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PROJECT INFORMATION

I.	<b>LOCATION:</b> 323 Octavis Street New Orleans, LA 70115
II.	<b>PROJECT DESCRIPTION:</b>  787 SF Second Story Addition to an existing 2 Story Building. Existing Use: Offices.      Proposed Use: Offices.
III.	<b>ZONING:</b> HU-MU
IV.	<b>SQUARE FOOTAGE:</b> Existing First Floor: Reginelli's: 1,631.7 SF Restaurant Space: 1,258.8 SF Existing Second Floor: Residential (3 Units): 2,074.3 SF Balcony & Stair: 393.7 SF Second Floor Addition: Offices: 787.3 SF New Balcony & Stair: 299.7 SF
V.	<b>APPLICABLE CODES:</b>  <b>A. N.O.B.C. / IBC-2015</b> 1. Occupancy Group: Group "B" (Business); Group "A-2" (Assembly); Group "R-2" (Residential) 2. Occupancy Load: Business: 25; Assembly: 22; Residential: 11.  <b>B. NFPA 101-2015</b> 1. Occupancy Type: Business; Assembly<300; Apartment Building 2. Occupancy Load: Business: 25; Assembly: 27; Residential: 11.  <b>C. 2010 ADAAG</b>  <b>D. 2015 INTERNATIONAL PLUMBING CODE</b>  <b>E. 2015 INTERNATIONAL MECHANICAL CODE</b>  <b>F. 2015 INTERNATIONAL FUEL &amp; GAS CODE</b>  <b>G. 2014 NATIONAL ELECTRICAL CODE</b>  <b>VI. AUTOMATIC SPRINKLER SYSTEM:</b> NO  <b>VII. FIRE ALARM SYSTEM:</b> Not Required

SYMBOLS

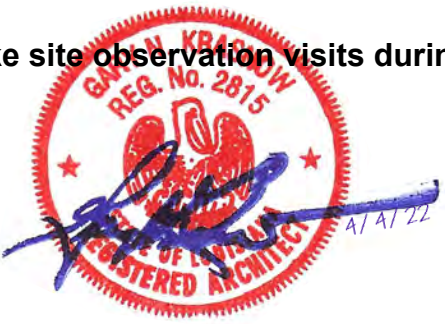
	EXIST. TO REMAIN		NO. OF DRAWING Drawing Title Scale SHT. WHERE DRAWN
	CONCRETE		ORIENTATION OF DRAWING NO. OF DRAWING SHT. WHERE DRAWN
	WD. OR METAL STUD FRAMING		<b>SECTION CUT</b>
	BRICK VENEER		AREA COVERED BY DETAIL NO. OF DRAWING SHT. WHERE DRAWN
	CONCRETE BLOCK		<b>DETAIL</b>
	1 HR FIRE-RATED PARTITION		ORIENTATION OF DRAWING NO. OF DRAWING SHT. WHERE DRAWN
	EXIST. TO BE REMOVED OR HIDDEN LINE		<b>ELEVATION</b>
	CENTER LINE		RE: 5/A5 = REFER TO TO DRAWING NO. 5 ON SHT. A5
	PROPERTY LINE		DEMOLITION KEY NOTE
	DIMENSION LINE		SMOKE DETECTOR
	1 = NEW DOOR NUMBER		
	E = EXIST. DOOR TO REMAIN		
	101 = ROOM NUMBER		
	W-1 = WINDOW TYPE		
	EXIST. ELECTRICAL OUTLET		
	NEW DUPLEX OUTLET		
	GROUND FAULT CIRCUIT INTERRUPT		
	WATERPROOF DUPLEX		
	QUAD OUTLET		
	DUPLEX FLOOR		

ABBREVIATION

A/C	AIR CONDITIONING	M.C.	MEDICINE CABINET
A.F.F.	ABOVE FINISH FLOOR	M.O.	MASONRY OPENING
ALUM.	ALUMINUM	MTL.	METAL
@	AT	MLD.	MOULDING
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BET.	BETWEEN	OPG.	OPENING
BLK'G.	BLOCKING	NO.	NUMBER
BOT.	BOTTOM	O.C.	ON CENTER
B.L.	BRICK LEDGE	O.D.	OUTSIDE DIAMETER
B.V.	BRICK VENEER	O.F.	OUTSIDE FACE
BLDG.	BUILDING	O.F.S.	OUTSIDE FACE OF STUD
C.T.	CERAMIC TILE	PNL.	PANEL
CLG.	CEILING	PLYWD.	PLYWOOD
C.J.	CEILING JOIST	PCF	POUNDS PER CUBIC FOOT
COL.	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC.	CONCRETE	RE:	REFER TO
CONT.	CONTINUOUS	REF.	REFRIGERATOR
CMU	CONCRETE MASONRY UNIT	R/A	RETURN AIR
DET.	DETAIL	RM.	ROOM
DBL.	DOUBLE	R.O.	ROUGH OPENING
DN.	DOWN	R	RISER
DRWG.	DRAWING	SHT.	SHEET
DW	DISHWASHER	SIM.	SIMILAR
D	DRYER	S.O.H.	SIMILAR OPPOSITE HAND
EA.	EACH	S	SINK
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	S.C.	SOLID CORE
ELEC.	ELECTRICAL	SPECS.	SPECIFICATIONS
ELEV.	ELEVATION(BUILDING)	S.S.	STAINLESS STEEL
EL.	ELEVATION(GRADE)	STL	STEEL
EQ.	EQUAL	STRUCT.	STRUCTURE/STRUCTURAL
EXIST.	EXISTING	T.S.	THIN SET
EXT.	EXTERIOR	T & G	TONGUE & GROOVE
FIN.	FINISH	T.O.S.	TOP OF SLAB
FLR.	FLOOR	T	TREAD
F.J.	FLOOR JOIST	TRTD.	TREATED
F.V.	FIELD VERIFY	TYP.	TYPICAL
FR.	FREEZER	U.O.N.	UNLESS OTHERWISE NOTED
FTG.	FOOTING	VERT.	VERTICAL
GA.	GAUGE	V.C.T.	VINYL COMPOSITION TILE
GALV.	GALVANIZED	W	WASHER
GALVM.	GALVALUME	W.C.	WATER CLOSET
GR.	GRADE	WH	WATER HEATER
GYP.BD.	GYPSUM BOARD	WP	WATERPROOF
HT.	HEIGHT	w/	WITH
HORIZ.	HORIZONTAL	WD.	WOOD.
H.B.	HOSE BIBB		
I.F.	INSIDE FACE		
I.F.S.	INSIDE FACE OF STUD		
INSUL.	INSULATION		
INT.	INTERIOR		
M.E.	MATCH EXISTING		
MFR.	MANUFACTURER		
MATL.	MATERIAL		

These plans and specifications have been prepared by me, or under my direct supervision. To the best of my knowledge the requirements of the applicable building codes have been met.

I will make site observation visits during construction



Date: 4/4/2022				Release for Permits		Issue Notes	
Revision				4/4/2022		Date	
Project ID				A		No.	
Drawing Code				T1.0 [Cover Sheet-1]			
Submitted By				Gourav Krasnow			
Project Manager				GNK			
Designed By				GNK			
Drawn By				GNK			
Checked By				GNK			
Project ID				21-27			
Revision				21-27_ Prelim vwx			
Date				4/4/2022			
Project Title				AS NOTED			
Sheet No.				T1.0			
Project Title				of			
Project Title				19			

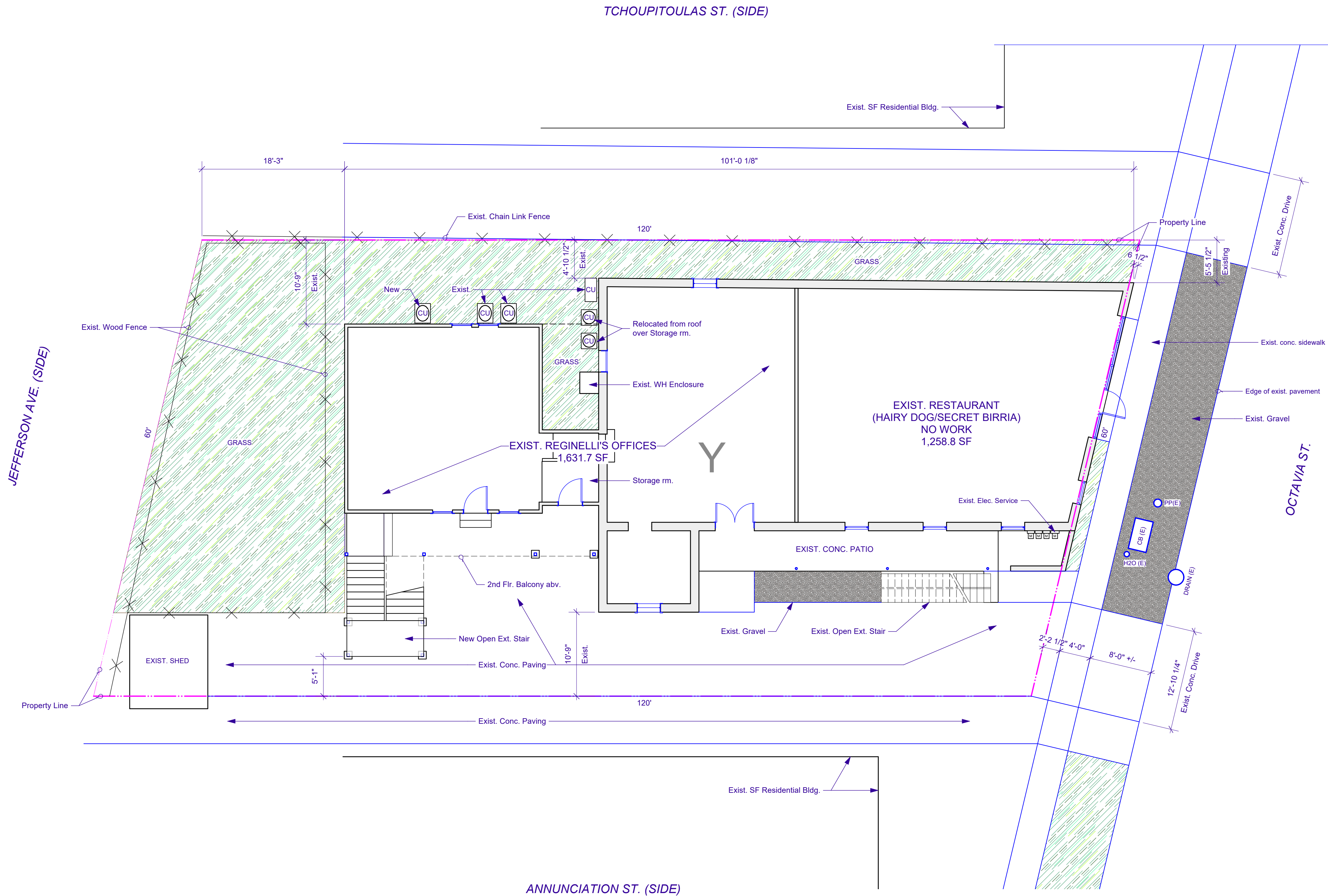


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ADDITION TO:  
REGINELLI'S OFFICES  
323 OCTAVIA ST.  
NEW ORLEANS, LA 70115

INDEX OF DRAWINGS  
SYMBOLS; ABBREVIATIONS  
PROJECT INFORMATION





1 SITE PLAN  
C1.0 Scale: 1/8" = 1'-0"



LOT 'Y'  
SQUARE NO. 129, RICKERVILLE  
SIXTH DISTRICT  
NEW ORLEANS, LA  
ORLEANS PARISH  
ZONED: MU-MU

LEGEND

- Indicates slope in the finish grade of new paving.  
00.00 Indicates the top of the new paving or sidewalk elevation.  
M.E. Match existing grade elevation.  
00.00 (E) Existing grade elevation.  
D.I.: Drop Inlet (24" x 24" Frame & Grate)  
DMH: Drain Manhole  
CB: Catch Basin  
F.H.: Fire Hydrant  
P.P.: Power Pole  
L.P.: Light Pole  
SMH: Sewer Manhole  
GR: Grass/Planting Area  
(E): Following/preceding other designations indicates that item is existing.

SITE PLAN NOTES

- ALL conditions shown on the Site Plan are existing to remain, u.o.n.
- All driveways shown on the plan(s) are existing.
- All paving shown on the plan(s) is existing, unless otherwise noted.

SITE AREA: 7,005 SF

PERMEABLE OPEN SPACE: 2,008 SF / 28.7%

IMPERVIOUS AREA: 4,997 SF

OFF-STREET PARKING

EXISTING: 1  
NEW: 0

NOTE

- NOCZO, Article 22.5, Par. A, 6: The first five-thousand (5,000) square feet in gross floor area for commercial uses in the HU-B1, HU-MU and MU-1 Districts are exempt from the vehicle parking requirements of Table 22-1.



