

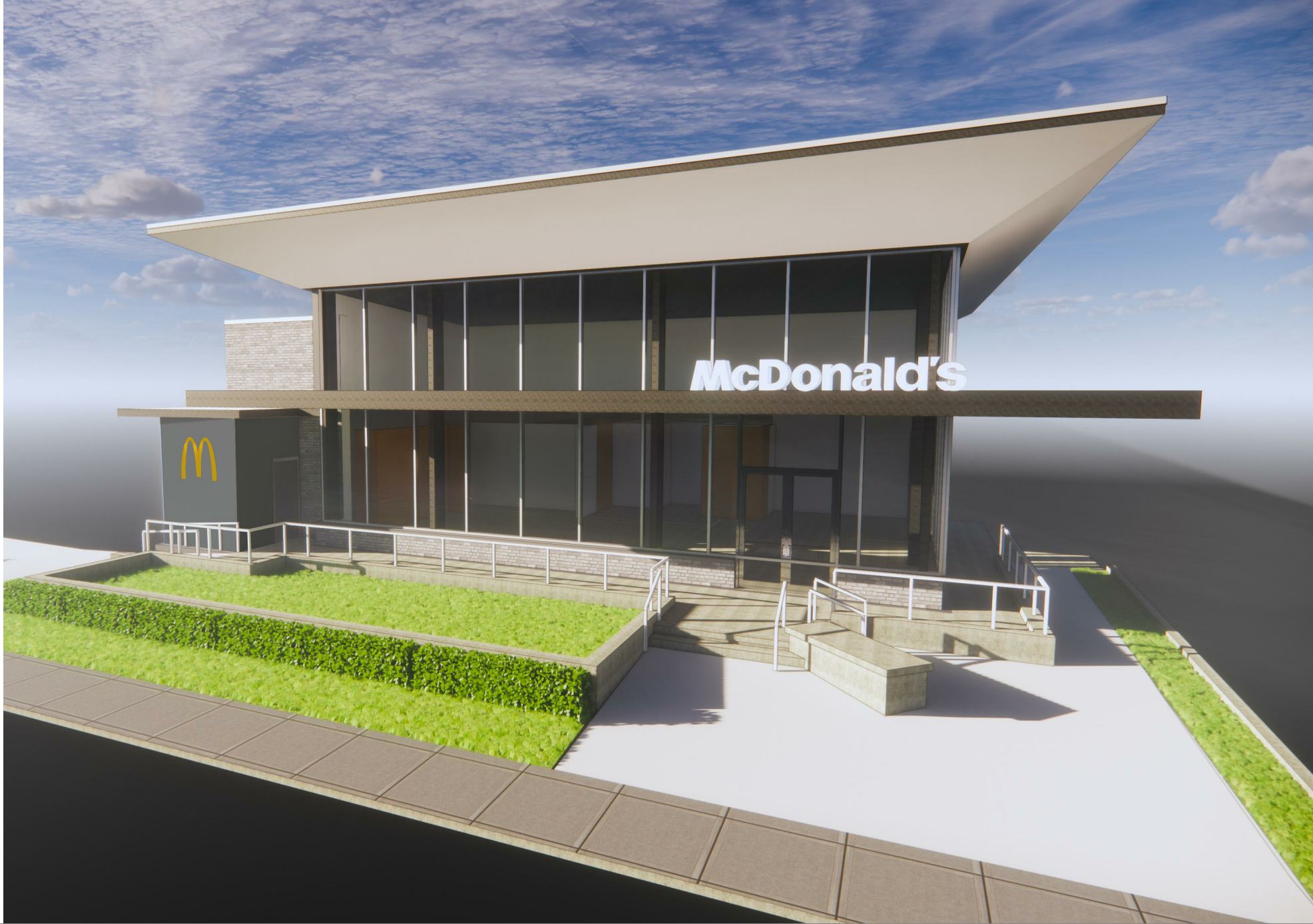
McDonald's

3321 ST. CHARLES AVE. NEW ORLEANS, LA

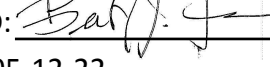
REBUILD WITH SPECIAL EXTERIOR/INTERIOR

SITE ID: 017-0107

GREAT SOUTHERN REGION



THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY SHALL COMPLY WITH ALL LOCAL CODE AND CITY REQUIREMENTS.

SIGNED: 
DATE: 05-12-22
LICENSE NO: 6630

WAIVER (See Sheet CV2 for Provisos)

1. DEVELOPER IS GRANTED A WAIVER FROM THE PROVISIONS OF ARTICLE 22, SECTION 22.4.B. MAXIMUM VEHICLE PARKING OF THE COMPREHENSIVE ZONING ORDINANCE. THE MAXIMUM OFFSTREET PARKING REQUIREMENT IS THIRTEEN (13) SPACES. THE SUBMITTED SITE PLAN SHOWS THERE ARE TWENTY-EIGHT (28) VEHICULAR SPACES ON THE TOTAL SITE, NECESSITATING A VARIANCE OF FIFTEEN (15) SPACES.

PROJECT DATA:

| | |
|------------------------|--|
| 1. SUBMITTOR | MOUTON LONG TURNER ARCHITECTS |
| 2. SUBMITTOR ADDRESS | 601 PAPWORTH AVENUE, SUITE 200 METAIRIE, LA 70005 (504) 838-8091 |
| 5. PROJECT DESCRIPTION | REBUILD OF EXISTING FAST FOOD RESTAURANT |
| 6. OWNER NAME | MCDONALDS CORPORATION |
| 7. OWNER ADDRESS | 110 N CARPENTER ST. CHICAGO, IL 60607-2101 UNITED STATES |

BUILDING INFORMATION:

ADDRESS:
STATE SITE CODE: 017-0107
STREET ADDRESS: 3321 ST. CHARLES AVE.
CITY: NEW ORLEANS
PARISH: ORLEANS
STATE: LOUISIANA

OCCUPANT LOAD:

| | | |
|---|---|-------------|
| CUSTOMER AREA: (1 PERSON / 15 NSF) | | |
| 1389 NSF | = | 92 |
| KITCHEN: (1 PERSON / 200 GSF) | | |
| 1190 GSF | = | 6 |
| STORAGE/RECEIVING AREAS: (1 PERSON / 300 GSF) | | |
| 532 GSF | = | 2 |
| TOTAL = | | 100 PERSONS |

2015 IBC TABLE 2902.1:

ASSEMBLY (A-2)
WATER CLOSETS (1 PER 75 M/F)
LAVATORIES (1 PER 200 M/F)

| | | | | | |
|-----------------------------|---|-------|-----------------------------|---|-------|
| RESTROOM FIXTURES REQUIRED: | | | RESTROOM FIXTURES PROVIDED: | | |
| MEN | | WOMEN | MEN | | WOMEN |
| W.C. | 1 | 1 | W.C. | 1 | 2 |
| LAV | 1 | 1 | LAV | 1 | 1 |
| URINAL | 0 | 0 | URINAL | 1 | 0 |

CONSTRUCTION PROJECT MGR:

| | NAME: | ADDRESS | PHONE #: |
|------|----------------|---------------------------|--------------|
| RCM: | Keith Botkins | Keith.Botkin@us.mcd.com | |
| ACM: | Kyle Bourgeois | kyle.bourgeois@us.mcd.com | 504-252-5153 |

***NOTE:**
G.C. SHALL REFER TO THE MOST CURRENT MCDONALD'S PROJECT MANUAL FOR MATERIAL SPECIFICATIONS AND ADDITIONAL INFORMATION. COORDINATE WITH ACM FOR MOST CURRENT PROJECT MANUAL

DRAWING INDEX

| SHEET | SHEET NAME | REV DATE | REV # |
|---------------|---------------------------------|----------|-------|
| ARCHITECTURAL | | | |
| 0CV | COVER SHEET | | |
| 0CV-2 | PROVISOS REFERENCE | | |
| A0.0 | SITE ARCH DETAILS | | |
| CIVIL | | | |
| C1.0 | CIVIL COVER SHEET | | |
| C1.1 | CIVIL GENERAL NOTES | | |
| C1.2 | ALTA NSPS LAND TITLE SURVEY | | |
| C2.0 | CIVIL DEMOLITION PLAN | | |
| C3.0 | EROSION CONTROL PLAN | | |
| C3.1 | EROSION CONTROL DETAILS | | |
| C4.0 | SITE & PAVING PLAN | | |
| C5.0 | DRIVE THRU COORDINATE PLAN | | |
| C6.0 | PAVING PLAN | | |
| C7.0 | GRADING PLAN | | |
| C8.0 | PRE-DEVELOPED DRAINAGE PLAN | | |
| C8.1 | POST-DEVELOPED DRAINAGE PLAN | | |
| C9.0 | UTILITY PLAN | | |
| C10.0 | STANDARD DETAILS | | |
| C10.1 | STANDARD DETAILS | | |
| C10.2 | STANDARD DETAILS | | |
| C10.3 | STANDARD DETAILS | | |
| C10.4 | STANDARD DETAILS | | |
| C10.5 | STANDARD DETAILS | | |
| D1 | UDS DETENTION SYSTEM | | |
| D2 | UDS DETENTION SYSTEM | | |
| D3 | UDS DETENTION SYSTEM | | |
| D4 | UDS DETENTION SYSTEM | | |
| SD1 | SITE FOUNDATION DETAILS | | |
| SD2 | SITE FOUNDATION DETAILS | | |
| SD3 | SITE FOUNDATION DETAILS | | |
| TE1 | TRASH ENCLOSURE/STORAGE DETAILS | | |
| LANDSCAPE | | | |
| L1.0 | LANDSCAPE PLAN | | |
| STRUCTURAL | | | |
| S1.0 | FOUNDATION PLAN | | |
| S1.1 | FOUNDATION DETAILS | | |
| S2.0 | LOW ROOF FRAMING PLAN | | |
| S3.0 | FRAMING DETAILS | | |
| S3.1 | FRAMING DETAILS | | |
| ARCHITECTURAL | | | |
| 0G1.0 | ABBREVIATIONS & GENERAL NOTES | | |
| 0G1.1 | ACCESSIBILITY NOTES | | |
| 0G1.2 | ACCESSIBILITY DETAILS | | |
| A0.1 | ARCHITECTURAL SLAB PLAN | | |
| A1.0 | FLOOR PLAN | | |
| A1.1 | EXTERIOR BUILDING LIGHTING PLAN | | |
| A1.2 | INTERIOR BUILDING LIGHTING PLAN | | |
| A1.3 | ROOF PLAN | | |
| A1.4 | LOW BLADE ROOF DRAINAGE DESIGN | | |
| A2.0 | EXTERIOR ELEVATIONS | | |
| A2.1 | EXTERIOR ELEVATIONS | | |

