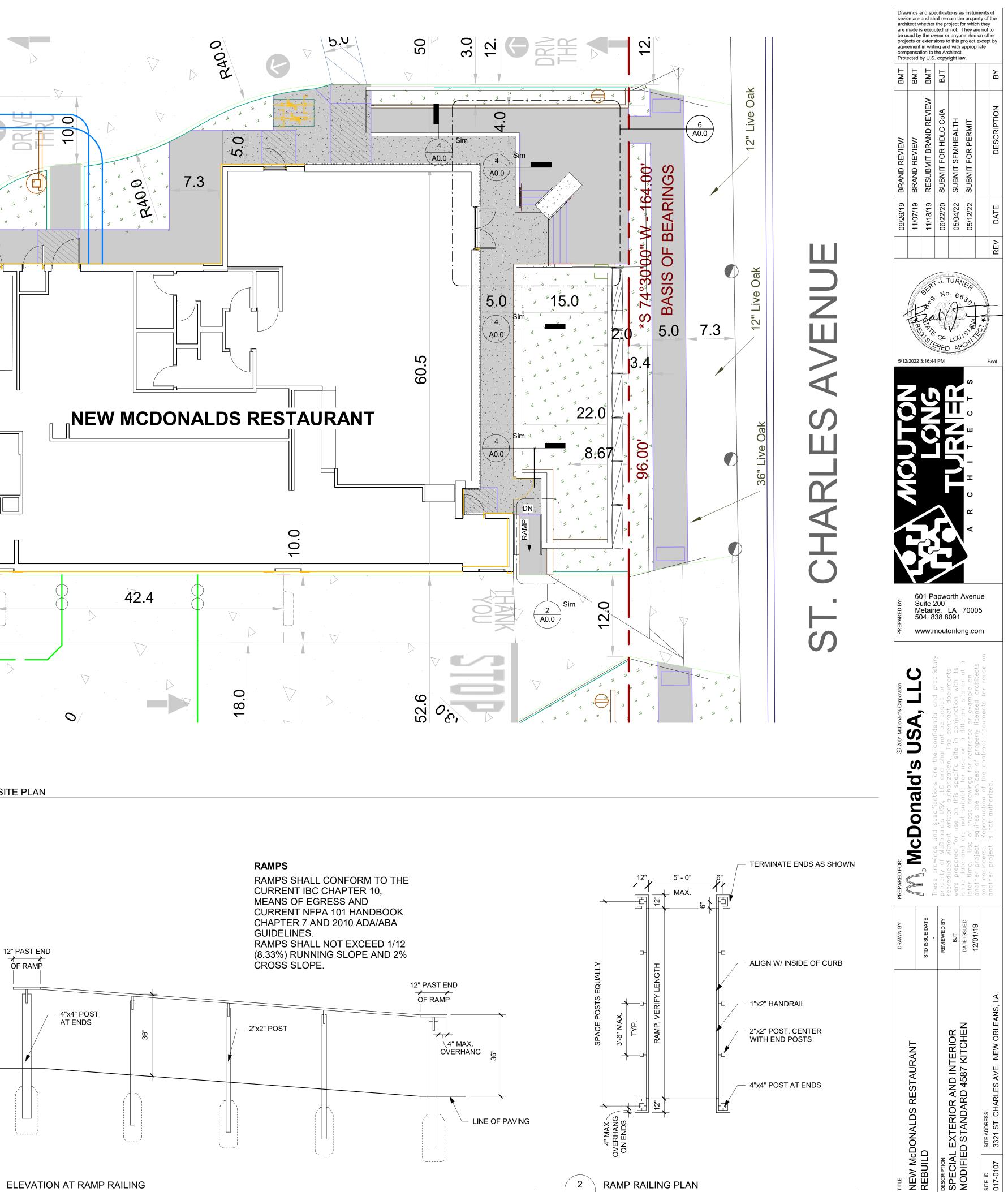




STAIRS SHALL CONFORM TO THE CURRENT IBC CHAPTER 10, MEANS OF EGRESS AND CURRENT NFPA 101 HANDBOOK CHAPTER 7 SECTION 7.2.2 AND 2010 ADA/ABA GUIDELINES. STAIRS SHALL HAVE A TREAD DEPTH OF 13" AND RISER HEIGHT OF 7" MAX PER EXHIBIT 7.19 -NFPA 101