No.	Date	Issue Notes
A	4/4/2022	Release for Permits

Date	Revision	Project ID	Drawn Code	Checked Code	Reviewed Code	Submitted By	Project Manager
4/4/2022		21-27	C1.0 [Site Plan (General)]			21-27_Prelim.wrk	

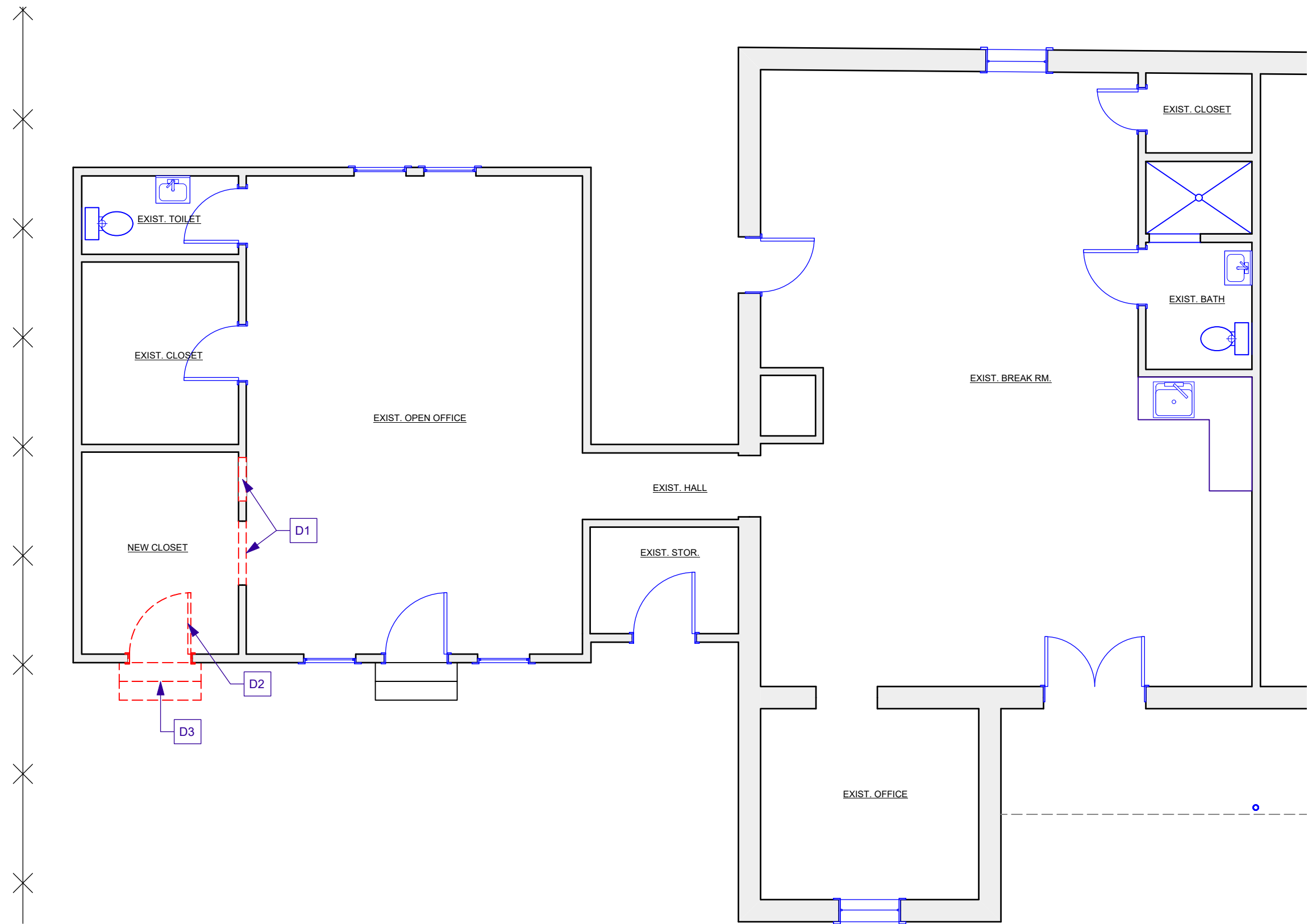
Designed By	Drawn By	Checked By	Reviewed By	Submitted By	Project Manager
GKN	GKN	GKN	GKN	GKN	GKN

Project Title	Sheet Title
ADDITION TO: REGINALD'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115	SITE PLAN

Scale	AS NOTED
Sheet No.	C1.0 of 19



Project Title	Sheet Title
Scale	
AS NOTED	
Sheet No.	
<div style="text-align: center;"> <h1>A1.0</h1> <p>_____ of _____</p> <p>19</p> </div>	



1  
A1.1 1ST FLOOR SELECTED DEMOLITION PLAN  
Scale: 3/16" = 1'-0"

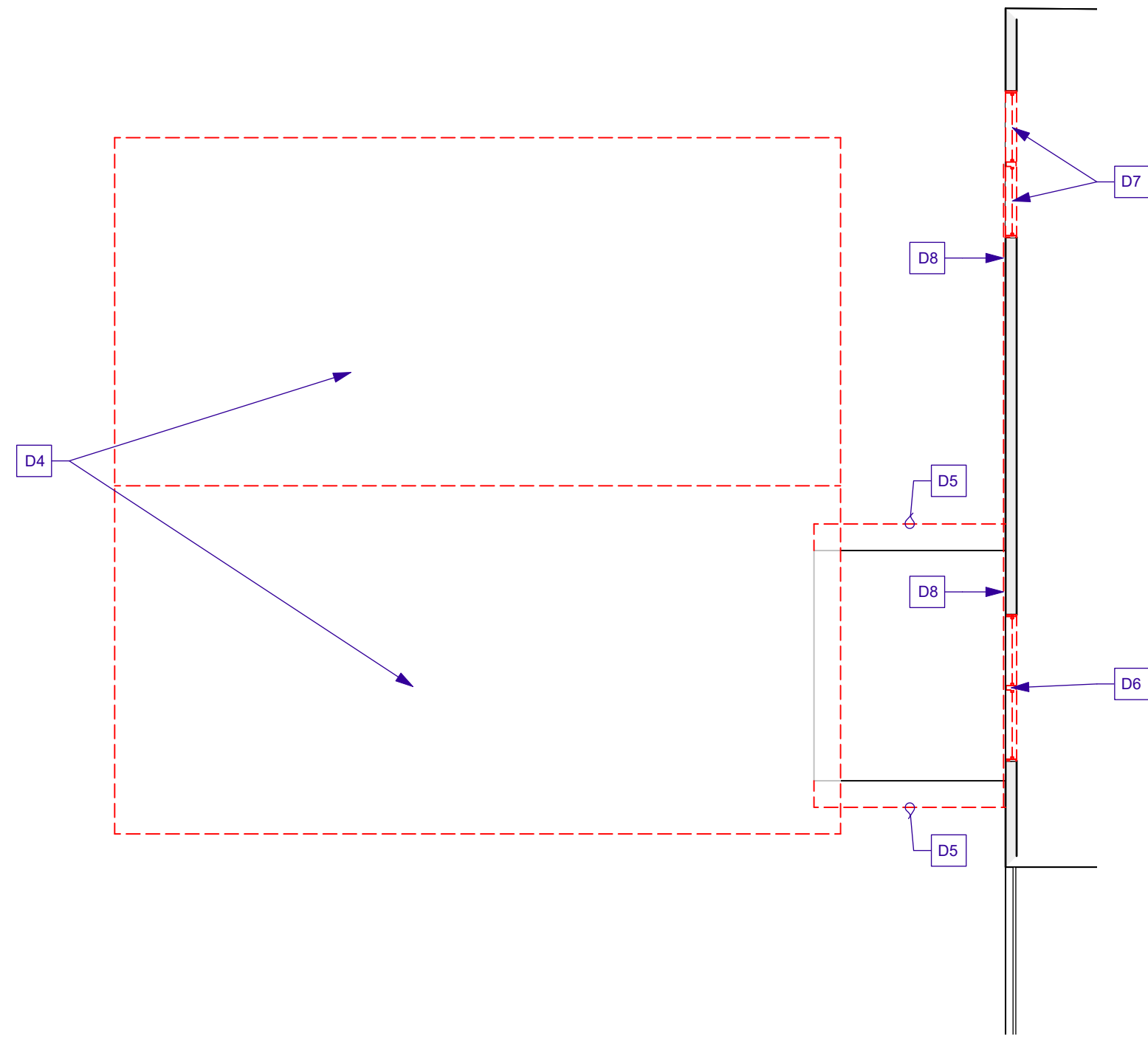


#### GENERAL DEMOLITION NOTES

1. It is the intent of these demolition notes to remove all the existing construction as indicated on the drawings which conflict with the intent of the new construction.
2. Conduct demolition operations and remove debris to ensure minimal interference with roads, streets, walks and other adjacent occupied and used facilities. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas. Promptly dispose of all demolished materials. Do not allow demolished materials to accumulate on site. Legally transport and dispose of all demolished materials.
3. Contractor shall coordinate all demolition work, whether indicated on the drawings or not, with new construction.
4. Demolition Contractor to survey the condition of the building to determine whether removing any element might result in a structural deficiency or unplanned collapse of any portion of the structure or adjacent structures during selective demolition. Do not demolish any load bearing walls or construction that will compromise the structural integrity of the structure. Notify the Architect of any structural issues arising from demolition.
5. Contractor shall notify the Architect of any existing conditions that are exposed during construction that may affect or interfere with any new work.
6. Demolish and remove components in an orderly and careful manner.
7. Existing utilities are to remain in service during selective demolition.
8. Demolition of electrical devices, wiring, conduit, etc. to be performed by an electrician licensed in the state of Louisiana.
9. Removal of plumbing fixtures, supply and drain lines to be performed by a plumber licensed in the state of Louisiana.
10. Protect existing items which are not indicated to be removed.
11. Protect existing supporting structural elements and adjacent area not scheduled for work.
12. Erect and maintain weatherproof airtight closures for exterior openings.
13. Thoroughly clean building upon completion of selective demolition.
14. Total scope of demolition may not be covered on this sheet. Review all sheets in the Construction Documents to determine total scope of demolition.

#### KEY DEMOLITION NOTES

- D1 Remove portion of wall as required to install new door, re: Door Schedule for size of door opg.
- D2 Remove existing door and frame and fill in opening with construction to match surrounding wall.
- D3 Remove existing steps.
- D4 Remove roof and roof structure from 1-story section.
- D5 Remove roof overhang.
- D6 Remove existing window and patch wall.
- D7 Remove existing double window and replace with single window to match existing.
- D8 Remove existing siding this wall as required to construct addition.



2  
A1.1 2ND FLOOR SELECTED DEMOLITION PLAN  
Scale: 3/16" = 1'-0"





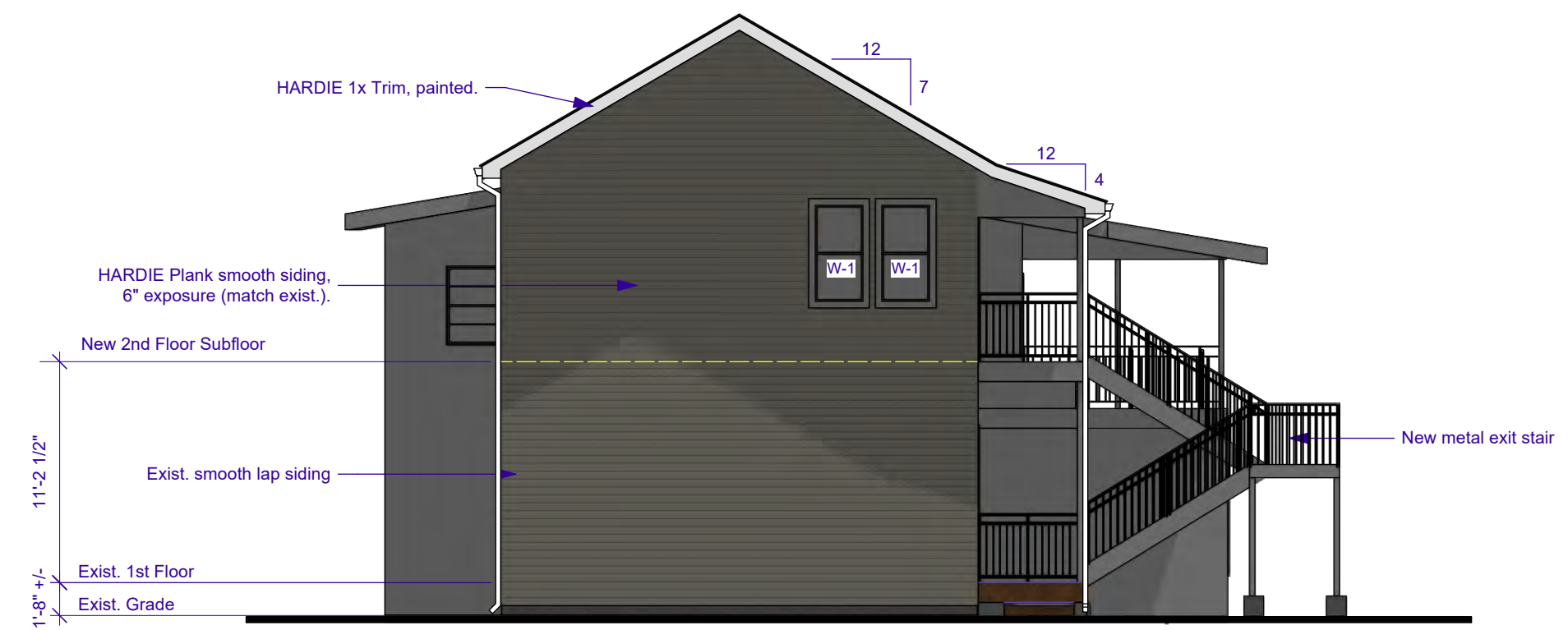
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Sheet No.	A2.0
	_____ of _____
	19