DRAWING INDEX

| SHEET | SHEET NAME | REV DATE | REV # |
|------------------------------------|------------------------------------|----------|-------|
| A2.2 STOREFRONT/SIGNAGE ELEVATIONS | | | |
| A2.3 | DRIVE THRU CUSTOM FASCIA | | |
| A3.0 | CONDIMENT CENTER DETAILS | | |
| A4.0 | RESTROOM PLAN AND DETAILS | | |
| A5.0 | OVERALL BUILDING SECTIONS | | |
| A5.1 | OVERALL BUILDING SECTIONS | | |
| A5.2 | ENLARGED WALL SECTIONS | Date 2 | 2 |
| A5.3 | ENLARGED WALL SECTIONS | | |
| A5.4 | ENLARGED WALL SECTIONS | Date 2 | 2 |
| A5.5 | ENLARGED WALL SECTIONS | | |
| A5.6 | SECTION DETAILS | | |
| A6.0 | DOOR/HARDWARE SCHEDULE AND DETAILS | | |
| A6.1 | FINISH SCHEDULES | | |
| A7.0 | HOOD SECTION | | |
| KITCHEN | | | |
| K1.0 | KITCHEN COVER SHEET | | |
| K2.0 | KITCHEN PLAN | | |
| K2.1 | KITCHEN SCHEDULE | | |
| MECHANICAL | | | |
| M1.0 | MECHANICAL ROOF PLAN | | |
| M1.2 | DUCTWORK PLAN | | |
| M1.3 | NOT USED | | |
| M1.4 | REFRIGERANT AND GAS PIPING PLAN | | |
| M2.0 | EXHAUST HOODS | | |
| M3.0 | MECHANICAL DETAILS | | |
| M4.0 | GENERAL MECHANICAL NOTES | | |
| M4.1 | MECHANICAL SCHEDULES | | |
| PLUMBING | | | |
| P1.0 | DOMESTIC WATER PIPING | | |
| P1.2 | WASTE VENT & STORM PIPING PLAN | | |
| P1.3 | NOT USED | | |
| P1.4 | UNDERGROUND ROUGH-IN | | |
| P1.5 | NOT USED | | |
| P1.6 | OVERHEAD ROUGH-IN | | |
| P2.0 | DOMESTIC WATER ISOMETRIC | | |
| P2.1 | WASTE & VENT ISOMETRIC | | |
| P2.2 | STORM ISOMETRIC | | |
| P3.0 | PLUMBING DETAILS | | |
| P4.0 | GENERAL NOTES | | |
| P4.1 | SCHEDULES | | |
| ELECTRICAL | | | |
| E1.0 | POS ELECTRICAL RISER DIAGRAM | | |
| E1.1 | ROUGH IN FLOOR PLAN | | |
| E2.0 | LIGHTING PLAN & SCHEDULE | | |
| E3.0 | ELECTRICAL SCHEDULE | | |
| E3.1 | ELECTRICAL & LIGHTING NOTES | | |
| E3.2 | INTERLOCK DIAGRAMS | | |
| E4.0 | WIRING DETAILS | | |
| E4.1 | LIGHTING CONTROLS | | |
| E4.2 | UTILITIES DISTRIBUTION | | |

CONTRACTOR GENERAL NOTES

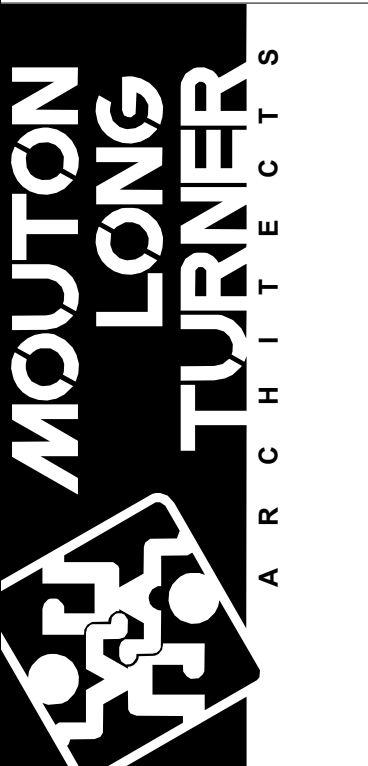
- ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER'S VENDORS REGARDING SCHEDULING ON SITE DURING CONSTRUCTION AND SEQUENCING OF THE WORK.
- THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN INTENT AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE, UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES, SIGNAGE, AND OTHER DEVICES REQUIRED.
- ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY TYPE OF ENERGY LOSS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- UPON COMPLETION OF PROJECT, G.C. TO OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- SIGNS, UNLESS NOTED OTHERWISE, ARE PROVIDED BY OWNER'S SIGN CONTRACTOR. OWNER'S SIGN VENDOR WILL PROVIDE MONUMENT SIGN BASE (CONCRETE, STONE, BRICK, ETC.) IF PROJECT REQUIRES DECORATIVE BASE. SEE SHEET L-1 TO VERIFY IF REQUIRED. GENERAL CONTRACTOR TO PROVIDE ROUGH-IN & FINAL CONNECTION AND BRAILLE EXIT SIGN.
- GENERAL CONTRACTOR TO PROVIDE FOUR (4) 30 YARD DUMPSTERS DURING MCDONALD RETAIL MOVE-IN.
- GENERAL CONTRACTOR SHALL PROVIDE ONE SKILLED LABORER FOR ONE WEEK DURING MCDONALD RETAIL MOVE-IN. (40 HOURS)
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SET-UP AND COORDINATION OF ALL THE UTILITY SERVICES FOR THE PROJECT.
- ALL EXTERIOR FLOOR PLAN DIMENSIONS ARE TO EXTERIOR FACE OF MASONRY UNLESS OTHERWISE NOTED. ALL INTERIOR FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- FINAL KEYING TO BE COORDINATED WITH MCDONALD FACILITY MANAGER AND PAID FOR BY MCDONALD.
- REFER TO "PROJECT MANUAL" FOR ALL OTHER INSTRUCTIONS & DIRECTIVES NOT SHOWN IN DRAWINGS.

Drawings and specifications as instruments of service are and shall remain the property of the architect whether the project for which they are made is executed or not. They are not to be used by the owner or anyone else on other projects or extensions to this project except by agreement in writing and with appropriate compensation to the Architect. Protected by U.S. copyright law.

| | | | | | | | |
|--------------|--------------|-----------------------|---------------------|-------------------|-------------------|--|-------------|
| BMT | BMT | BMT | B/T | | | | BY |
| BRAND REVIEW | BRAND REVIEW | RESUBMIT BRAND REVIEW | SUBMIT FOR HDLC COA | SUBMIT SFM/HEALTH | SUBMIT FOR PERMIT | | DESCRIPTION |
| 09/26/19 | 11/07/19 | 11/19/19 | 06/22/20 | 05/04/22 | 05/12/22 | | REV |
| | | | | | | | DATE |