3ELEVATION AT RAMP RAILINGA0.01/2" = 1'-0"

2 A0.0

RAMP RAILING PLAN 1/4" = 1'-0"

MLT PROJ #17-1406

A0.0

SITE ARCH DETAILS

# CIVIL CONSTRUCTION PLANS FOR McDONALD'S RESTAURANT L/C # 017-0107 3321 ST. CHARLES AVE. NEW ORLEANS, ORLEANS PARISH, LOUISIANA

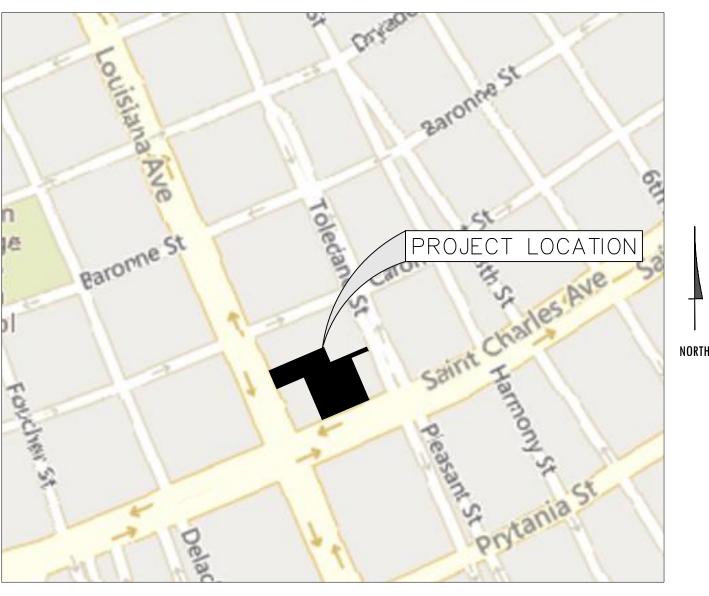
AREA CONSTRUCTION MANAGER:	McDONALD'S USA, LLC
	DALLAS FIELD OFFICE
	511 E. JOHN CARPENTER FRWY, SUITE 375
	IRVING, TX 75062
	CONTACT: KYLE BOURGEOIS
	PHONE: (504) 252-5153
CIVIL ENGINEER:	LANGAN ENGINEERING
	8951 CYPRESS WATERS BLVD., SUITE 150
	DALLAS, TX 75019
	CONTACT: MARGARET GRISSOM
	PHONE: (817) 328-3242
LANDSCAPE ARCHITECT:	LANGAN ENGINEERING
	8951 CYPRESS WATERS BLVD., SUITE 150
	DALLAS, TX 75019
	CONTACT: JILL ROGERS
	PHONE: (817) 328-3233
SURVEYOR:	ACADIA LAND SURVEYING, LLC
	206 EAST 2ND ST.
	THIBODAUX, LA 70301
	CONTACT: MICHAEL P. BLANCHARD, PLS
	PHONE: (985) 449-0094
STRUCTURAL ENGINEER:	BEC ENGINEERING AND CONSULTANTS, INC
	3200 WILCREST DRIVE, SUITE 440
	HOUSTON, TX 77042
	CONTACT: RONALD ROCHE, PE
	PHONE: (281) 664-8440