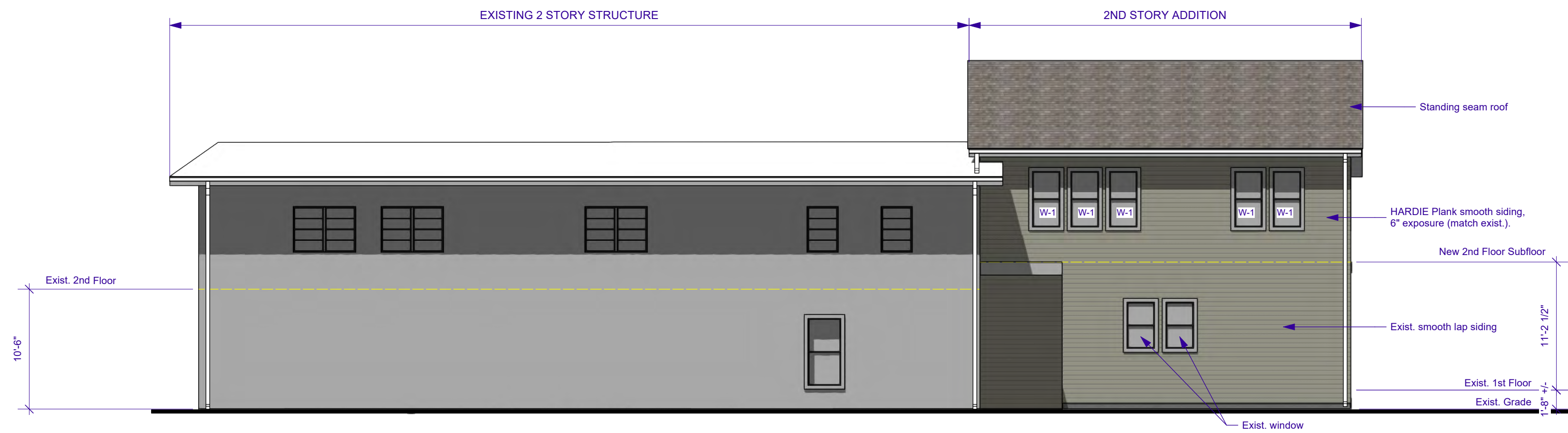




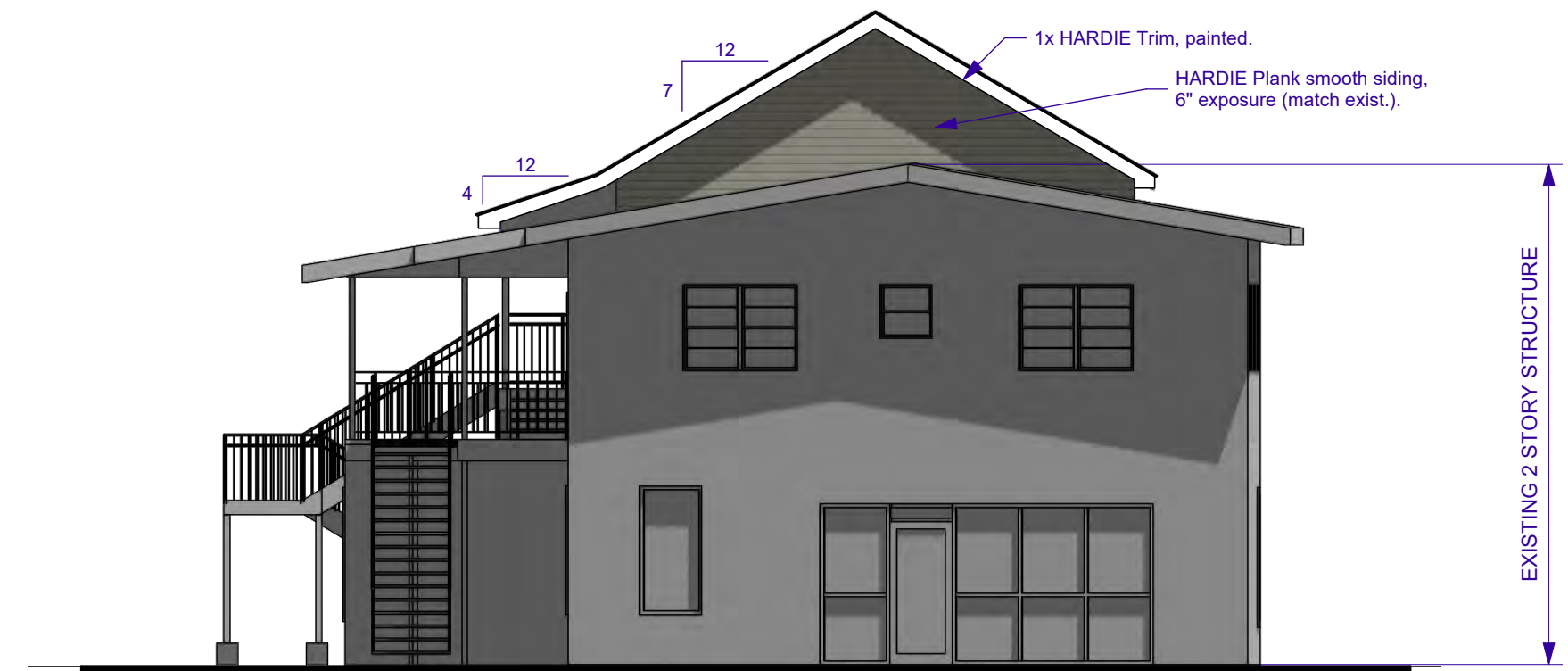
1  
A3.0 LEFT ELEVATION  
Scale: 1/8" = 1'-0"



2  
A3.0 REAR ELEVATION  
Scale: 1/8" = 1'-0"



3  
A3.0 RIGHT ELEVATION  
Scale: 1/8" = 1'-0"



4  
A3.0 FRONT ELEVATION (OCTAVIA ST.)  
Scale: 1/8" = 1'-0"

#### EXTERIOR ELEVATION NOTES

1. Exterior colors to be selected by the Owner.
2. Re: Sht. A5.0 for WindowType Elevations (W-1).
3. Re: Sht. A7.0 for Roof Plan.



Release for Permits		Issue Notes	
No.	Date	No.	Date
A	4/4/2022		

Designed By	4/4/2022
Drawn By	Revision
Checked By	Project ID
Reviewed By	Drawing Code
Submitted By	City/State/County
Project Manager	File Name

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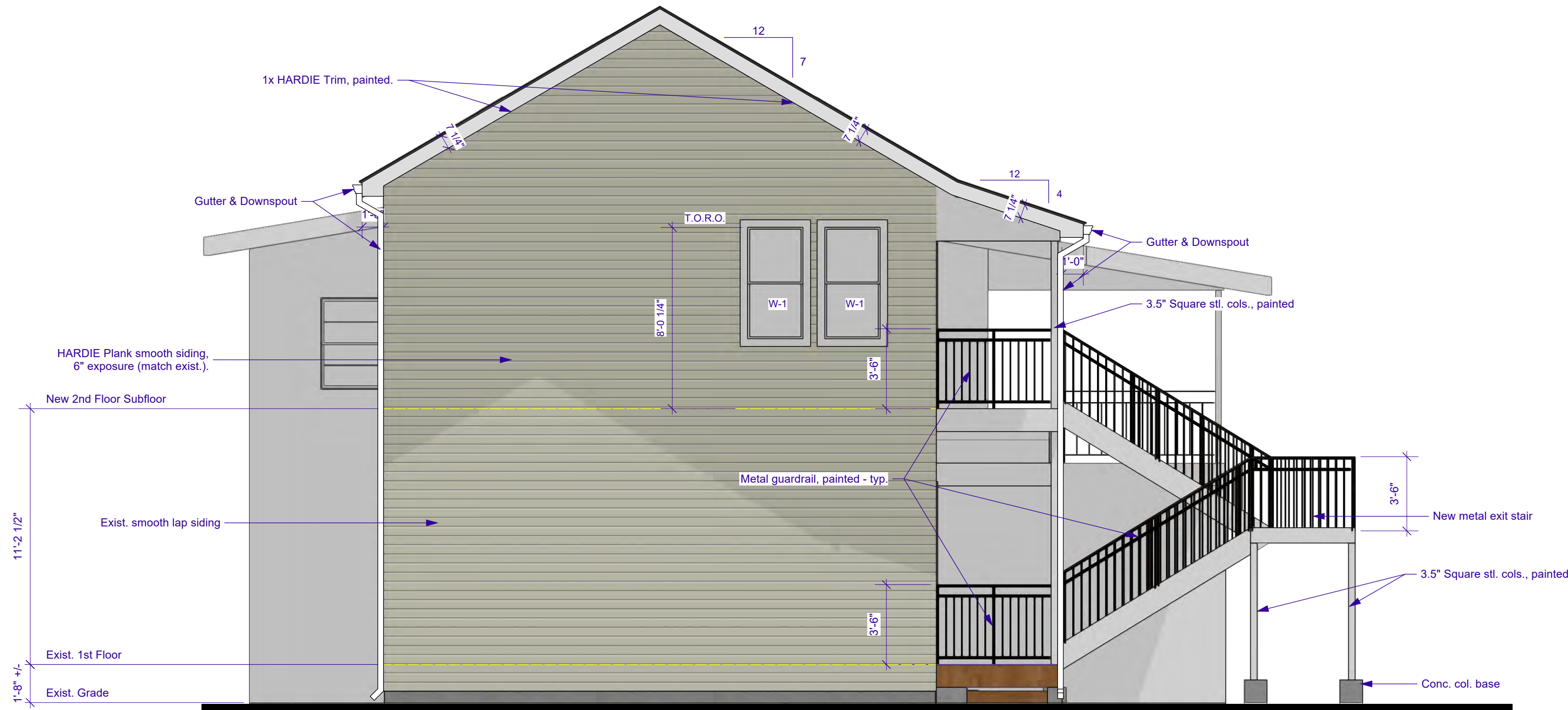
Project Title	Sheet Title
ADDITION TO: REGINELLI'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115	EXTERIOR ELEVATIONS - BUILDING

Scale	AS NOTED
Sheet No.	A3.0 of 19





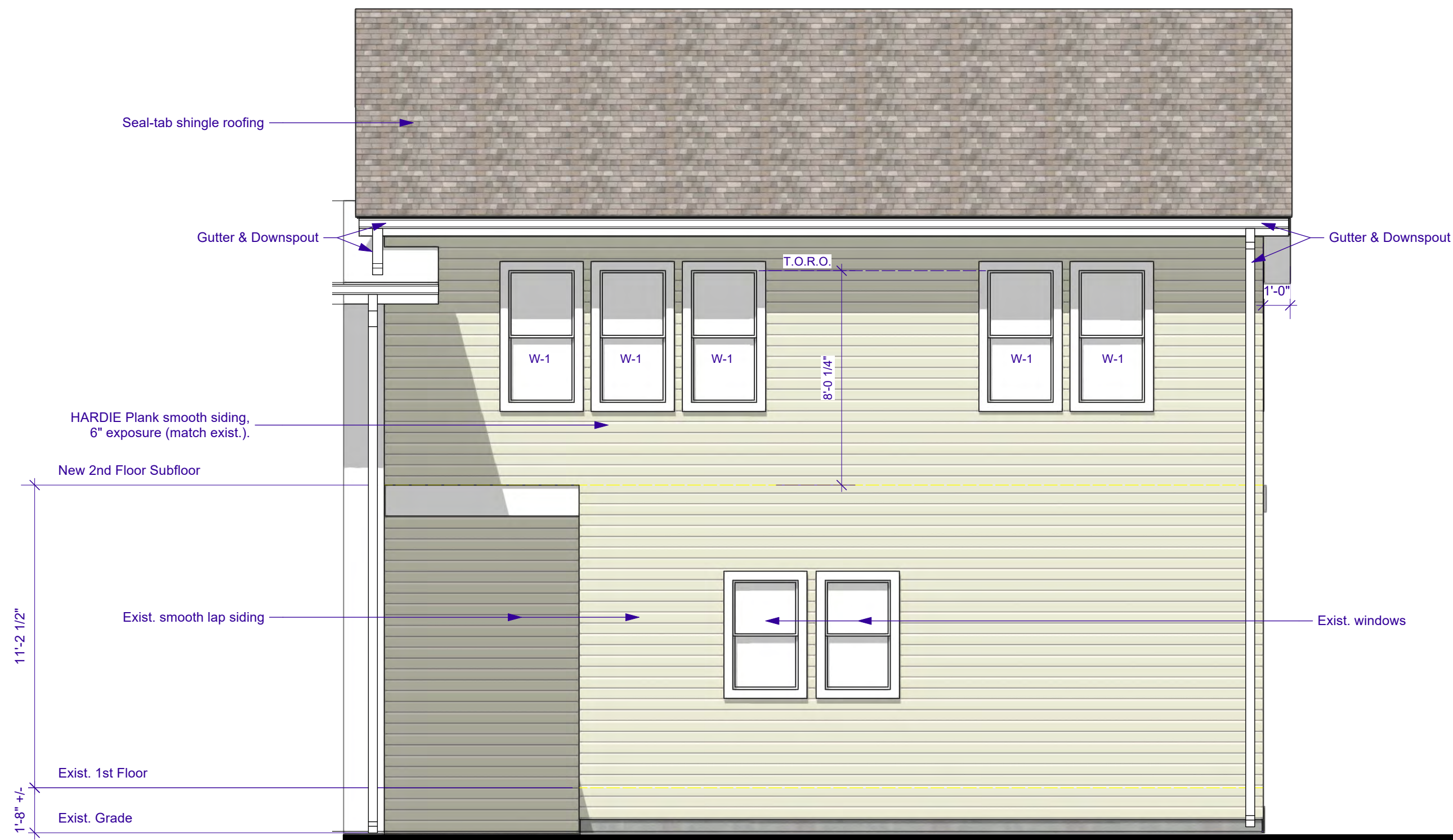
1 ADDITION - FRONT ELEVATION  
A3.1 Scale: 1/4" = 1'-0"



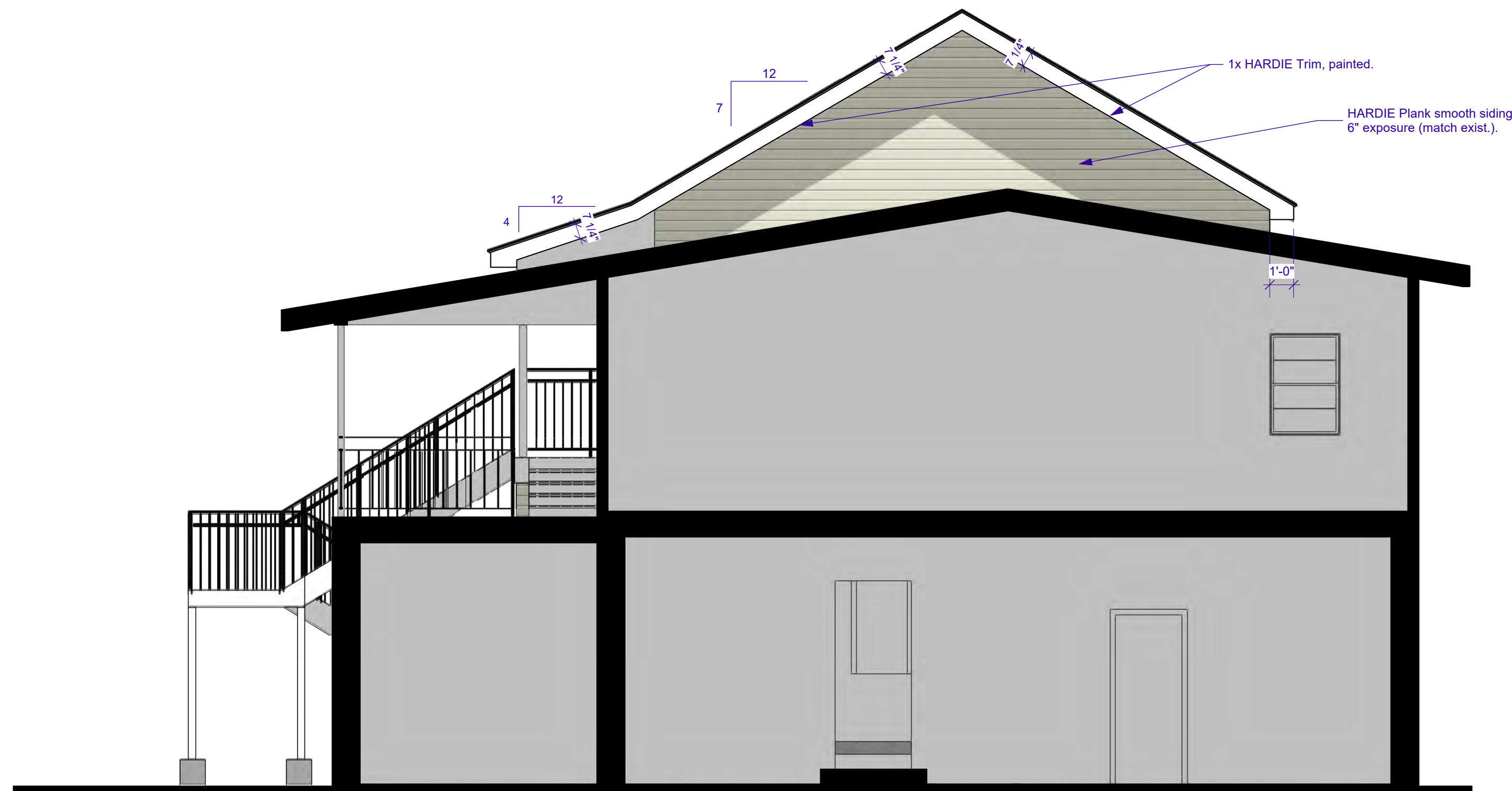
2 ADDITION - LEFT SIDE  
A3.1 Scale: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

1. Exterior colors to be selected by the Owner.
2. Re: Sht. A5.0 for WindowType Elevations (W-1).
3. Re: Sht. A7.0 for Roof Plan.