5/12/2022 3:16:41 PM Seal



PREPARED BY: 601 Papworth Avenue
Suite 200
Metairie, LA 70005
504.838.8091

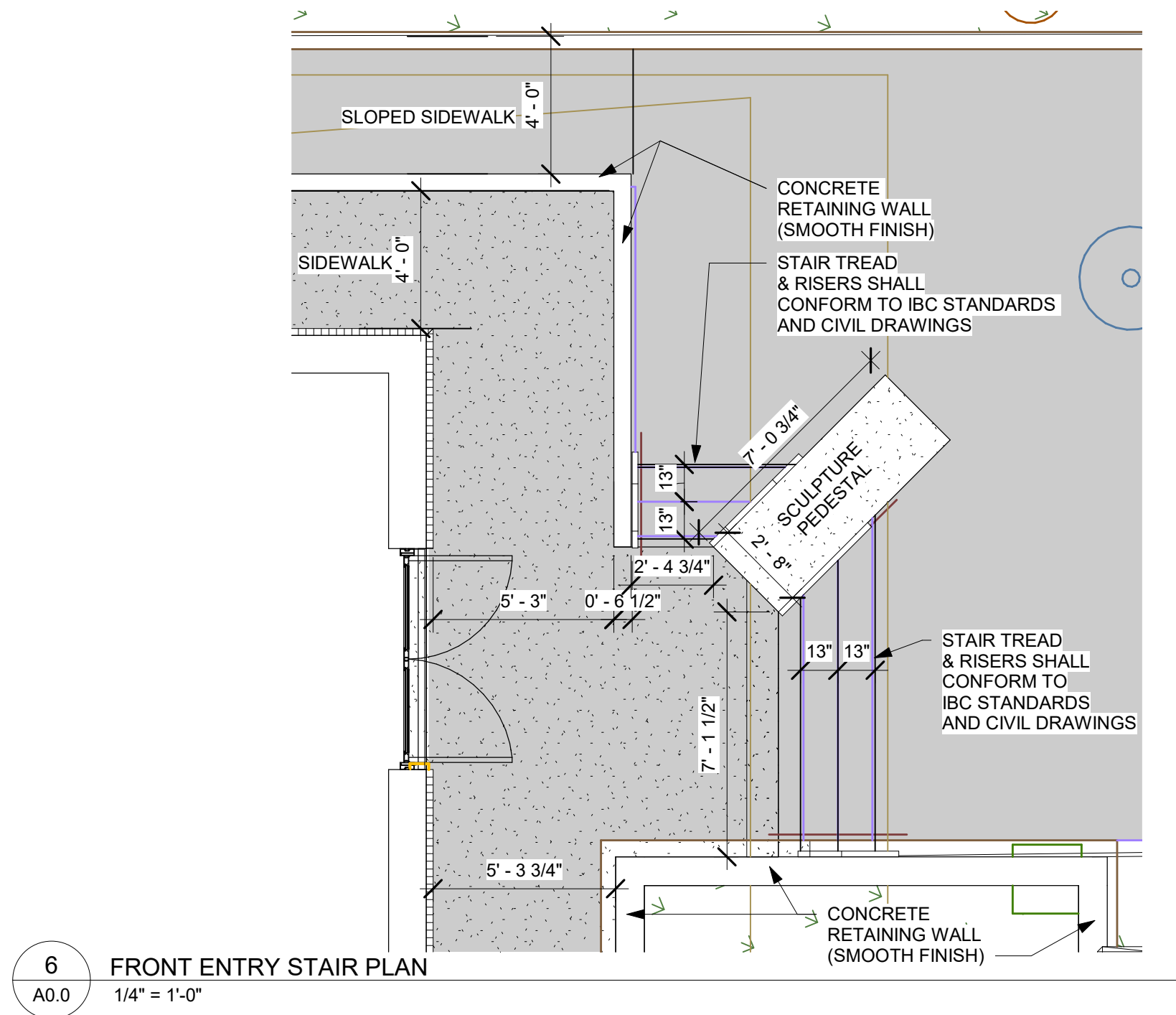
www.moutonlong.com

PREPARED FOR: McDonald's USA, LLC

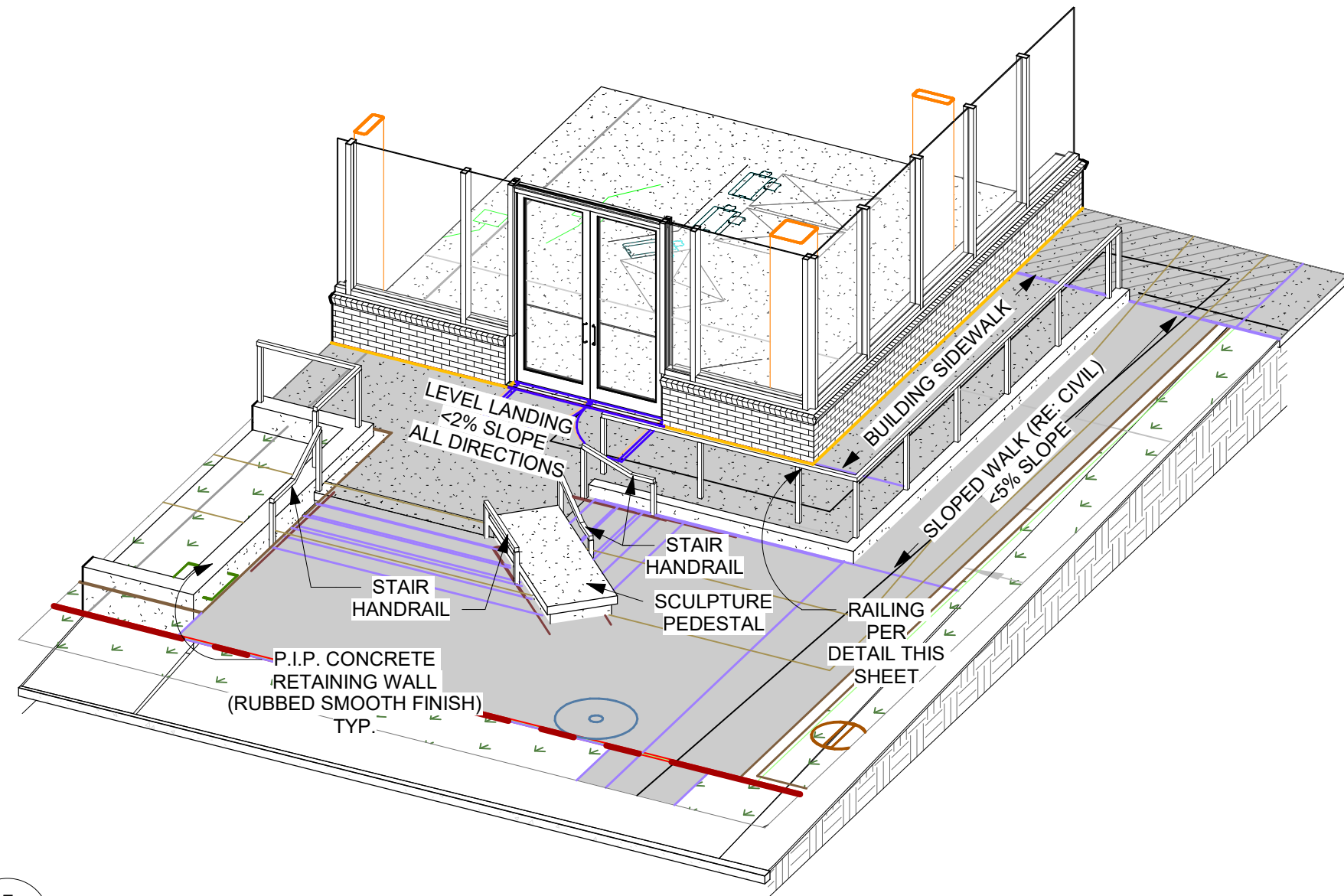
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| | | | | | |
|---|----------------|-------------|-----|-------------|----------|
| DRAWN BY | STD ISSUE DATE | REVIEWED BY | B/T | DATE ISSUED | 12/01/19 |
| NEW McDONALDS RESTAURANT REBUILD | | | | | |
| DESCRIPTION: SPECIAL EXTERIOR AND INTERIOR MODIFIED STANDARD 4587 KITCHEN | | | | | |
| SITE ADDRESS: 3321 ST. CHARLES AVE. NEW ORLEANS, LA. | | | | | |
| SITE ID: 017-0107 | | | | | |
| MLT PROJ #17-1406 | | | | | |
| SHEET NO. 0CV | | | | | |
| COVER SHEET | | | | | |