McDonald's

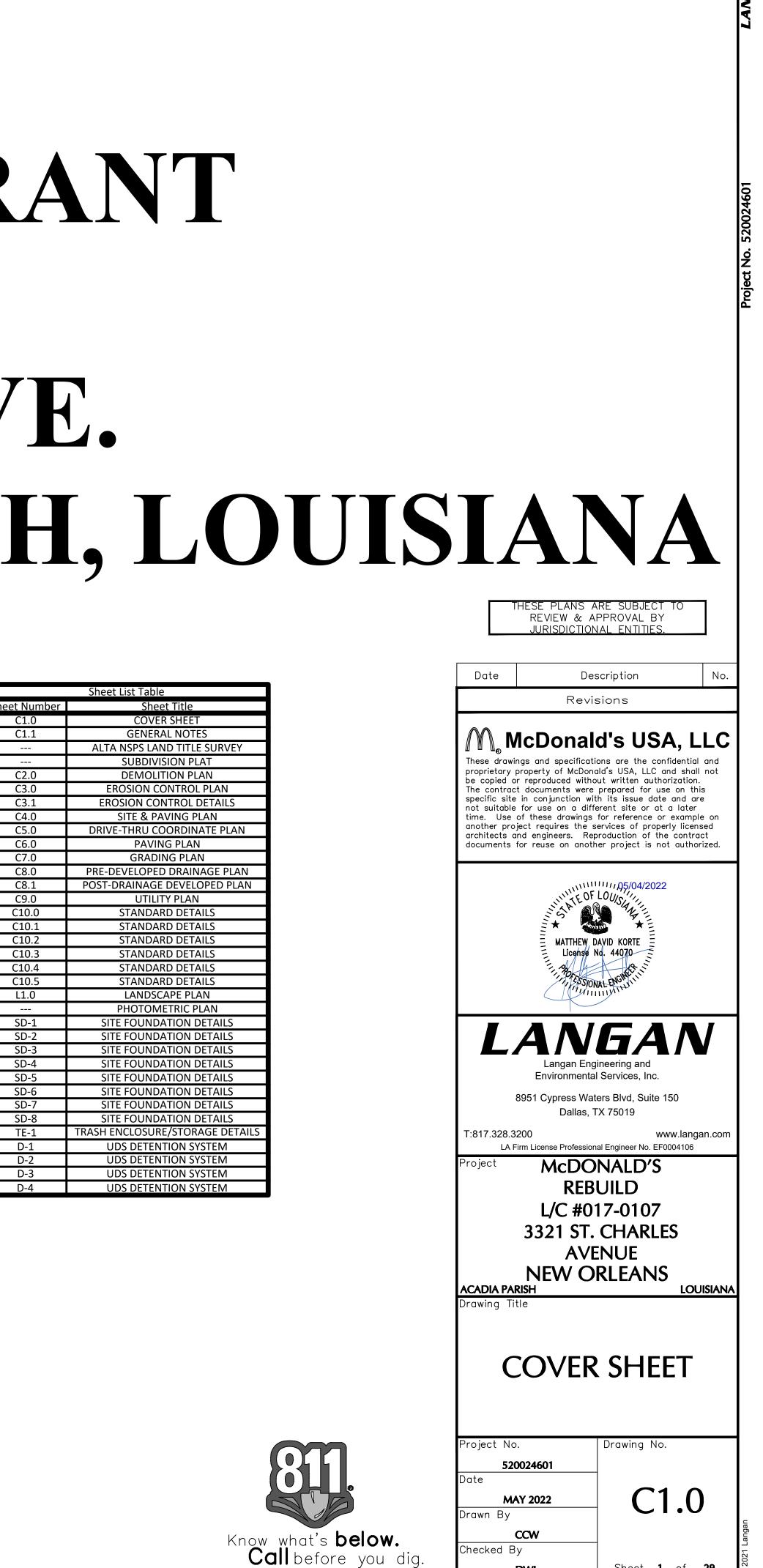
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#### **\*\*** NOTICE TO CONTRACTOR - BIDDING **\*\***

All questions regarding the General Contractor's preparation of his bid shall be directed to the McDonald's Construction Department. Sub-contractors must direct their questions through the General Contractor only. The Consulting Architect and/or Engineer shall not be contacted by the General Contractors, Sub-contractors, or Suppliers without direct prior authorization from McDonald's.