3 ADDITION - REAR ELEVATION  
A3.1 Scale: 1/4" = 1'-0"



4 ADDITION - RIGHT SIDE ELEVATION  
A3.1 Scale: 1/4" = 1'-0"



No.	Date	Issue Notes
A	4/4/2022	Release for Permits

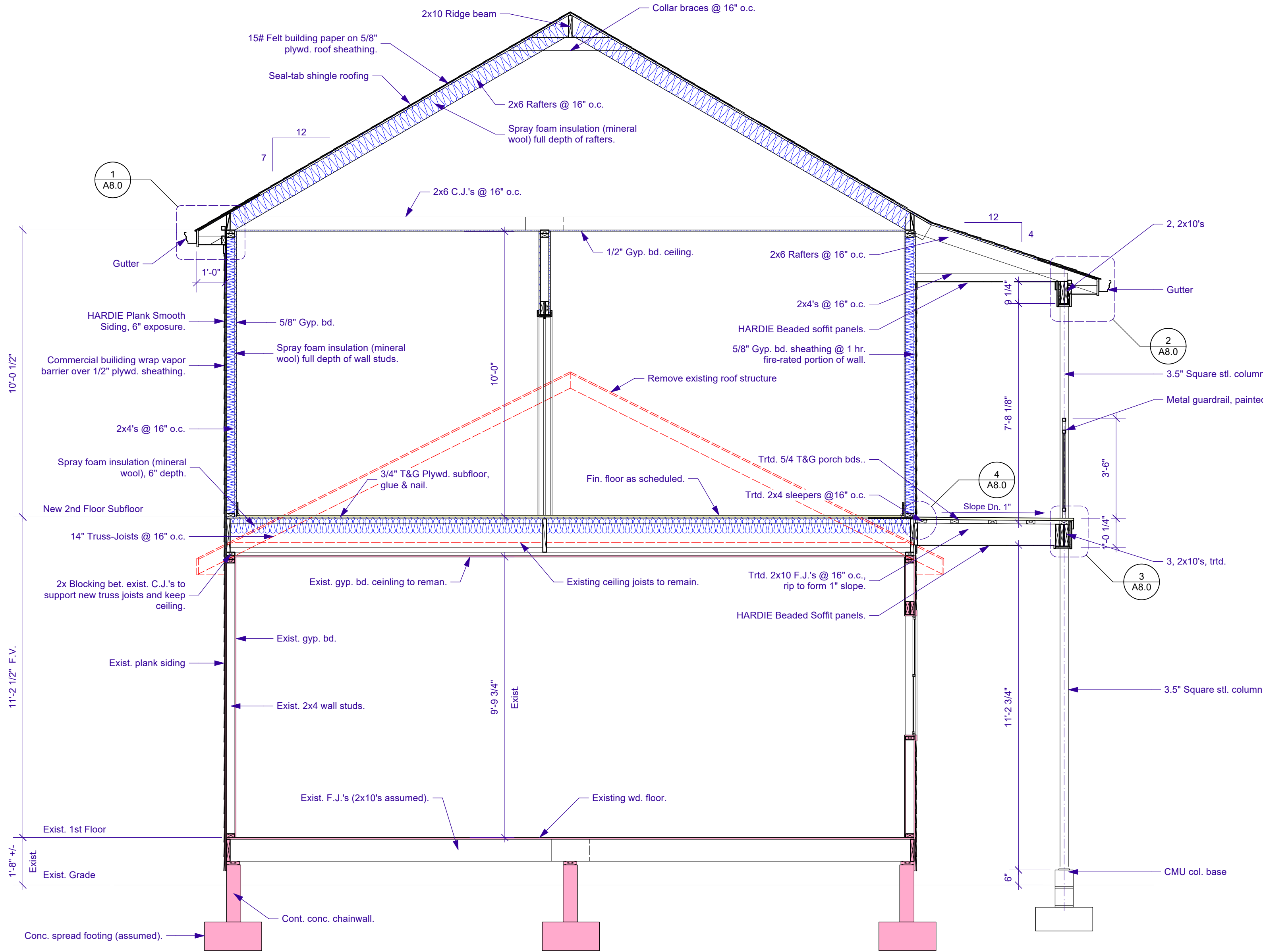
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Designed By	GNK	Checked By	GNK	Reviewed By	GNK
Drawn By	GNK	Submitted By	GNK	Project Manager	GNK

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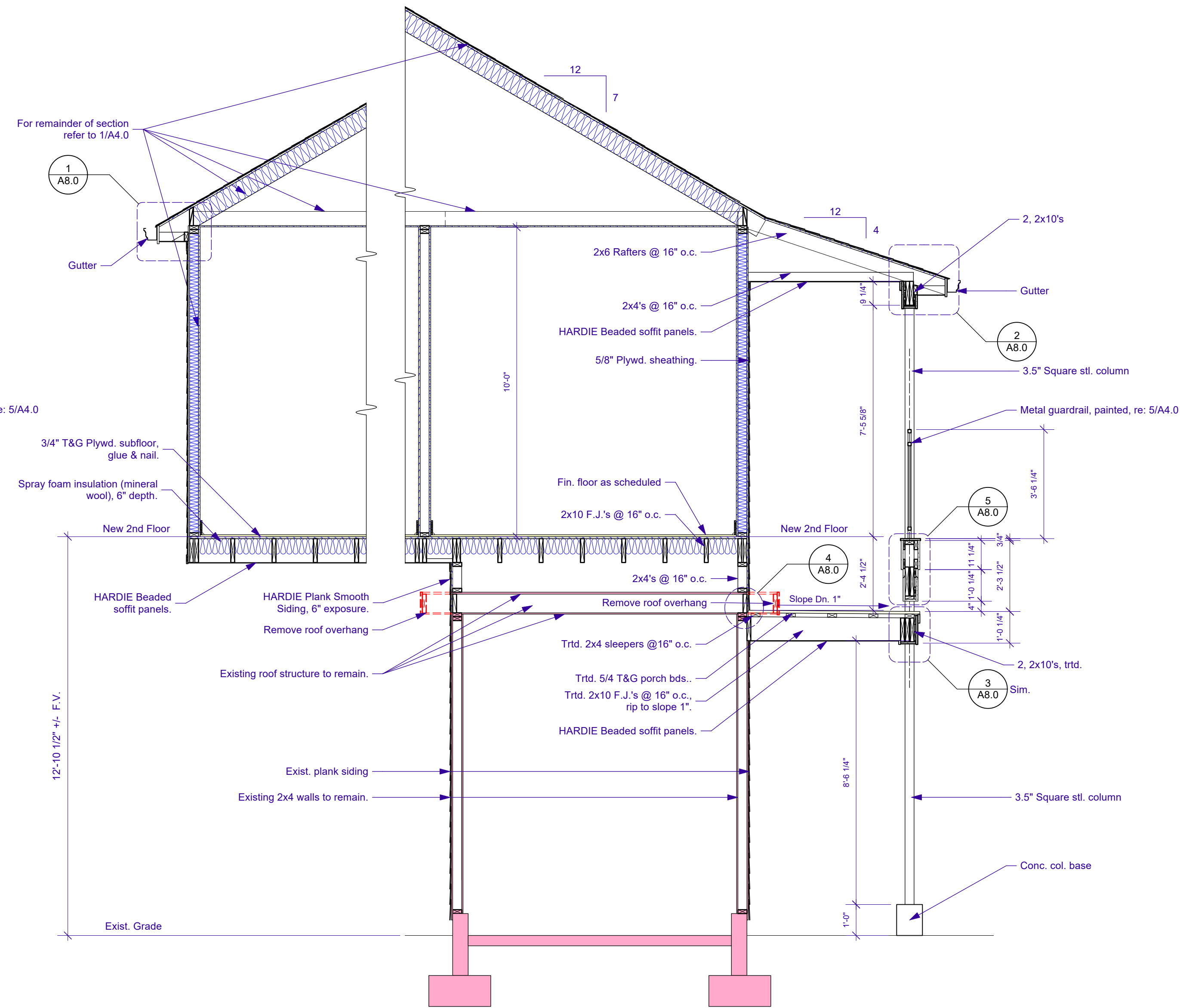
ADDITION TO: REGINELLI'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115	EXTERIOR ELEVATIONS - ADDITION
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AS NOTED
Sheet No. <b>A3.1</b> of 19

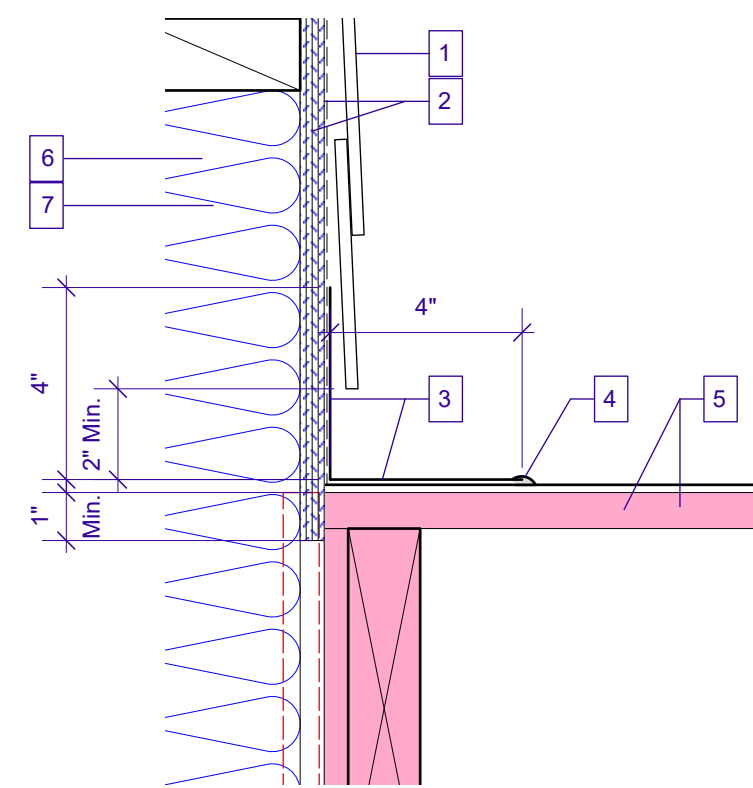




1 TRANSVERSE SECTION  
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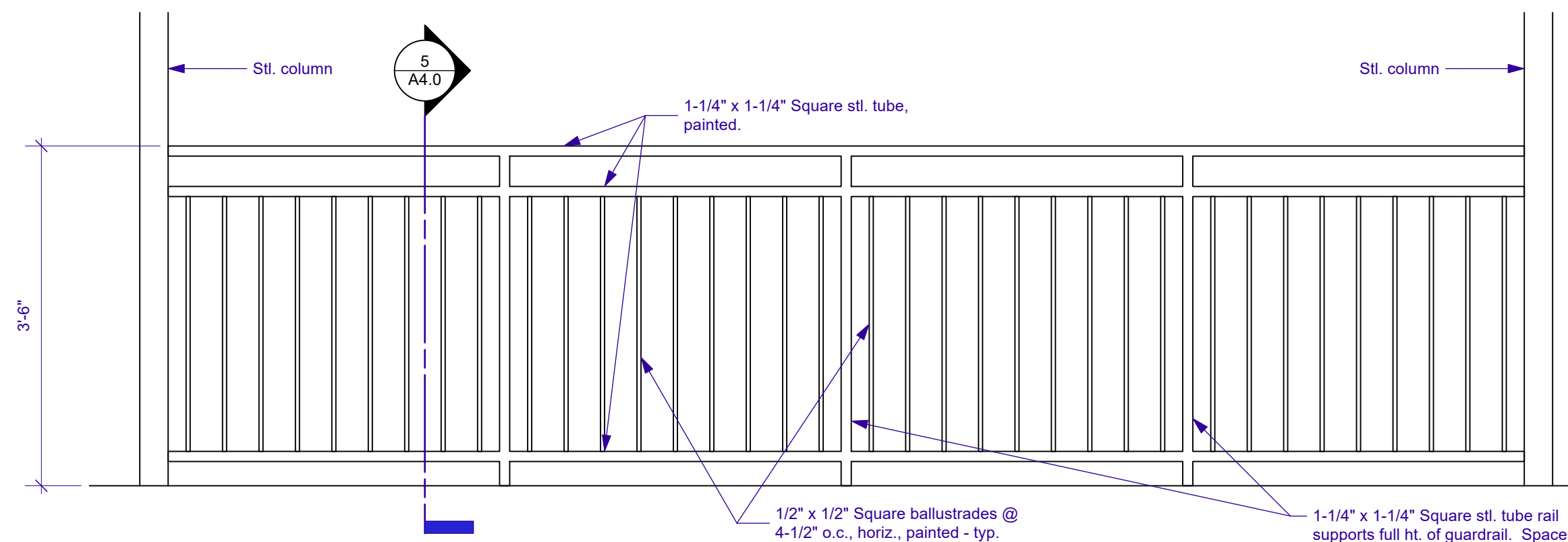
2 SECTION THRU LOWER BALCONY  
Scale: 3/8" = 1'-0"