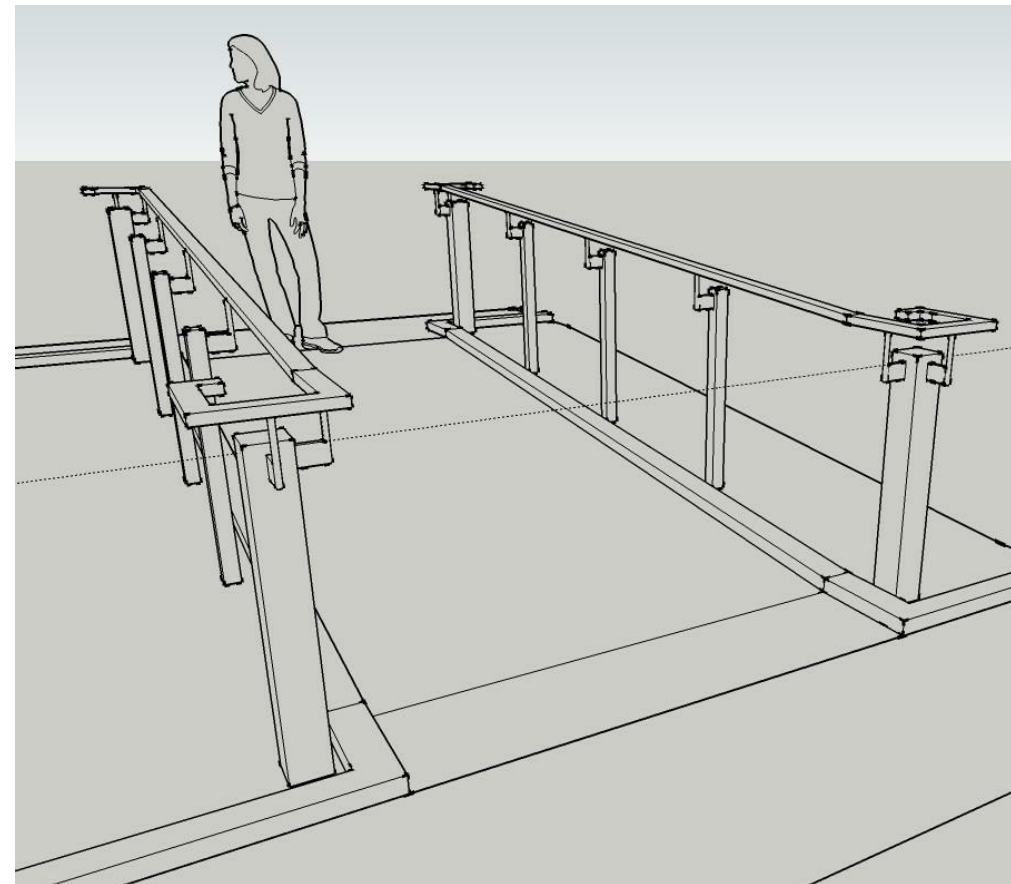
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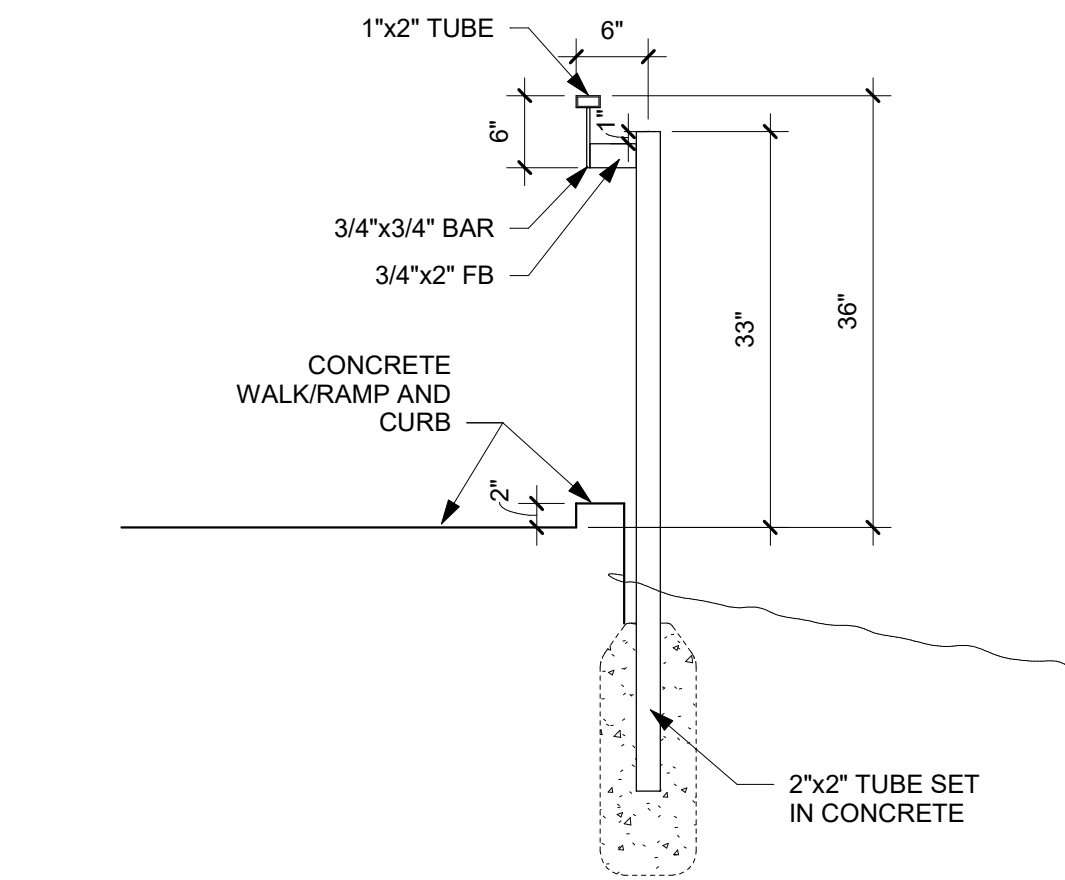
6 FRONT ENTRY STAIR PLAN
1/4" = 1'-0"