VICINITY MAP



Sheet **1** 

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#### DEMOLITION NOTES

- 1. Refer to McDonald's Specifications Section 017329.
- 2. Contractor is responsible for protection of all property corners and pins.
- 3. Contractor shall remove pavement in accordance with specifications.
- 4. Contractor is responsible for the repair of any damage to existing improvements during construction, such as, but not limited to: drainage, utilities, pavement, striping, curb, etc. Repairs shall be equal to or better than existing conditions.
- 5. All work on this plan shall be done in strict accordance with site work specifications. 6. Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.
- 7. Contractor shall be responsible for protecting the public during construction, including but not limited to: construction fencing, barricades, signage, etc.
- 8. Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction
- 9. Contractor shall verify horizontal and vertical location of all existing utilities prior to construction.
- 10. Contractor shall be responsible for any traffic control necessary for drive demolition/construction.

#### UTILITY NOTES

- and 333100.
- 2. All electrical/conduit runs are schematic only. Lot lights are to be wired to 2 (two) or more circuits in an alternating sequence.
- 3. Private utility connections shown are schematic only. Contractor shall coordinate with utility companies prior to bid. 4. Adjust to finished grade any access points for existing utilities remaining.
- 5. It shall be the sign installer's responsibility to ensure the proposed sign location does not interfere with any utilities and complies with all applicable city codes. Sign installer shall also obtain approval from the appropriate entities
- prior to installing the sign over any existing easements.
- 6. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circuiting. 7. 3/4" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor.

### <u>SITE NOTES</u>

- 1. Contractor shall refer to architectural building plans for exact location and orientation of exterior doors. 2. Trash enclosure finish to match building. Refer to TRASH ENCLOSURE/STORAGE DETAILS for details and foundation
- design. 3. Location of ID sign is approximate. It is the responsibility of the sign contractor to verify compliance with setback, size/height and related zoning requirements prior to setting.
- 4. All dimensions shown are to face of curb unless noted otherwise. 5. Due to nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication to any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- 6. Bases, conduit, and wiring for all signs are by the General Contractor. General Contractor to coordinate with ACM and sign provider for anchor bolts.

#### GRADING NOTES

- specifications.
- 2. Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction
- 3. Contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes, and all utilities prior to construction.
- 4. Contractor is responsible for repairs of damage to any existing improvements during construction, such as but not limited to drainage, utilities, pavement, striping, curbs, etc. Repairs shall be equal to or better than existing conditions.
- 5. Proposed spot grades shown are to top of pavement unless otherwise noted.
- 6. Existing and proposed grade contour intervals shown at one foot (1').
- 7. All un-surfaced areas disturbed by grading operation shall receive four (4) inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3H:1V or steeper. Contractor shall grass disturbed areas in accordance with standard specifications and water until a healthy stand of grass is obtained.
- 8. For location of all utility entrances, see architectural plans and specifications.
- routing of power and services to building.
- 10. Construction shall comply with all governing codes and be constructed to same.
- 11. The Contractor shall maintain dust control on site at all times by watering site as often as needed.
- 12. Contractor shall field verify elevations of adjacent properties to McDonald's site. If existing grades do not match those shown on this plan, Contractor shall notify McDonald's project manager.
- 13. Contractor shall be responsible for any traffic control necessary for drive demolition/construction. 14. All elevations shown are in reference to the benchmark and must be verified by the General Contractor at
- groundbreak.
- 15. Curb elevations shall be 6" above finish pavement unless noted otherwise. 16. All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping, and sprinkler system are by the Owner/Operator.