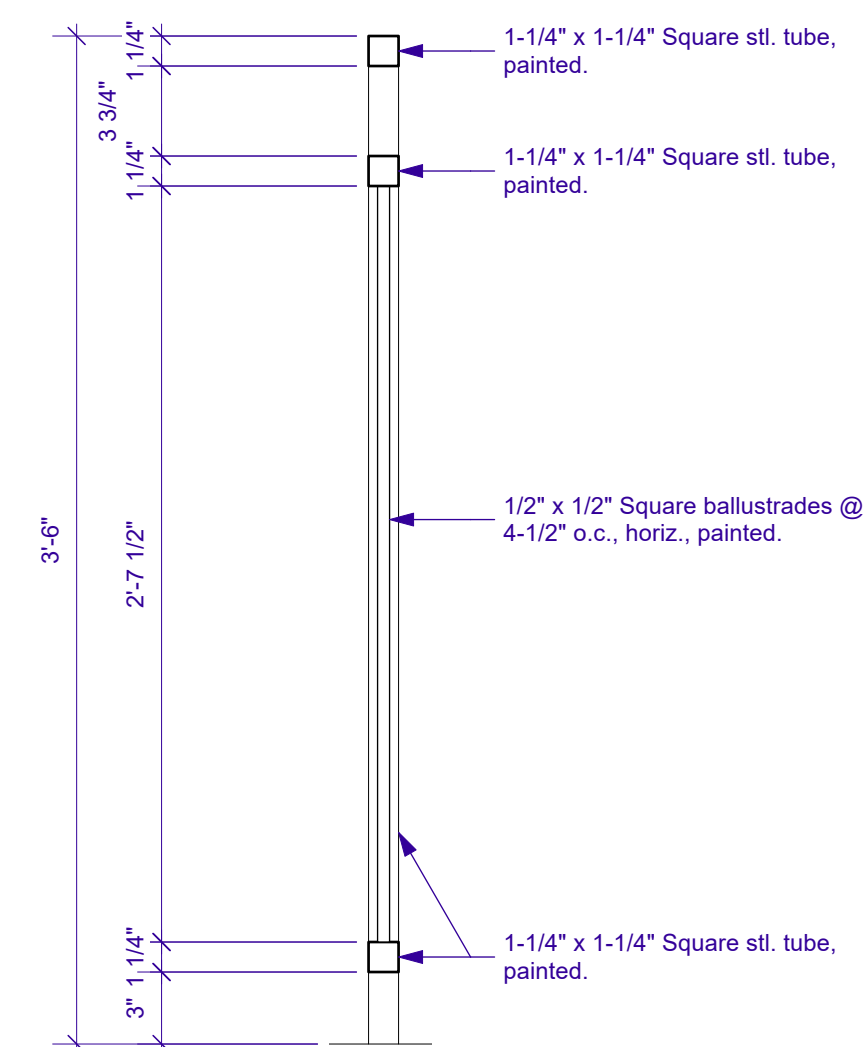
3 WALL/ROOF DETAIL  
Scale: 3" = 1'-0"

#### KEY NOTES

1. HARDIE Smooth Plank Siding w/ 6" exposure (match existing).
2. Commercial building wrap vapor barrier over 1/2" plywood sheathing.
3. 24 Ga. galv. flashing.
4. Sealant
5. Exist. roofing and sheathing
6. 2x4's @ 16" o.c.
7. Spray foam insulation (mineral wool) full depth of wall studs.



4 GUARDRAIL ELEVATION  
Scale: 3/4" = 1'-0"



5 GUARDRAIL SECTION  
Scale: 1 1/2" = 1'-0"



Release for Permits		Issue Notes
No.	Date	
A	4/4/2022	

Date	4/4/2022
Revision	
Project ID	21-27
Drawing Code	A4.0 [Sections-M-1]
Author/Checker	21-27_Prelim.wrk
Project Manager	GNK

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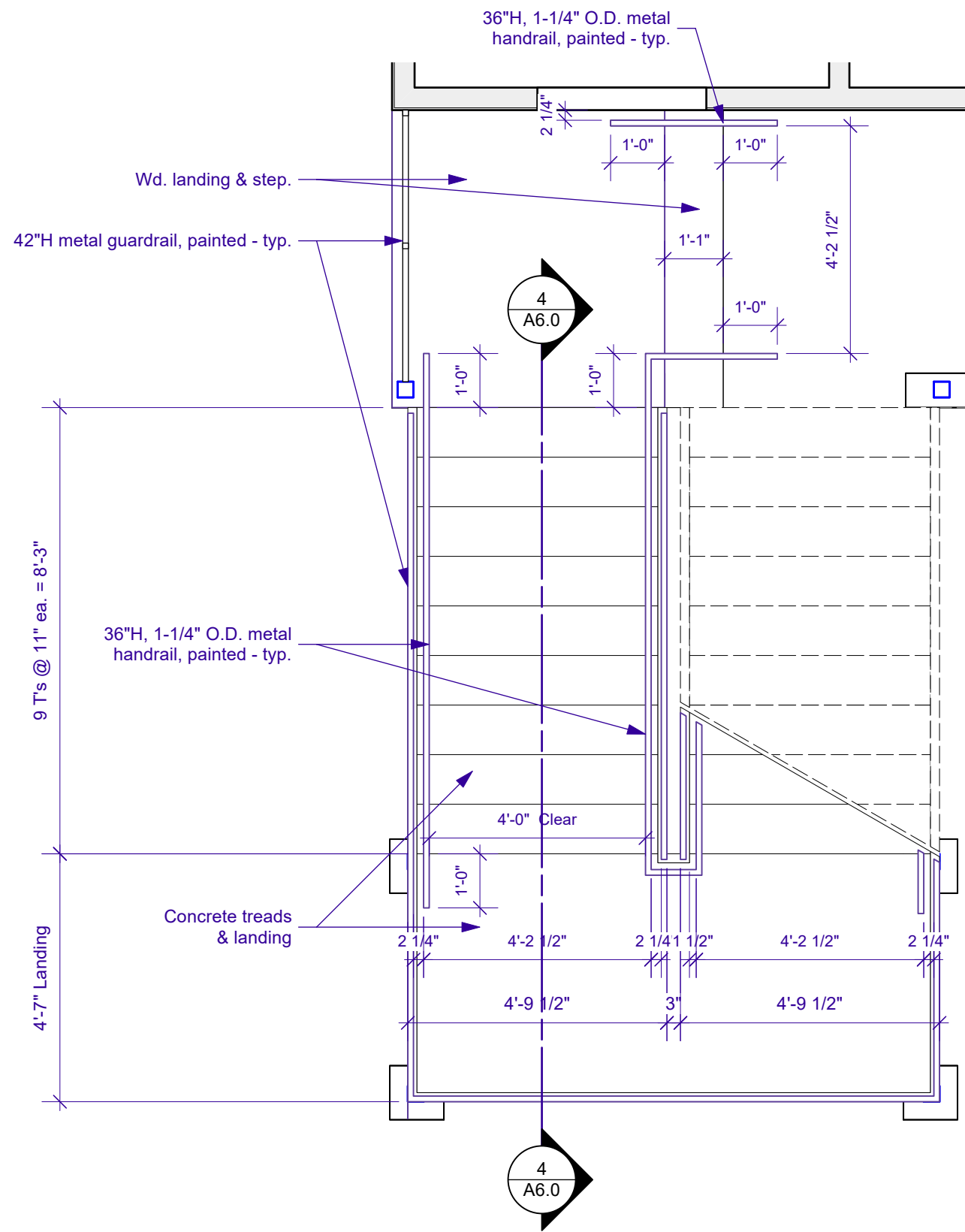
PROJECT TITLE  
**ADDITION TO:  
REGINELLI'S OFFICES  
323 OCTAVIA ST.  
NEW ORLEANS, LA 70115**