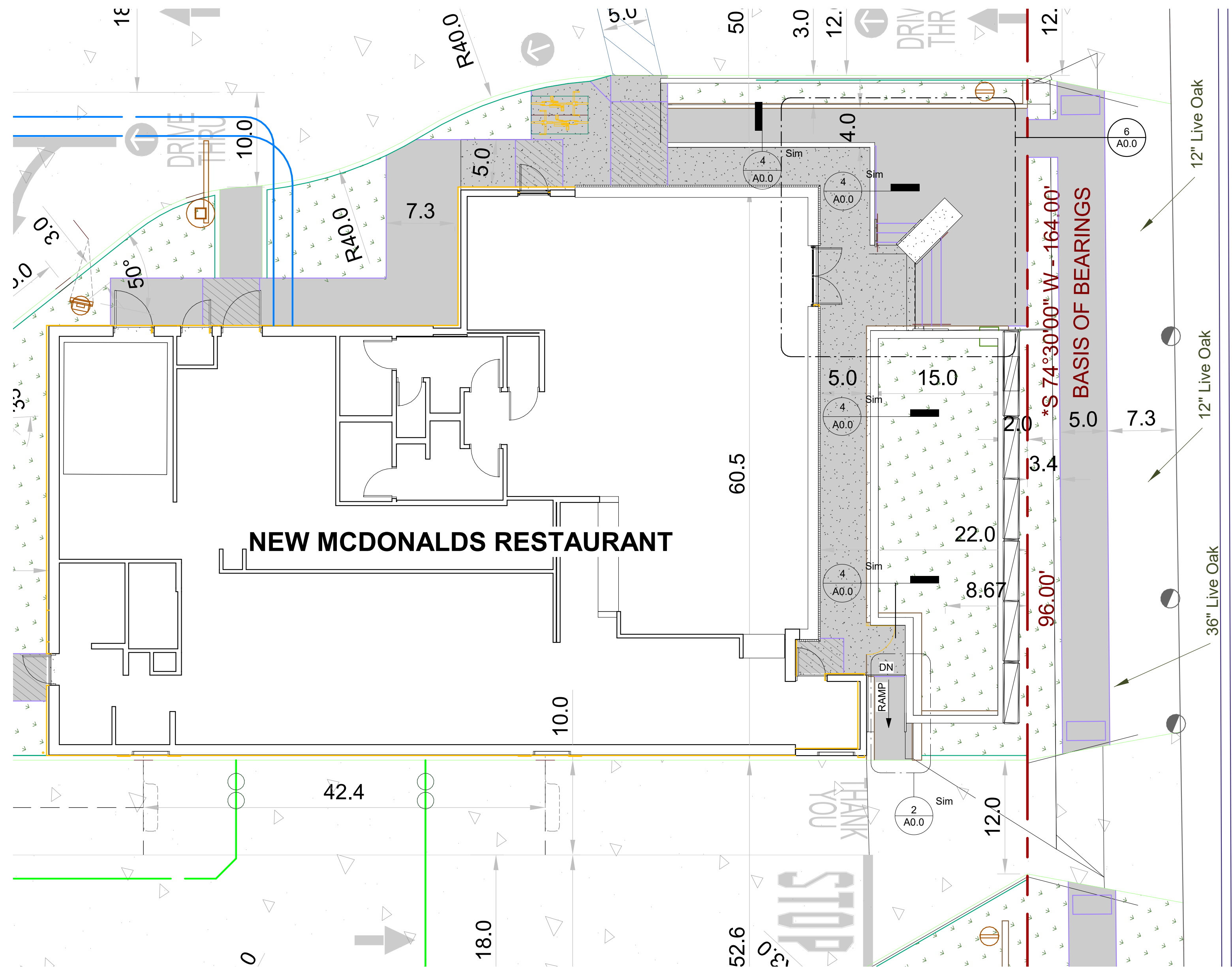
5 3D-FRONT ENTRY STAIRS
A0.0



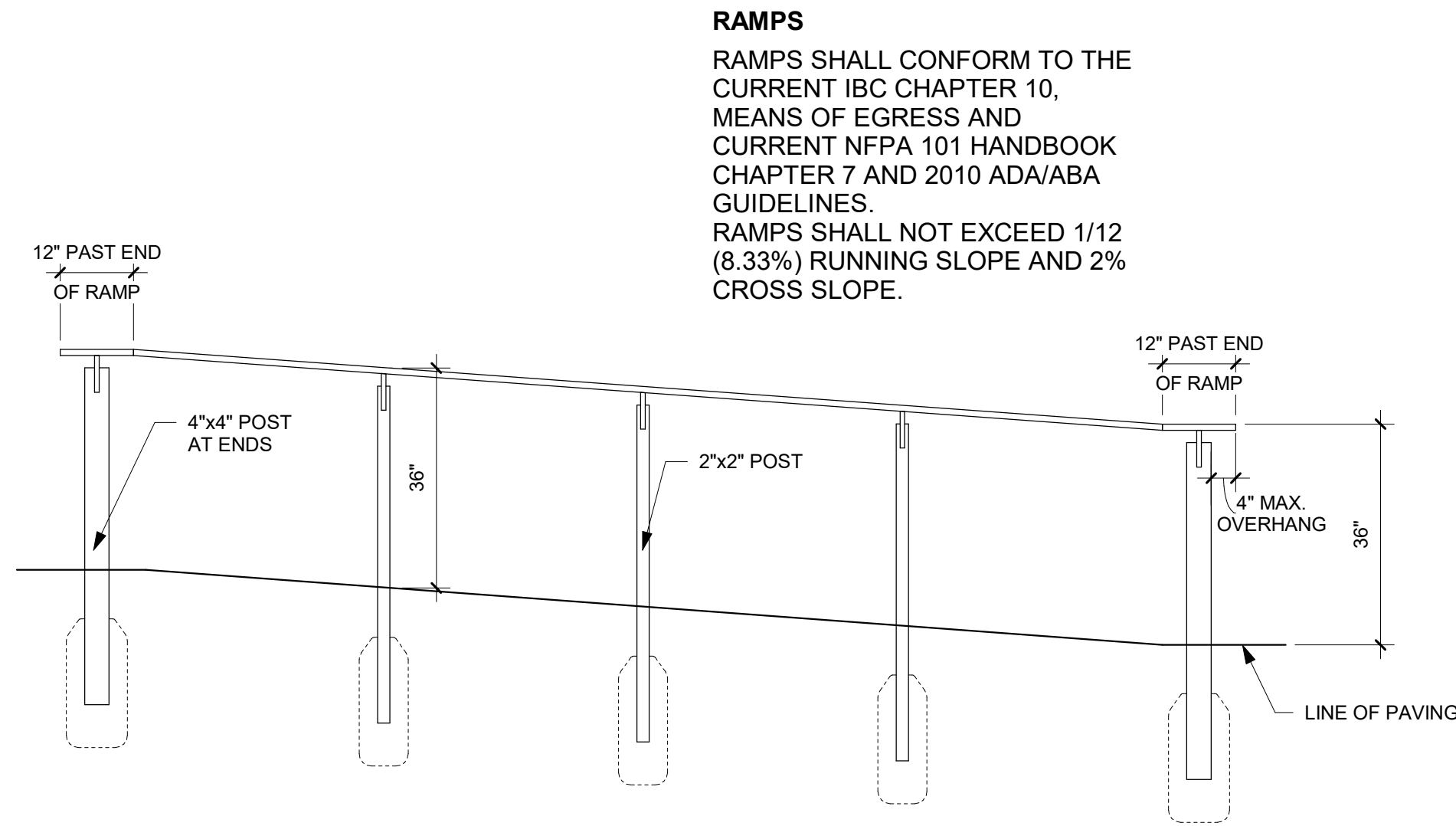
3D RAMP VIEW WITH HANDRAIL DETAIL (TYPICAL)



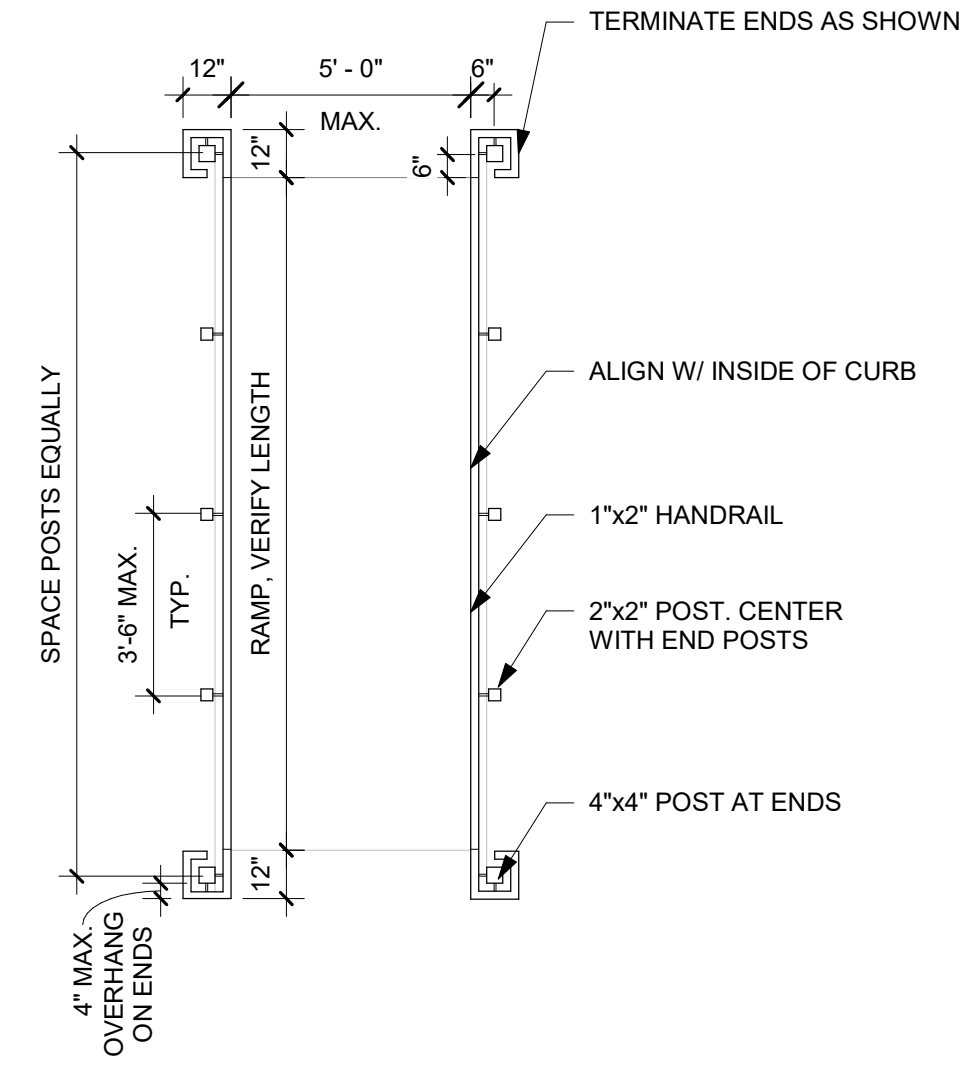
4 RAMP RAILING DETAIL
3/4" = 1'-0"



1 PARTIAL ARCH SITE PLAN
1/8" = 1'-0"



3 ELEVATION AT RAMP RAILING
1/2" = 1'-0"



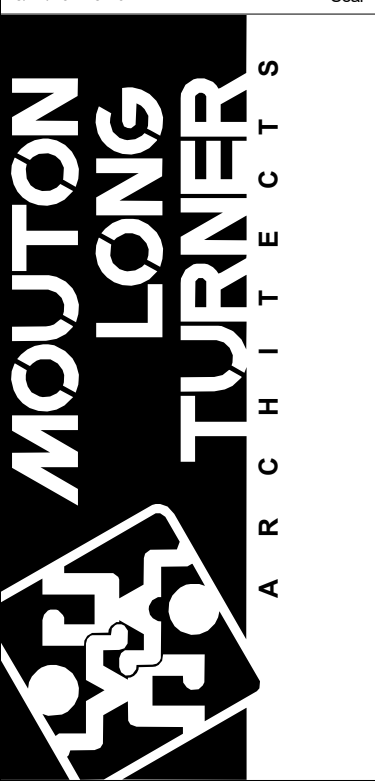
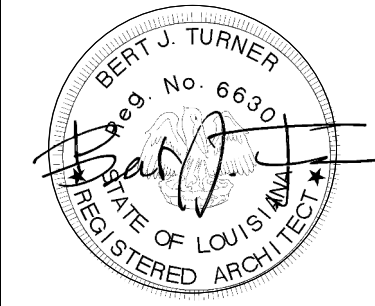
2 RAMP RAILING PLAN
1/4" = 1'-0"

STAIRS
STAIRS SHALL CONFORM TO THE CURRENT IBC CHAPTER 10, MEANS OF EGRESS AND CURRENT NFPA 101 HANDBOOK CHAPTER 7 SECTION 7.2.2 AND 2010 ADA/ABA GUIDELINES. STAIRS SHALL HAVE A TREAD DEPTH OF 13" AND RISER HEIGHT OF 7" MAX PER EXHIBIT 7.19 - NFPA 101

RAMPS
RAMPS SHALL CONFORM TO THE CURRENT IBC CHAPTER 10, MEANS OF EGRESS AND CURRENT NFPA 101 HANDBOOK CHAPTER 7 AND 2010 ADA/ABA GUIDELINES. RAMPS SHALL NOT EXCEED 1/12 (8.33%) RUNNING SLOPE AND 2% CROSS SLOPE.