#### PAVING NOTES

- 1. Refer to McDonald's specifications sections 079200, 321216, 321236, 321313, 321613, 321713, and 321723.
- 2. Refer to site plan for additional dimension, radii, etc.
- 3. The paving contractor shall not place permanent pavement until all sleeving for electric, gas, telephone, cable tv, site irrigation, etc. has been installed. it shall be the paving contractor's responsibility to insure that all sleeving is in place prior to placing of permanent pavement. prior to starting of construction, the contractor shall make certain that all required permits and approvals from city have been obtained.
- 4. Contractor to refer to building & structural plans for foundation design.
- 5. Contractor shall be responsible for any traffic control necessary for drive demolition/construction. 6. Sidewalks around the building shall have the same subgrade as building foundation as described in geotech report provided by Terracon Consultants, Inc. (project no. ET215059)
- 7. McDonald's reserves the right to request a compaction and/or a core sample. if tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise g.c., will be charged.

#### GENERAL NOTES

- 1. General Contractor must provide exact "as built" information upon completion.
- 2. It is strongly recommended that no contractual agreement of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- 3. Contractor shall contact appropriate jurisdiction agencies prior to construction to confirm if independent testing or inspections will be required as a condition of their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
- 4. All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdiction standard construction details and specifications. All other materials and construction shall conform to McDonald's Project Manual and Specifications.
- 5. Topographic information taken from a Topographic Survey performed by ACADIA LAND SURVEYORS, LLC. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer in writing if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer in writing if any errors or discrepancies are found on the construction documents (ps&e), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from the Contractor's failure to notify the Engineer and Owner.
- 6. Flood Statement: According to Map No. 22071C0237F, Dated SEPTEMBER 30, 2016 of the Federal Emergency Management Agency, National Flood Insurance Program Map, Site is located in Zone "X" (shaded), areas of 0.2% annual chance floodplain; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less that 1 square mile; and areas protected by levees from 1% annual chance flood. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of Langan Engineering.

#### EROSION CONTROL SEQUENCE

- 1. Install straw wattle and triangular filter dike around disturbed areas as shown. 2. Install inlet protection for all existing grate inlets, curb inlets and at the ends of all exposed storm sewer pipes, if present.
- 3. Commence grubbing and removal of vegetation in area to receive cut or fill.
- 4. Sawcut full depth where shown. Use sawcut edge to retain sediment during demolition. 5. Commence demolition. Load demolished material directly to trucks.
- 6. Commence grading operation for building pad preparation (see Grading Plan).
- 7. Install all underground utilities.
- 8. Finalize pavement subgrade preparation.
- 9. Install all proposed storm sewer pipes and inlet protection silt fences at ends of exposed pipes. 10. Construct all grate inlets and drainage structures. Inlet protection silt fences may be removed temporarily for this
- construction. 11. Remove silt fences around inlets and manholes no more than 48 hours prior to placing stabilized base course.
- 12. Install base material as required for pavement, curb and gutter.
- 13. Install all paving, curb and gutter.
- 14. Complete planting and/or seeding of vegetated areas to accomplish stabilization in accordance with the landscaping plan. Throughout the project and the maintenance period for turfgrass, it is the contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the contractor until establishment and acceptance is achieved.
- 15. Remove construction entrance, straw wattle and triangular filter dike.

#### 1. Refer to McDonald's Specifications Sections 220523, 221116, 221316, 221319, 221413, 221423, 231123, 330513, 331116,