SHEET TITLE  
**TRANSVERSE SECTIONS  
DETAILS**

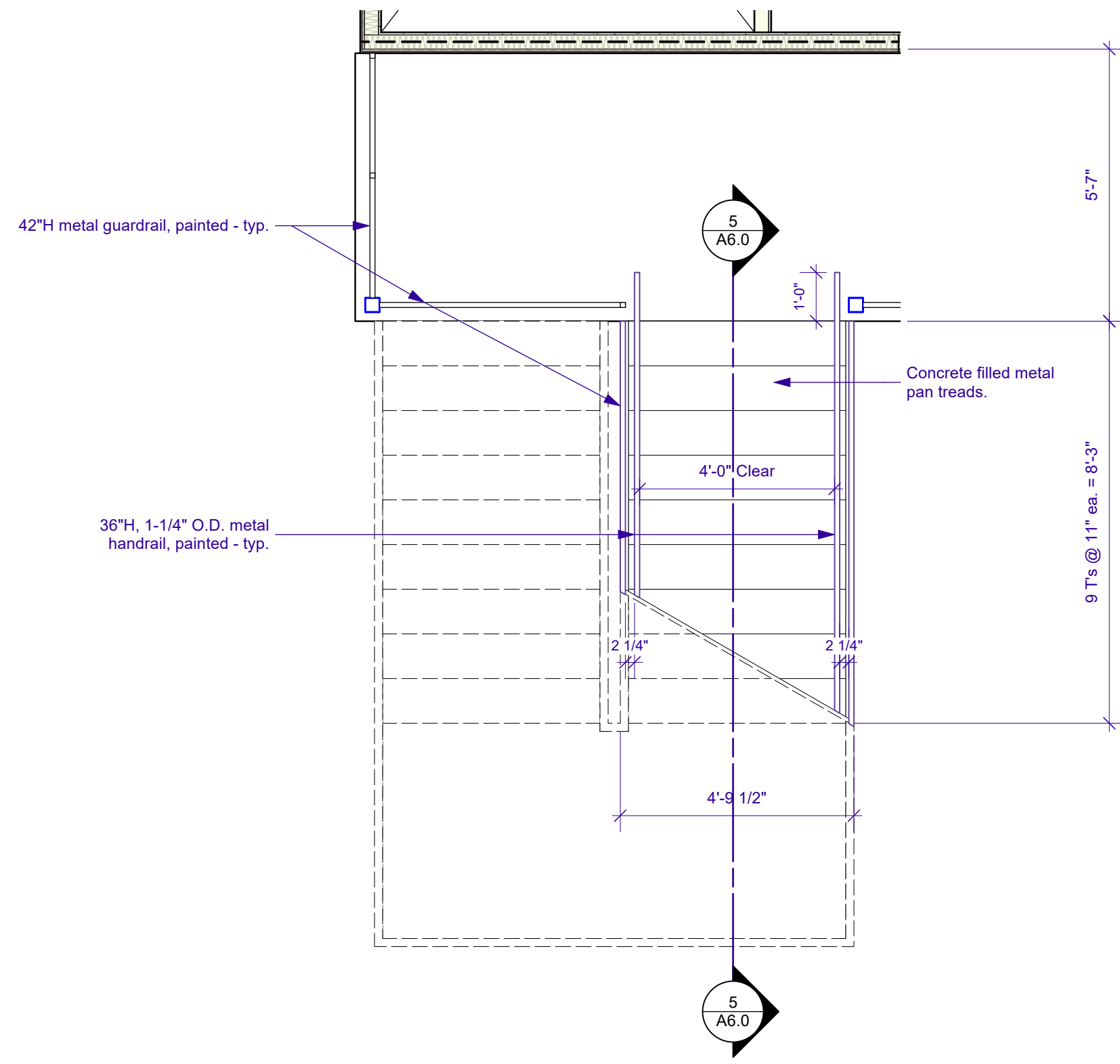




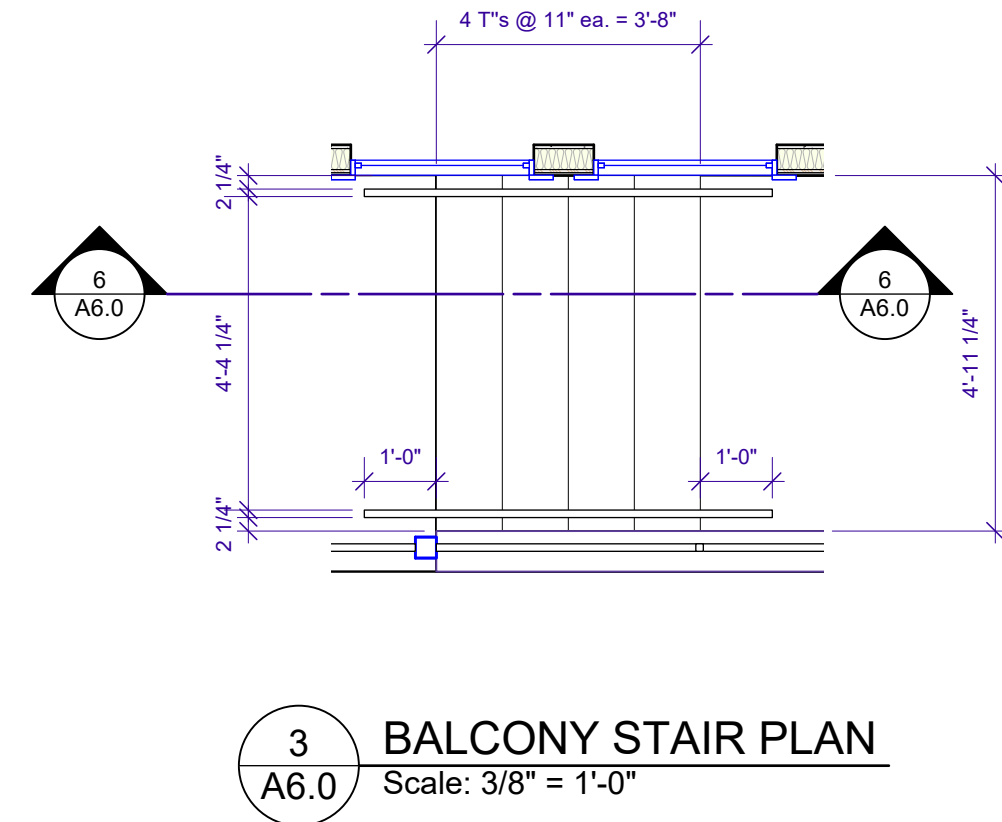




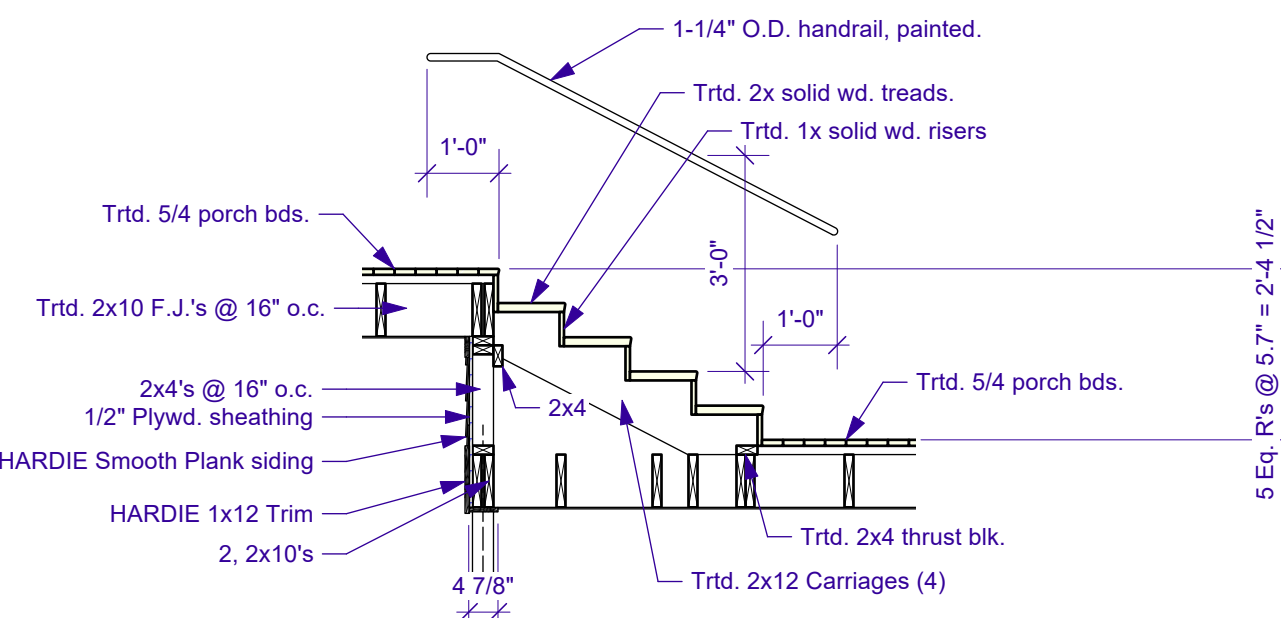
**1 STAIR PLAN @ 1ST FLOOR**  
A6.0 Scale: 3/8" = 1'-0"



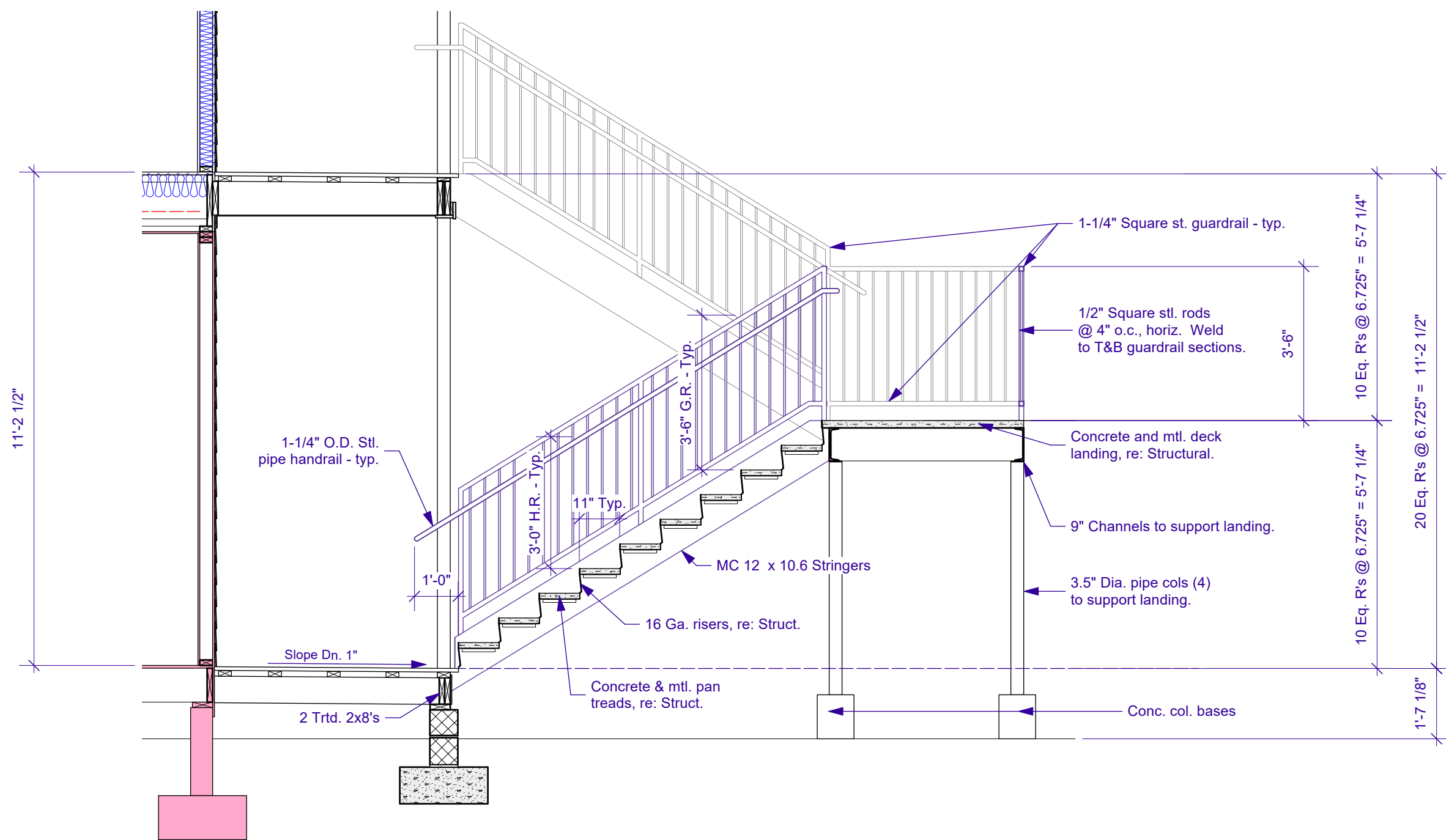
**2 STAIR PLAN @ 2ND FLOOR**  
A6.0 Scale: 3/8" = 1'-0"



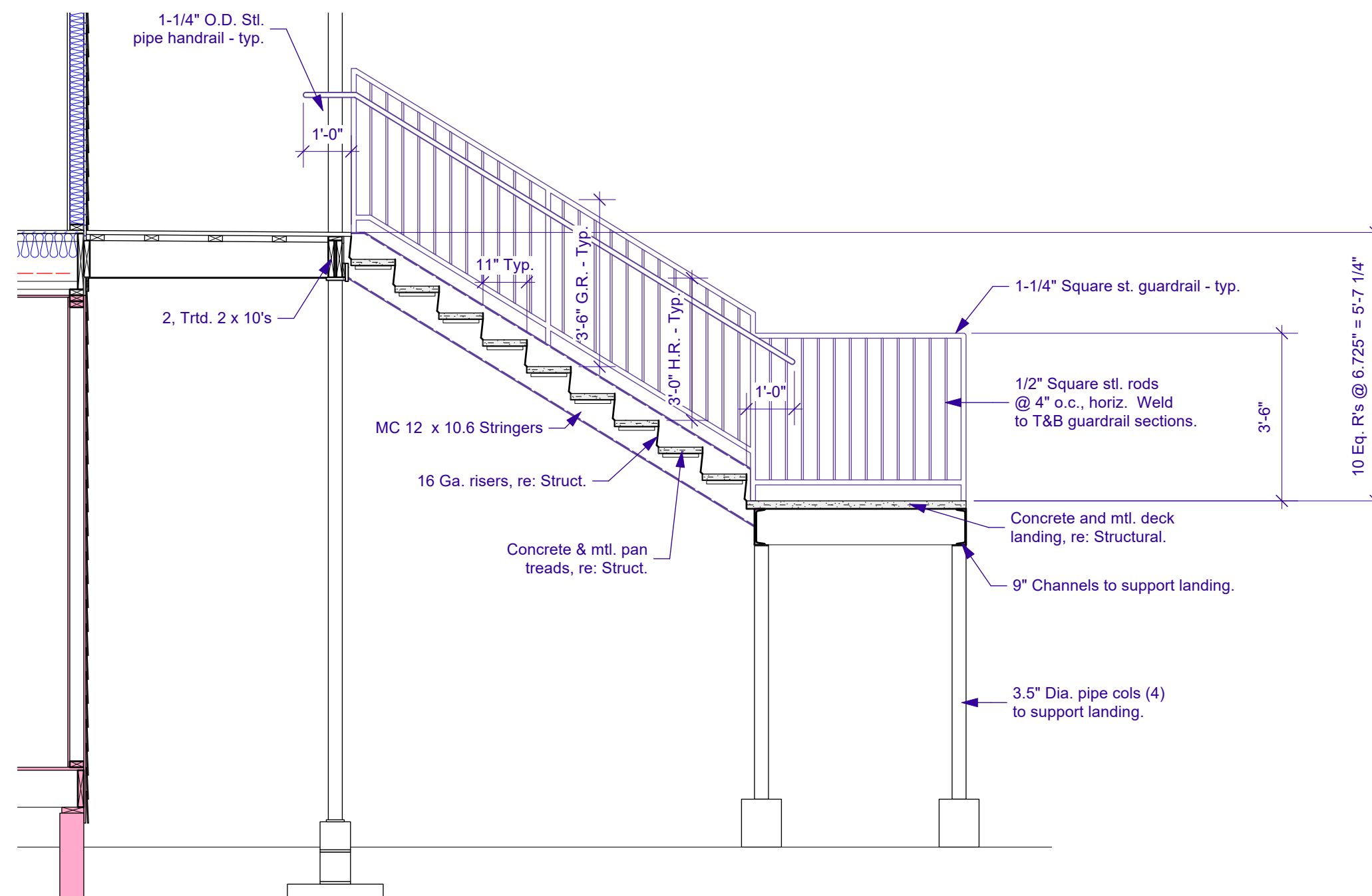
**3 BALCONY STAIR PLAN**  
A6.0 Scale: 3/8" = 1'-0"



**6 BALCONY STAIR SECTION**  
A6.0 Scale: 3/8" = 1'-0"



**4 LOWER STAIR RUN SECTION**  
A6.0 Scale: 3/8" = 1'-0"



**5 SECTION THRU UPPER STAIR RUN**  
A6.0 Scale: 3/8" = 1'-0"



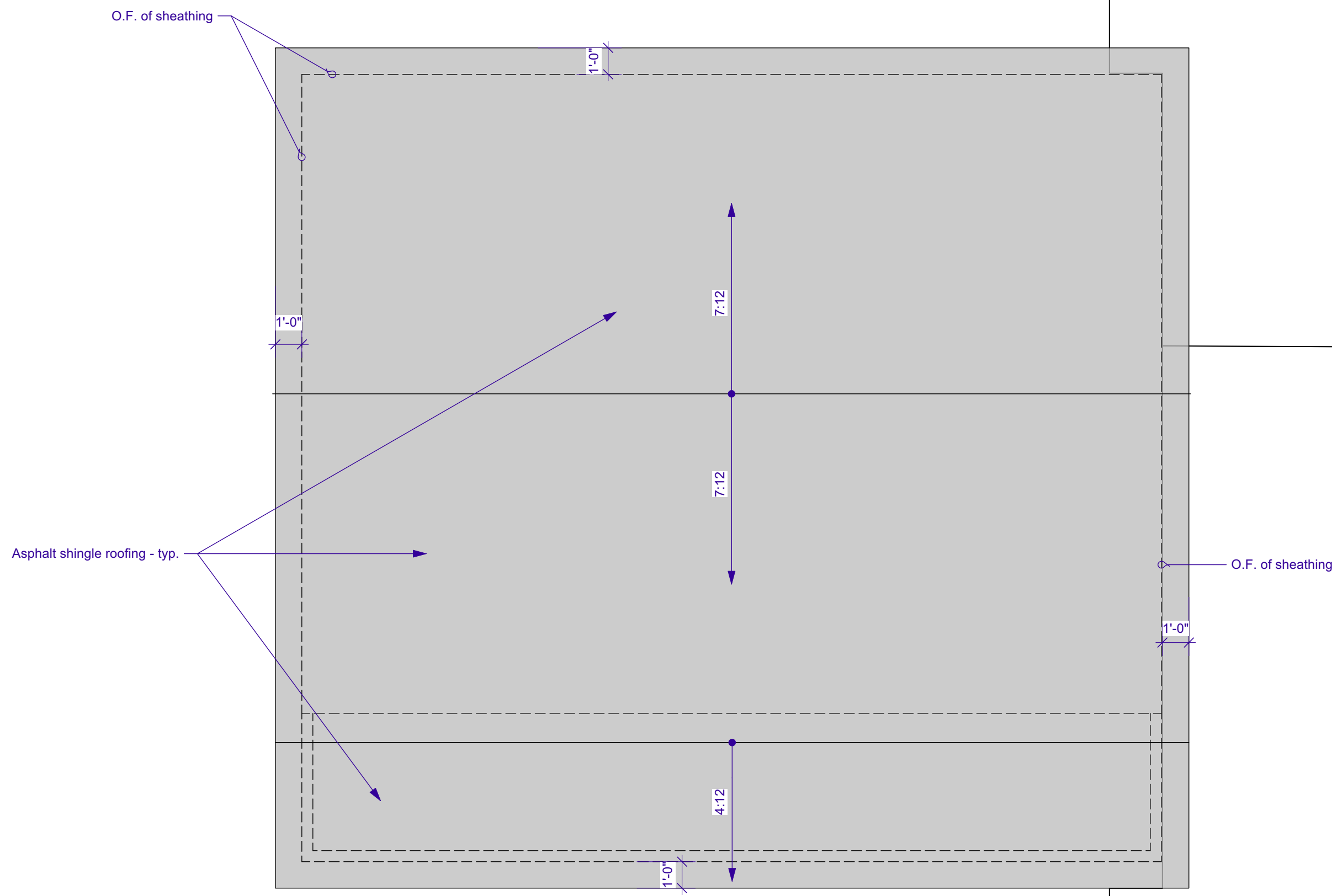
No.	Date	Issue Notes
A	4/4/2022	Release for Permits
1	4/4/2022	

Designed By	GNK
Drawn By	GNK
Checked By	GNK
Reviewed By	GNK
Submitted By	GNK
Project Manager	GNK

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Project Title	AS NOTED
Scale	A6.0
Sheet No.	19