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| DATE | REV | DESCRIPTION | BY |
|----------|-----|-----------------------|-----|
| 09/28/19 | | BRAND REVIEW | BMT |
| 11/07/19 | | RESUBMIT BRAND REVIEW | BMT |
| 11/19/19 | | RESUBMIT BRAND REVIEW | BMT |
| 06/22/20 | | SUBMIT FOR HDLC CODE | BMT |
| 05/04/22 | | SUBMIT SFM/HEALTH | BMT |
| 05/12/22 | | SUBMIT FOR PERMIT | BMT |



601 Papworth Avenue
Suite 200
Metairie, LA 70005
504.838.8091
www.moutonlong.com

PREPARED FOR:
McDonald's USA, LLC
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| TITLE | DESCRIPTION | SITE ADDRESS |
|-------------------------------------|---|--|
| NEW McDONALDS RESTAURANT REBUILD | SPECIAL EXTERIOR AND INTERIOR MODIFIED STANDARD 4587 KITCHEN | 3321 ST. CHARLES AVE. NEW ORLEANS, LA. |

MLT PROJ #17-1406
A0.0
SITE ARCH DETAILS

Project No. 520024601 **LANGAN**



E

F

VICINITY MAP
NTS

| Sheet List Table | |
|------------------|--------------------------------|
| Sheet Number | Sheet Title |
| C1.0 | COVER SHEET |
| C1.1 | GENERAL NOTES |
| --- | ALTA NPS LAND TITLE SURVEY |
| --- | SUBDIVISION PLAT |
| C2.0 | DEMOLITION PLAN |
| C3.0 | EROSION CONTROL PLAN |
| C3.1 | EROSION CONTROL DETAILS |
| C4.0 | SITE & PAVING PLAN |
| C5.0 | DRIVE-THRU COORDINATE PLAN |
| C6.0 | PAVING PLAN |
| C7.0 | GRADING PLAN |
| C8.0 | PRE-DEVELOPED DRAINAGE PLAN |
| C8.1 | POST-DRAINAGE DEVELOPED PLAN |
| C9.0 | UTILITY PLAN |
| C10.0 | STANDARD DETAILS |
| C10.1 | STANDARD DETAILS |
| C10.2 | STANDARD DETAILS |
| C10.3 | STANDARD DETAILS |
| C10.4 | STANDARD DETAILS |
| C10.5 | STANDARD DETAILS |
| L1.0 | LANDSCAPE PLAN |
| --- | PHOTOMETRIC PLAN |
| SD-1 | SITE FOUNDATION DETAILS |
| SD-2 | SITE FOUNDATION DETAILS |
| SD-3 | SITE FOUNDATION DETAILS |
| SD-4 | SITE FOUNDATION DETAILS |
| SD-5 | SITE FOUNDATION DETAILS |
| SD-6 | SITE FOUNDATION DETAILS |
| SD-7 | SITE FOUNDATION DETAILS |
| SD-8 | SITE FOUNDATION DETAILS |
| TE-1 | TRASH ENCLOSURE/STORAGE DETAIL |
| D-1 | UDS DETENTION SYSTEM |
| D-2 | UDS DETENTION SYSTEM |
| D-3 | UDS DETENTION SYSTEM |
| D-4 | UDS DETENTION SYSTEM |

THESE PLANS ARE SUBJECT TO
REVIEW & APPROVAL BY
JURISDICTIONAL ENTITIES.

| Date | Description | No. |
|-----------|-------------|-----|
| Revisions | | |

M. McDonald's USA, LLC

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LANGAN

Langan Engineering and
Environmental Services, Inc.

8951 Cypress Waters Blvd, Suite 150
Dallas, TX 75019

T:817.328.3200 www.langan.com
LA Firm License Professional Engineer No. EF0004106

| | |
|---------|---|
| Project | McDONALD'S REBUILD L/C #017-0107 3321 ST. CHARLES AVENUE NEW ORLEANS |
|---------|---|

| | | |
|---------------|--|-----------|
| ACADIA PARISH | | LOUISIANA |
| Drawing Title | | |

COVER SHEET

| | |
|-------------|---|
| Project No. | Drawing No. <div style="font-size: 2em; font-weight: bold; text-align: center;">C1.0</div> |
| 520024601 | |
| Date | |
| MAY 2022 | |
| Drawn By | <div style="font-size: 2em; font-weight: bold; text-align: center;">C1.0</div> |
| CCW | |
| Checked By | |
| DWL | Sheet 1 of 29 |

**** NOTICE TO CONTRACTOR - BIDDING ****

All questions regarding the General Contractor's preparation of his bid shall be directed to the McDonald's Construction Department. Sub-contractors must direct their questions through the General Contractor only. The Consulting Architect and/or Engineer shall not be contacted by the General Contractors, Sub-contractors, or Suppliers without direct prior authorization from McDonald's.



Know what's **below**.
Call before you dig.

DEMOLITION NOTES

1. Refer to McDonald's Specifications Section 017329.
2. Contractor is responsible for protection of all property corners and pins.
3. Contractor shall remove pavement in accordance with specifications.
4. Contractor is responsible for the repair of any damage to existing improvements during construction, such as, but not limited to: drainage, utilities, pavement, striping, curb, etc. Repairs shall be equal to or better than existing conditions.
5. All work on this plan shall be done in strict accordance with site work specifications.
6. Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.
7. Contractor shall be responsible for protecting the public during construction, including but not limited to: construction fencing, barricades, signage, etc.
8. Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
9. Contractor shall verify horizontal and vertical location of all existing utilities prior to construction.
10. Contractor shall be responsible for any traffic control necessary for drive demolition/construction.

UTILITY NOTES

1. Refer to McDonald's Specifications Sections 220523, 221116, 221316, 221319, 221413, 221423, 231123, 330513, 331116, and 333100.
2. All electrical/conduit runs are schematic only. Lot lights are to be wired to 2 (two) or more circuits in an alternating sequence.
3. Private utility connections shown are schematic only. Contractor shall coordinate with utility companies prior to bid.
4. Adjust to finished grade any access points for existing utilities remaining.
5. It shall be the sign installer's responsibility to ensure the proposed sign location does not interfere with any utilities and complies with all applicable city codes. Sign installer shall also obtain approval from the appropriate entities prior to installing the sign over any existing easements.
6. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circuiting.
7. 3/4" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor.

SITE NOTES

1. Contractor shall refer to architectural building plans for exact location and orientation of exterior doors.
2. Trash enclosure finish to match building. Refer to TRASH ENCLOSURE/STORAGE DETAILS for details and foundation design.
3. Location of ID sign is approximate. It is the responsibility of the sign contractor to verify compliance with setback, size/height and related zoning requirements prior to setting.
4. All dimensions shown are to face of curb unless noted otherwise.
5. Due to nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication to any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
6. Bases, conduit, and wiring for all signs are by the General Contractor. General Contractor to coordinate with ACM and sign provider for anchor bolts.

GRADING NOTES

1. The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
2. Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
3. Contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes, and all utilities prior to construction.
4. Contractor is responsible for repairs of damage to any existing improvements during construction, such as but not limited to drainage, utilities, pavement, striping, curbs, etc. Repairs shall be equal to or better than existing conditions.
5. Proposed spot grades shown are to top of pavement unless otherwise noted.
6. Existing and proposed grade contour intervals shown at one foot (1').
7. All un-surfaced areas disturbed by grading operation shall receive four (4) inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3H:1V or steeper. Contractor shall grass disturbed areas in accordance with standard specifications and water until a healthy stand of grass is obtained.
8. For location of all utility entrances, see architectural plans and specifications.
9. Contractor shall coordinate with architectural plans, power company, telephone company & gas company for actual routing of power and services to building.
10. Construction shall comply with all governing codes and be constructed to same.
11. The Contractor shall maintain dust control on site at all times by watering site as often as needed.
12. Contractor shall field verify elevations of adjacent properties to McDonald's site. If existing grades do not match those shown on this plan, Contractor shall notify McDonald's project manager.
13. Contractor shall be responsible for any traffic control necessary for drive demolition/construction.
14. All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
15. Curb elevations shall be 6" above finish pavement unless noted otherwise.
16. All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping, and sprinkler system are by the Owner/Operator.

PAVING NOTES

1. Refer to McDonald's specifications sections 079200, 321216, 321236, 321313, 321613, 321713, and 321723.
2. Refer to site plan for additional dimension, radii, etc.
3. The paving contractor shall not place permanent pavement until all sleeving for electric, gas, telephone, cable tv, site irrigation, etc. has been installed. it shall be the paving contractor's responsibility to insure that all sleeving is in place prior to placing of permanent pavement. prior to starting of construction, the contractor shall make certain that all required permits and approvals from city have been obtained.
4. Contractor to refer to building & structural plans for foundation design.
5. Contractor shall be responsible for any traffic control necessary for drive demolition/construction.
6. Sidewalks around the building shall have the same subgrade as building foundation as described in geotech report provided by Terracon Consultants, Inc. (project no. ET215059)
7. McDonald's reserves the right to request a compaction and/or a core sample. if tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise g.c., will be charged.