#### 1. The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and

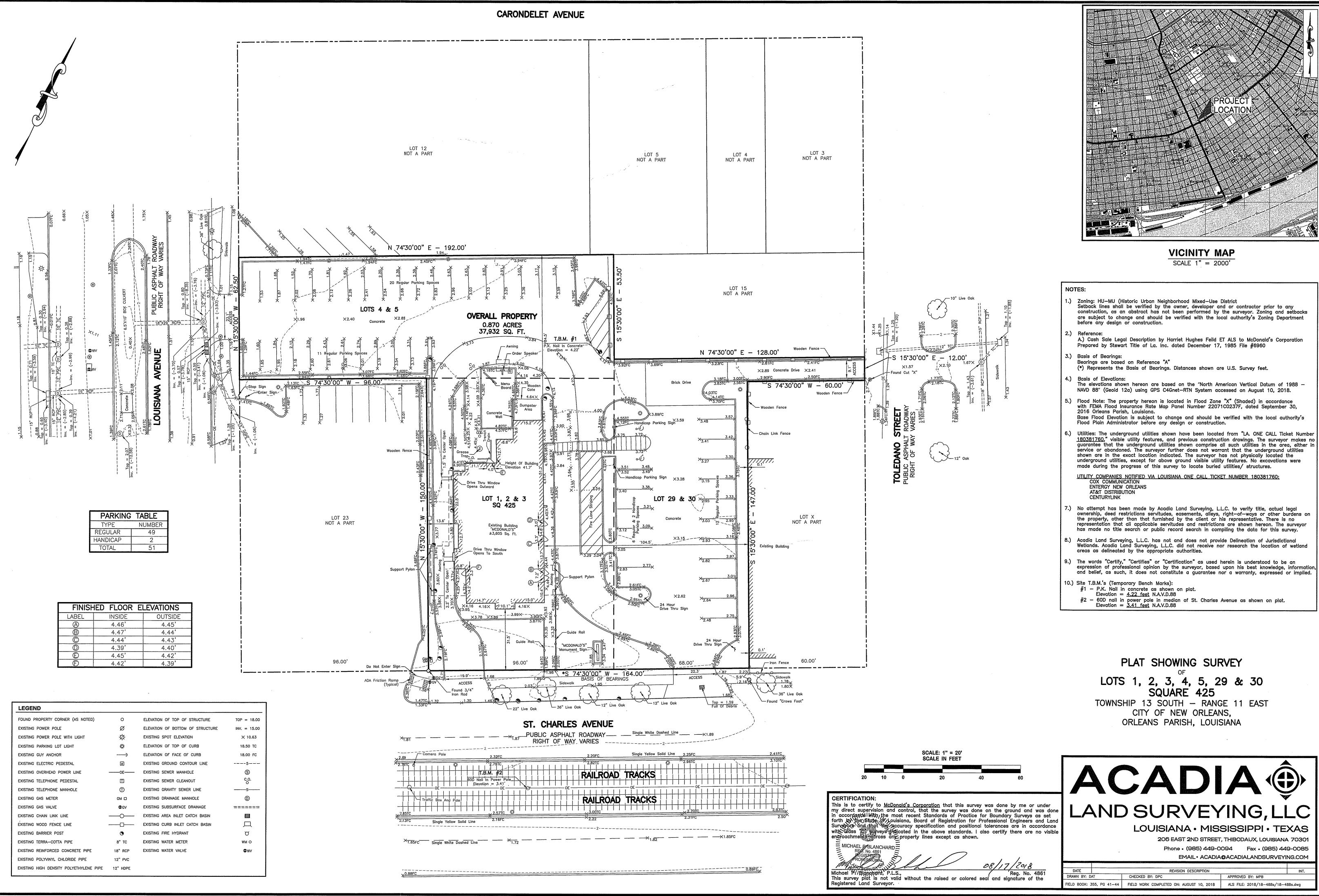
- 9. Contractor shall coordinate with architectural plans, power company, telephone company & gas company for actual

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	Revis	sions				
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L	Langan Eng Environmental	Services, Inc.				
	8951 Cypress Wate Dallas, T					
T:817.328.3 LA I		www.langa al Engineer No. EF0004106	an.com			
Project ACADIA PA	Project McDONALD'S REBUILD L/C #017-0107 3321 ST. CHARLES AVENUE NEW ORLEANS					
Drawing Title GENERAL NOTES						
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