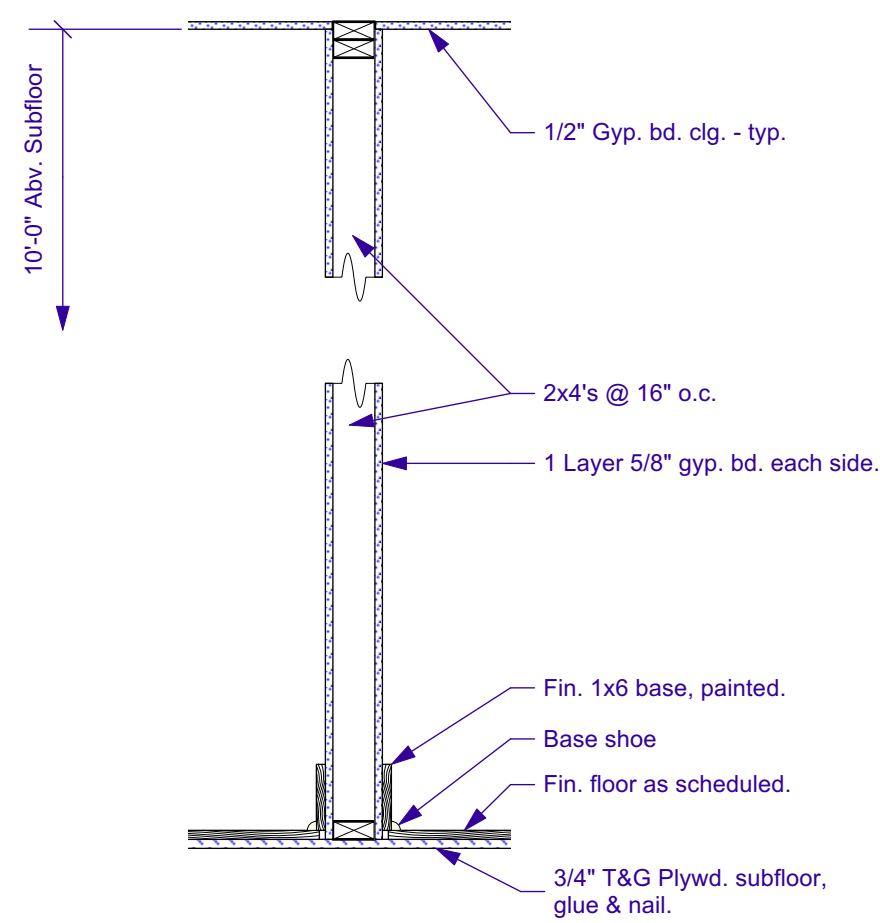


1 ADDITION ROOF PLAN  
A7.0 Scale: 1/4" = 1'-0"

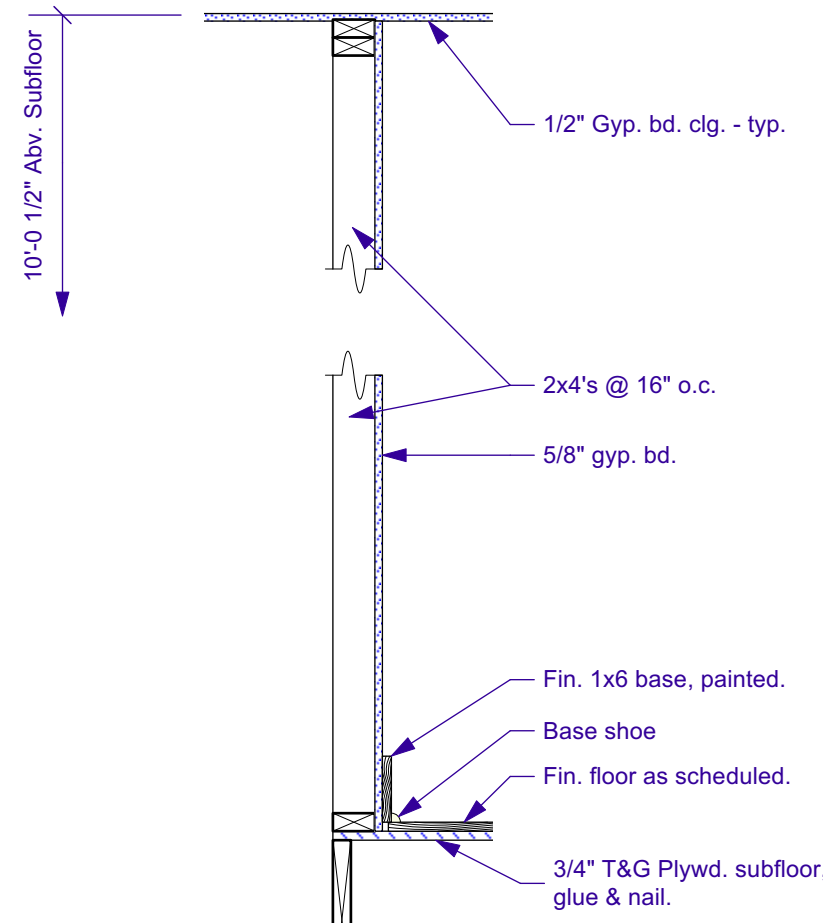


**ADDITION ROOF PLAN NOTES**

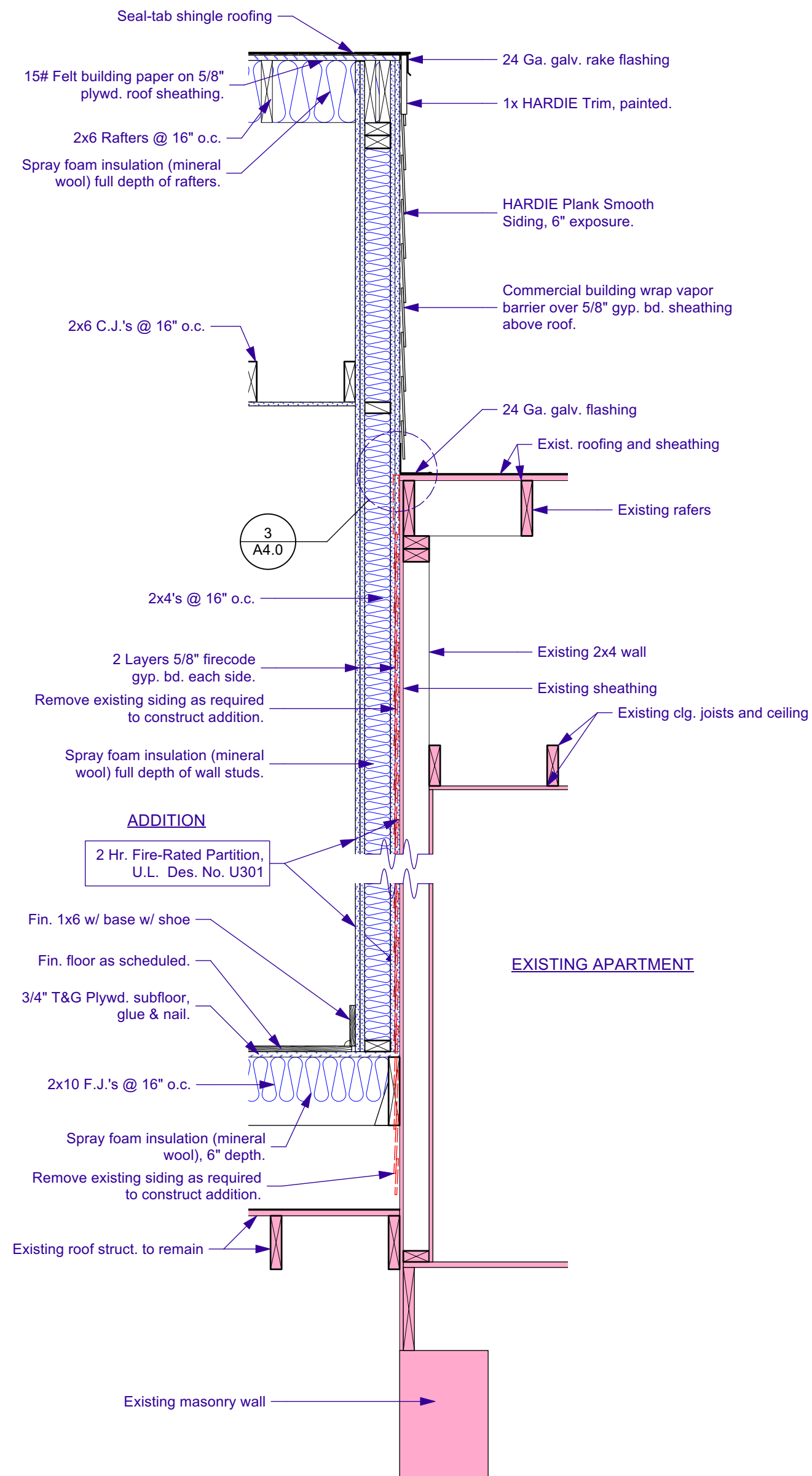
1. All roofing to be shingle roofing u.o.n.
2. Roof Shingles are to meet the following requirements: Class "A" rating; UL 997; Lifetime limited transferable warranty. GAF "Grand Timberline" shingles or approved equivalent. Owner to select color.
3. Provide 24" wide, 24 ga. galvanized valley flashing @ all roof valleys.
4. At all Roof-to-Wall intersections provide 24 ga., galv. flashing. Extend up wall behind siding a min. of 4 inches, and extend over existing roof a min. of 4"
5. Refer to Exterior Elevations, Sht. A3.0 & A3.1 for downspout locations.
6. Provide 30# felt or 2 layers of 15 # felt building paper vapor barrier at roof sections with a slope of 4:12 or less.



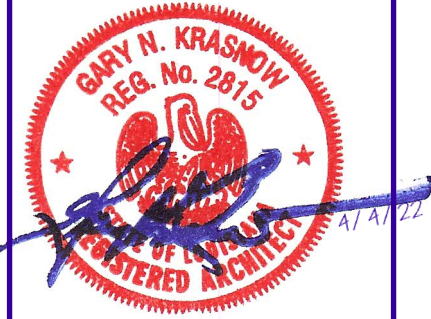
P1 INTERIOR PARTITION  
Scale: 3/4" = 1'-0"



P2 INTERIOR PARTITION  
Scale: 3/4" = 1'-0"



2 WALL SECTION  
A7.0 Scale: 3/4" = 1'-0"



Release for Permits	Date	Issue Notes
A	4/4/2022	

No.	Date
A	4/4/2022

Date	4/4/2022
Revision	
Project ID	21-27
Drawing Code	A7.0 [Roof Plan]
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Proj. Date	4/4/2022

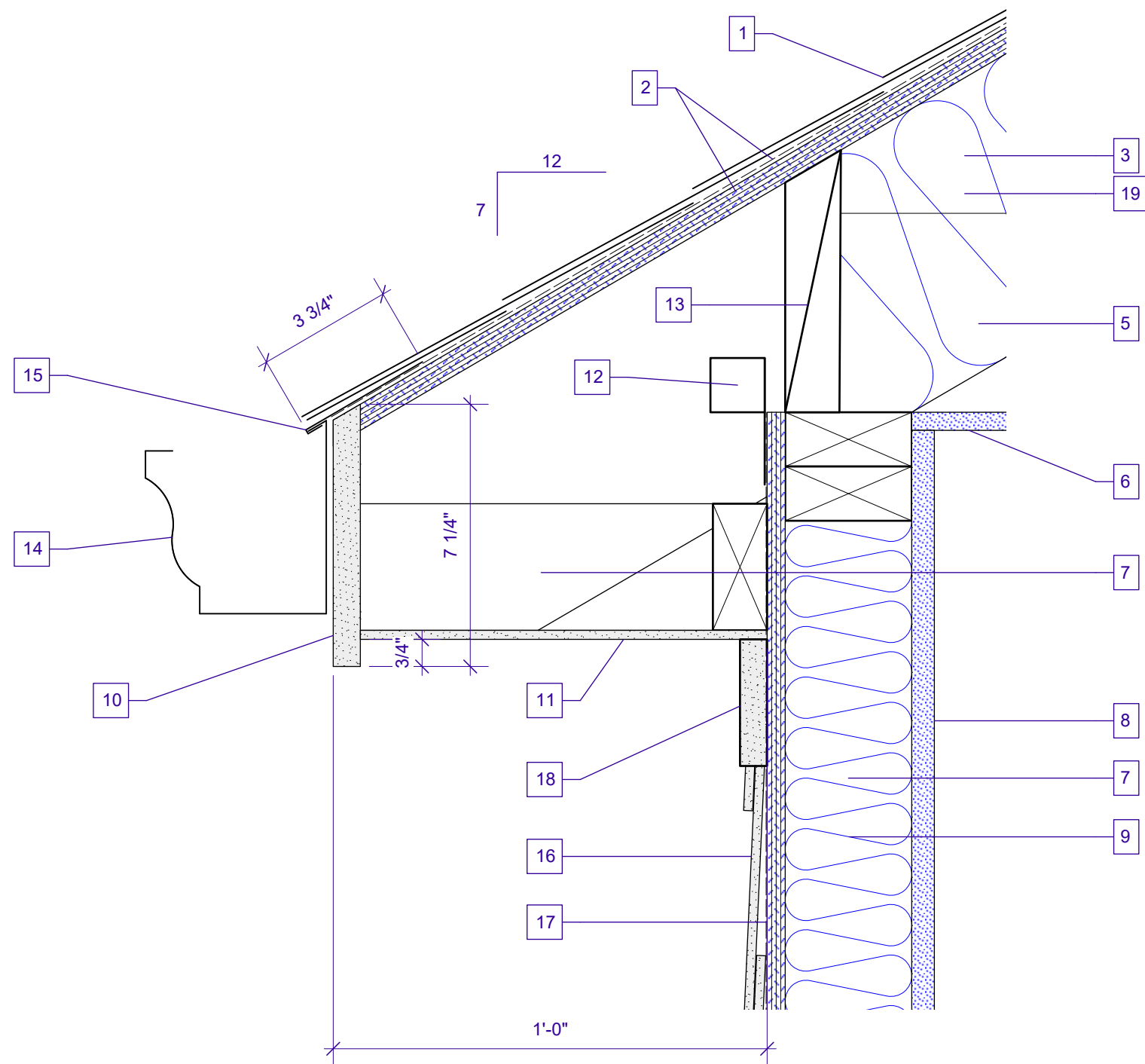
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Drawn By	GNK
Checked By	GNK
Reviewed By	GNK
Submitted By	GNK
Project Manager	GNK