GENERAL NOTES

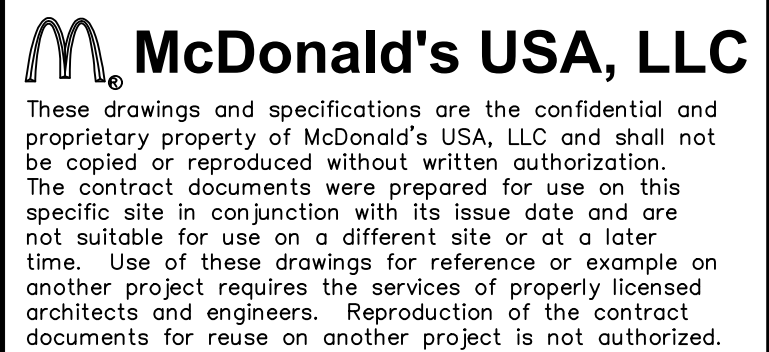
3. General Contractor must provide exact "as built" information upon completion.
2. It is strongly recommended that no contractual agreement of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
3. Contractor shall contact appropriate jurisdiction agencies prior to construction to confirm if independent testing or inspections will be required as a condition of their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
4. All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdiction standard construction details and specifications. All other materials and construction shall conform to McDonald's Project Manual and Specifications.
5. Topographic information taken from a Topographic Survey performed by ACADIA LAND SURVEYORS, LLC. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer in writing if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer in writing if any errors or discrepancies are found on the construction documents (ps&e), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from the Contractor's failure to notify the Engineer and Owner.
6. Flood Statement: According to Map No. 22071C0237F, Dated SEPTEMBER 30, 2016 of the Federal Emergency Management Agency, National Flood Insurance Program Map, Site is located in Zone "X" (shaded), areas of 0.2% annual chance floodplain; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of Langan Engineering.

EROSION CONTROL SEQUENCE

1. Install straw wattle and triangular filter dike around disturbed areas as shown.
2. Install inlet protection for all existing grate inlets, curb inlets and at the ends of all exposed storm sewer pipes, if present.
3. Commence grubbing and removal of vegetation in area to receive cut or fill.
4. Sawcut full depth where shown. Use sawcut edge to retain sediment during demolition.
5. Commence demolition. Load demolished material directly to trucks.
6. Commence grading operation for building pad preparation (see Grading Plan).
7. Install all underground utilities.
8. Finalize pavement subgrade preparation.
9. Install all proposed storm sewer pipes and inlet protection silt fences at ends of exposed pipes.
10. Construct all grate inlets and drainage structures. Inlet protection silt fences may be removed temporarily for this construction.
11. Remove silt fences around inlets and manholes no more than 48 hours prior to placing stabilized base course.
12. Install base material as required for pavement, curb and gutter.
13. Install all paving, curb and gutter.
14. Complete planting and/or seeding of vegetated areas to accomplish stabilization in accordance with the landscaping plan. Throughout the project and the maintenance period for turfgrass, it is the contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the contractor until establishment and acceptance is achieved.
15. Remove construction entrance, straw wattle and triangular filter dike.

| Date | Description | No. |
|------|-------------|-----|
|------|-------------|-----|

Revisions



LANGAN

Langan Engineering and
Environmental Services, Inc.

8951 Cypress Waters Blvd, Suite 150
Dallas, TX 75019

T:817.328.3200 www.langan.com
LA Firm License Professional Engineer No. EF0004106

| | |
|---------|---|
| Project | McDONALD'S REBUILD L/C #017-0107 3321 ST. CHARLES AVENUE NEW ORLEANS |
|---------|---|

| | |
|----------------------|------------------|
| ACADIA PARISH | LOUISIANA |
| Drawing Title | |

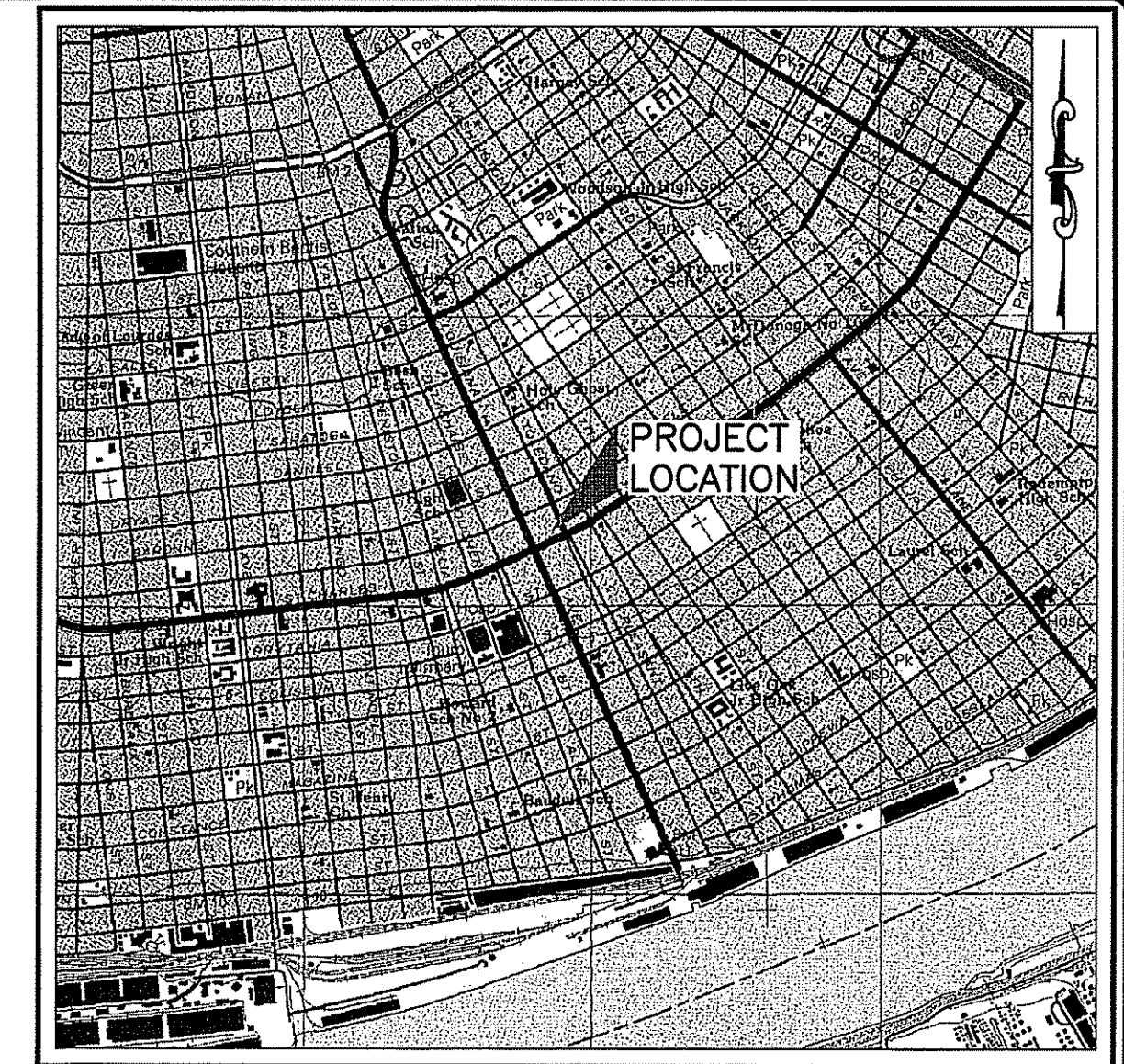
GENERAL NOTES

| | |
|---------------------------------|---|
| Project No. 520024601 | Drawing No. <div style="font-size: 48pt; text-align: center;">C1.1</div> |
| Date MAY 2022 | |
| Drawn By CCW | |
| Checked By DWL | |
| Sheet 2 of 29 | |



Know what's **below**.
Call before you dig.

CARONDELET AVENUE

VICINITY MAP
SCALE 1" = 2000'

NOTES:

- 1.) Zoning: HU-MU (Historic Urban Neighborhood Mixed-Use District). Setback lines shall be verified by the owner, developer and/or contractor prior to any construction, as an abstract has not been performed by the surveyor. Zoning and setbacks are subject to change and should be verified with the local authority's Zoning Department before any design or construction.
- 2.) Reference: A.) Cash Sale Legal Description by Harriet Hughes Field ET ALS to McDonald's Corporation Prepared by Stewart Title of La. Inc. dated December 17, 1985 File #8960
- 3.) Basis of Bearings: Bearings are based on Reference "A" (*) Represents the Basis of Bearings. Distances shown are U.S. Survey feet.
- 4.) Basis of Elevations: The elevations shown hereon are based on the "North American Vertical Datum of 1988 - NAVD 88" (Geoid 12a) using GPS C40net-RTN System accessed on August 10, 2018.
- 5.) Flood Note: The property hereon is located in Flood Zone "X" (Shaded) in accordance with FEMA Flood Insurance Rate Map Panel Number 22071C0237F, dated September 30, 2016 Orleans Parish, Louisiana. Base Flood Elevation is subject to change and should be verified with the local authority's Flood Plain Administrator before any design or construction.
- 6.) Utilities: The underground utilities shown have been located from "LA ONE CALL Ticket Number 180381760," visible utility features, and previous construction drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, except for above ground visible utility features. No excavations were made during the progress of this survey to locate buried utilities/ structures.
- UTILITY COMPANIES NOTIFIED VIA LOUISIANA ONE CALL TICKET NUMBER 180381760:
COX COMMUNICATION
ENTERGY NEW ORLEANS
AT&T DISTRIBUTION
CENTURYLINK
- 7.) No attempt has been made by Acadia Land Surveying, L.L.C. to verify title, actual legal ownership, deed restrictions, servitudes, easements, alleys, right-of-ways or other burdens on the property, other than that furnished by the client or his representative. There is no representation that all applicable servitudes and restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.
- 8.) Acadia Land Surveying, L.L.C. has not and does not provide Delineation of Jurisdictional Wetlands. Acadia Land Surveying, L.L.C. did not receive nor research the location of wetland areas as delineated by the appropriate authorities.
- 9.) The words "Certify," "Certifies" or "Certification" as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information, and belief, as such, it does not constitute a guarantee nor a warranty, expressed or implied.
- 10.) Site T.B.M.'s (Temporary Bench Marks):
#1 - P.K. Nail in concrete as shown on plat.
Elevation = 4.22 feet N.A.V.D.88
#2 - 60D nail in power pole in median of St. Charles Avenue as shown on plat.
Elevation = 3.41 feet N.A.V.D.88

PLAT SHOWING SURVEY

OF
LOTS 1, 2, 3, 4, 5, 29 & 30
SQUARE 425
TOWNSHIP 13 SOUTH - RANGE 11 EAST
CITY OF NEW ORLEANS,
ORLEANS PARISH, LOUISIANA

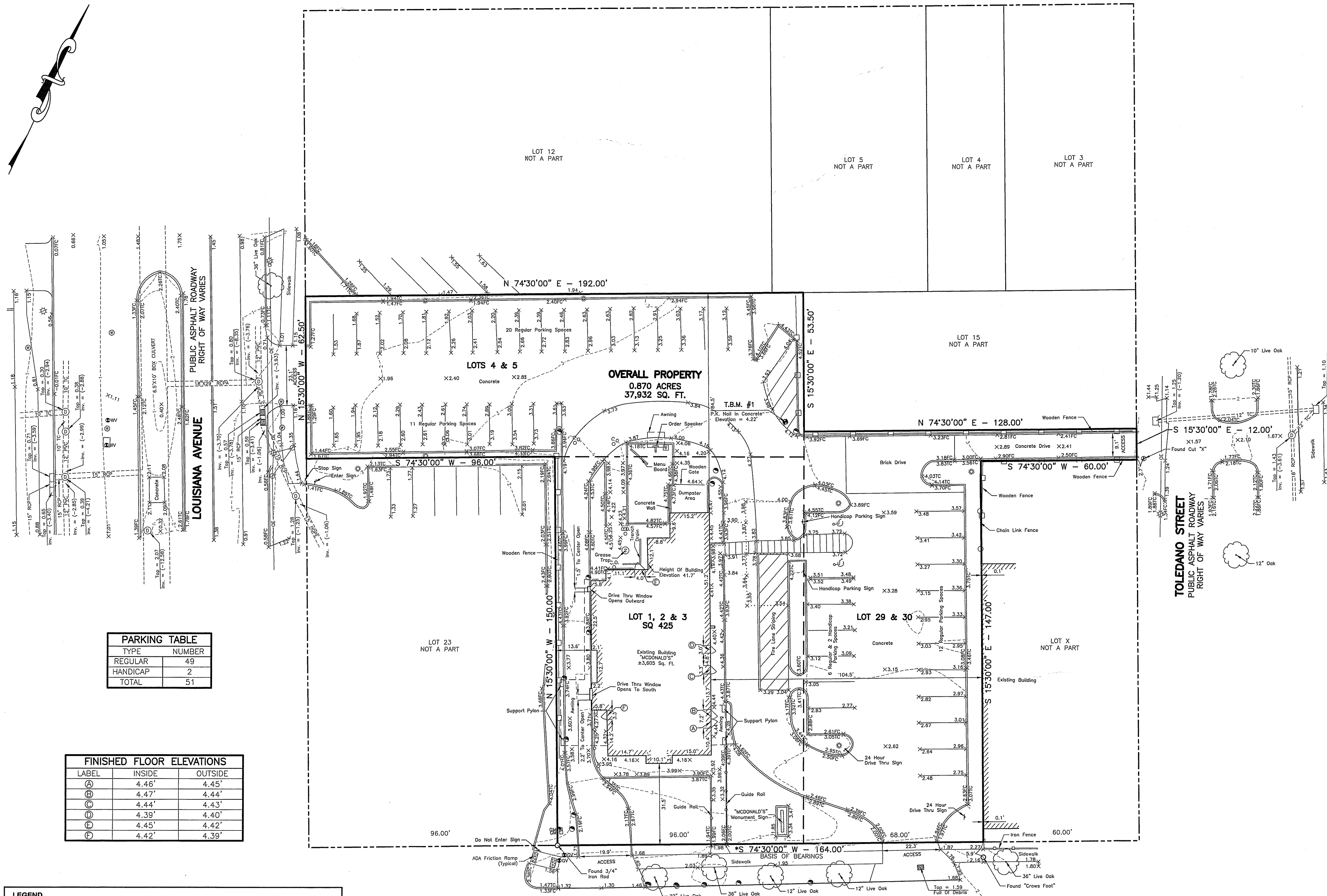
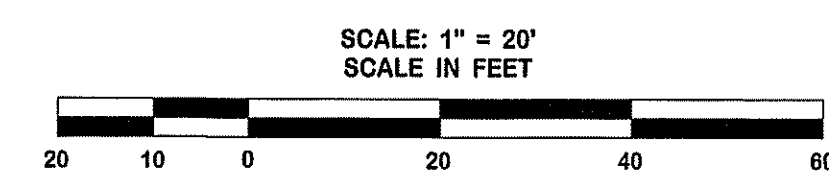
ACADIA
LAND SURVEYING, LLC
LOUISIANA • MISSISSIPPI • TEXAS
206 EAST 2ND STREET, THIBODAUX, LOUISIANA 70301
Phone • (985) 449-0094 Fax • (985) 449-0085
EMAIL: ACADIA@ACADIALANDSURVEYING.COM

| DATE | REVISION DESCRIPTION | INT. |
|---------------------------|--|------------------------------------|
| DRAWN BY: DAT | CHECKED BY: DPC | APPROVED BY: MPB |
| FIELD BOOK: 355, PG 41-44 | FIELD WORK COMPLETED ON: AUGUST 10, 2018 | ALS FILE: 2018/18-488a/18-488b.dwg |

CERTIFICATION:

This is to certify to McDonald's Corporation that this survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the most recent Standards of Practice for Boundary Surveys as set forth by the State of Louisiana, Board of Registration for Professional Engineers and Land Surveyors and that the accuracy specification and positional tolerances are in accordance with the standards indicated in the above standards. I also certify there are no visible encroachments across any property lines except as shown.

Michael P. Blanchard
Reg. No. 4861
This survey plat is not valid without the raised or colored seal and signature of the Registered Land Surveyor.
08/17/2018
Reg. No. 4861



| PARKING TABLE | |
|---------------|--------|
| TYPE | NUMBER |
| REGULAR | 49 |
| HANDICAP | 2 |
| TOTAL | 51 |

| FINISHED FLOOR ELEVATIONS | | |
|---------------------------|--------|---------|
| LABEL | INSIDE | OUTSIDE |
| (A) | 4.46' | 4.45' |
| (B) | 4.47' | 4.44' |
| (C) | 4.44' | 4.43' |
| (D) | 4.39' | 4.40' |
| (E) | 4.45' | 4.42' |
| (F) | 4.42' | 4.39' |

LEGEND

| | | | |
|---|----------|----------------------------------|--------------|
| FOUND PROPERTY CORNER (AS NOTED) | ○ | ELEVATION OF TOP OF STRUCTURE | TOP = 18.00 |
| EXISTING POWER POLE | ⊗ | ELEVATION OF BOTTOM OF STRUCTURE | INV. = 15.00 |
| EXISTING POWER POLE WITH LIGHT | ⊗* | EXISTING SPOT ELEVATION | X 10.63 |
| EXISTING PARKING LOT LIGHT | ⊗* | ELEVATION OF TOP OF CURB | 18.50 TC |
| EXISTING GUY ANCHOR | — | ELEVATION OF FACE OF CURB | 18.00 FC |
| EXISTING ELECTRIC PEDESTAL | ⊗ | EXISTING GROUND CONTOUR LINE | --- |
| EXISTING OVERHEAD POWER LINE | —○— | EXISTING SEWER MANHOLE | ⊗ |
| EXISTING TELEPHONE PEDESTAL | ⊗ | EXISTING SEWER CLEANOUT | ⊗ |
| EXISTING TELEPHONE MANHOLE | ⊗ | EXISTING GRAVITY SEWER LINE | — |
| EXISTING GAS METER | ⊗ | EXISTING DRAINAGE MANHOLE | ⊗ |
| EXISTING GAS VALVE | ⊗ | EXISTING SUBSURFACE DRAINAGE | --- |
| EXISTING CHAIN LINK FENCE | — | EXISTING AREA INLET CATCH BASIN | ⊗ |
| EXISTING WOOD FENCE LINE | — | EXISTING CURB INLET CATCH BASIN | ⊗ |
| EXISTING BARRIER POST | ⊗ | EXISTING FIRE HYDRANT | ⊗ |
| EXISTING TERRA-COTTA PIPE | 8" TC | EXISTING WATER METER | WM ○ |
| EXISTING REINFORCED CONCRETE PIPE | 18" RCP | EXISTING WATER VALVE | ⊗ |
| EXISTING POLYVINYL CHLORIDE PIPE | 12" PVC | | |
| EXISTING HIGH DENSITY POLYETHYLENE PIPE | 12" HDPE | | |