**GARY N. KRASNOW**  
ARCHITECT, LLC  
7734 WALMSLEY AVE  
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TEL: 504-865-1937  
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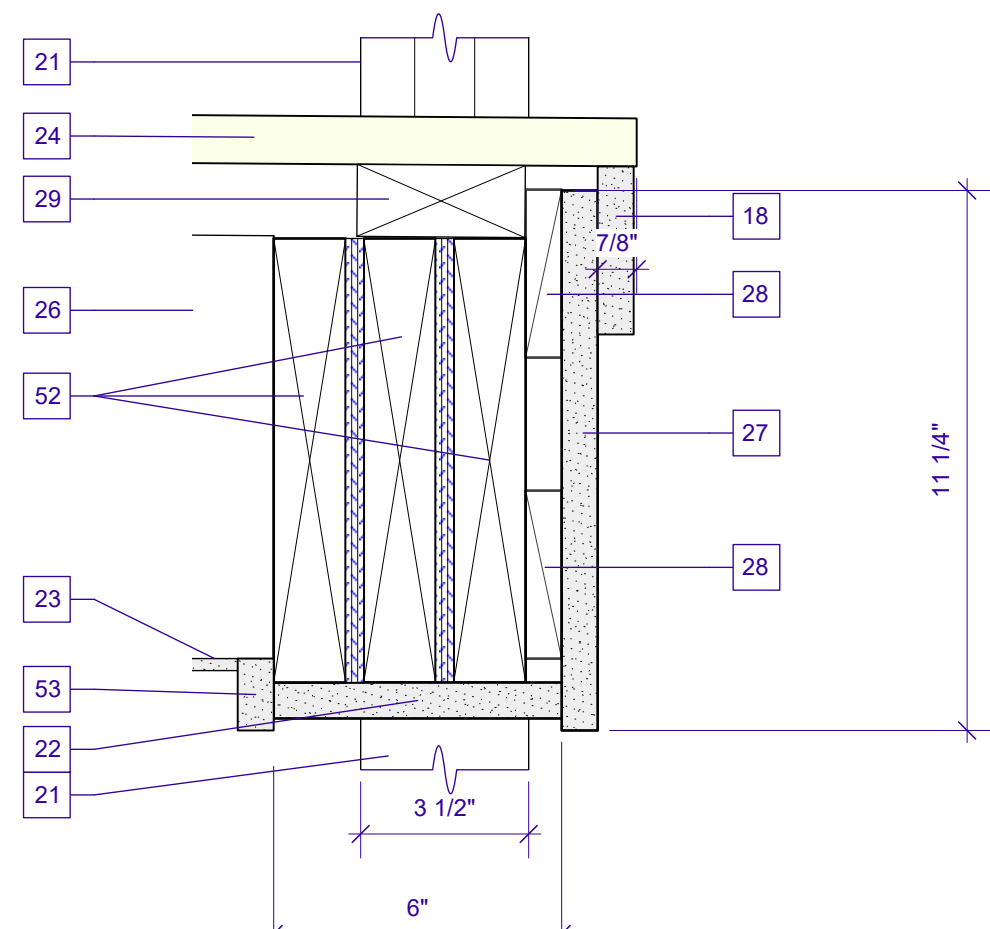
ADDITION TO:  
REGINELLI'S OFFICES  
323 OCTAVIA ST.  
NEW ORLEANS, LA 70115

ADDITION ROOF PLAN  
INTERIOR PARTITION TYPES  
WALL SECTION

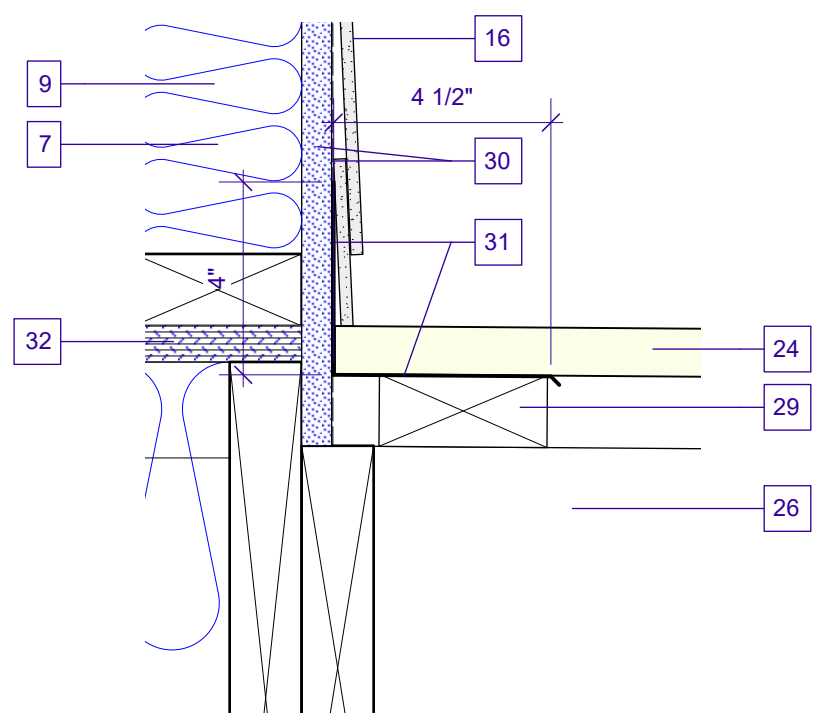




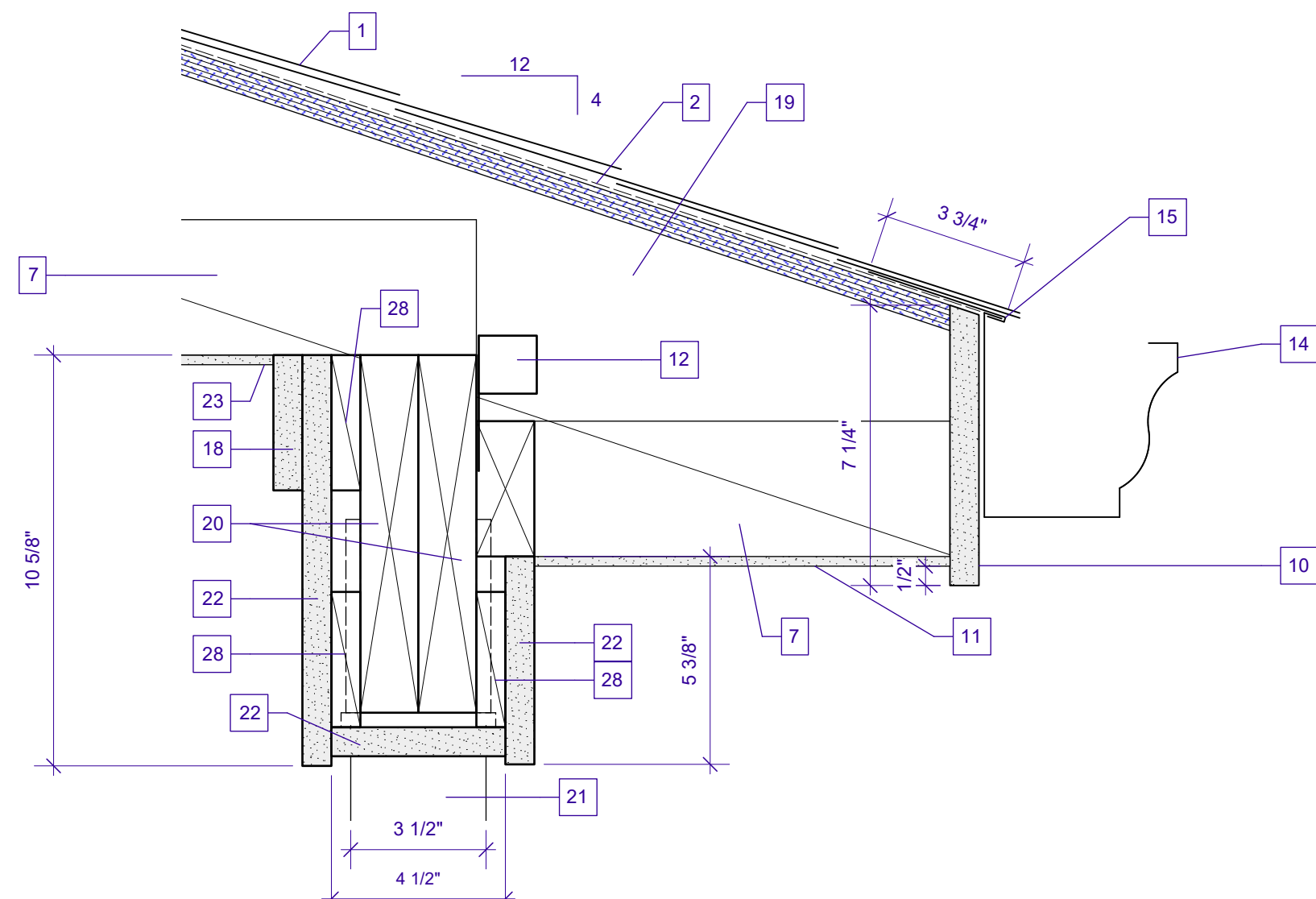
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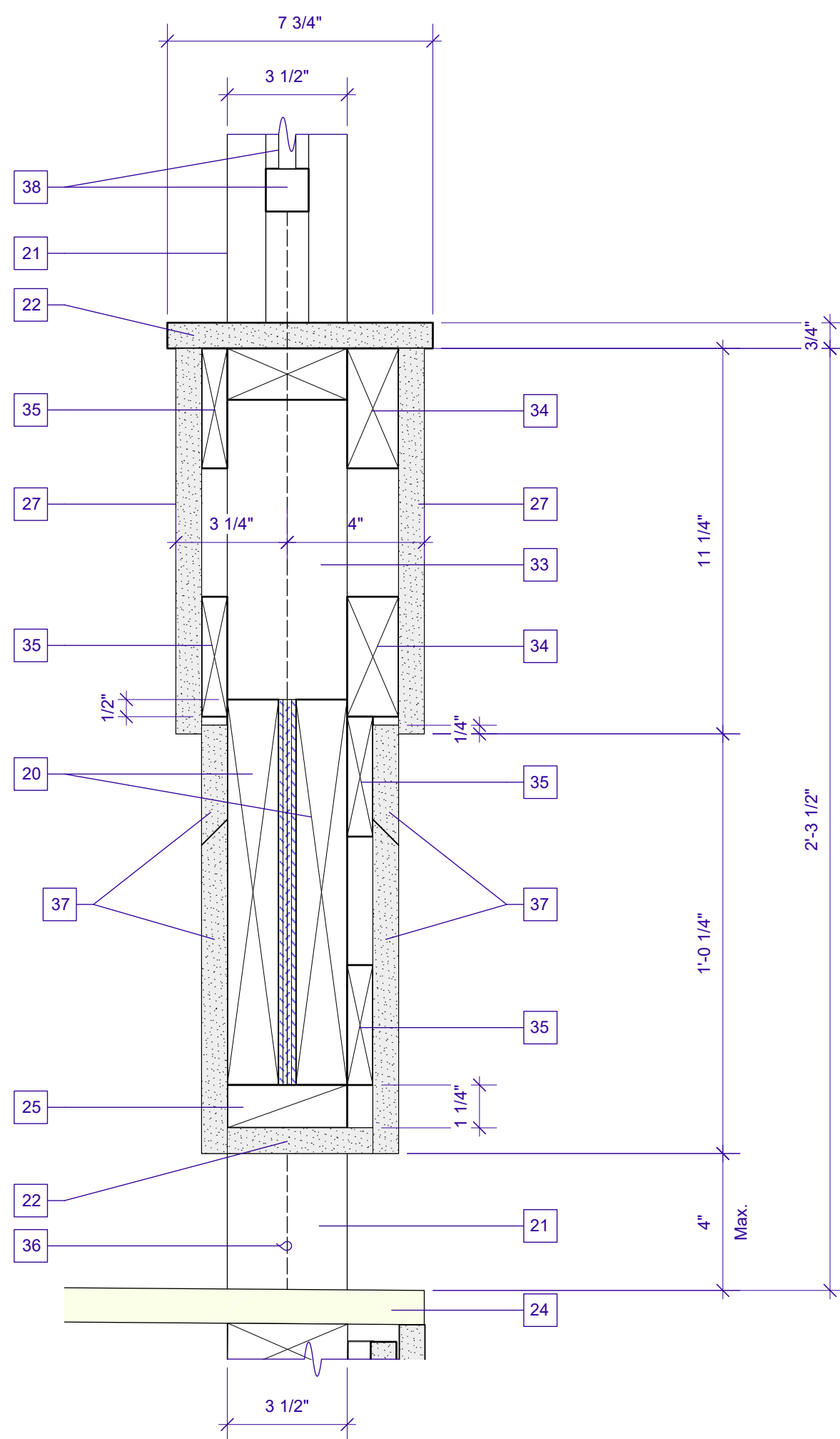
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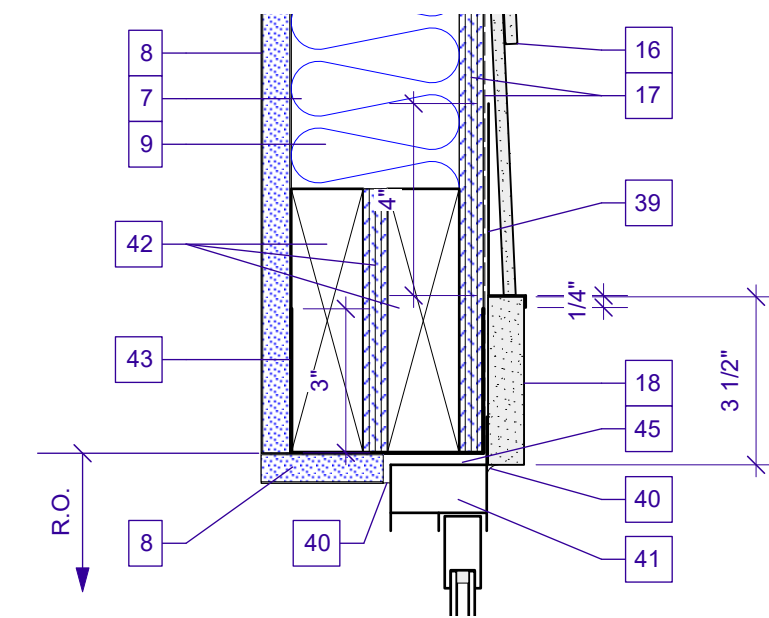
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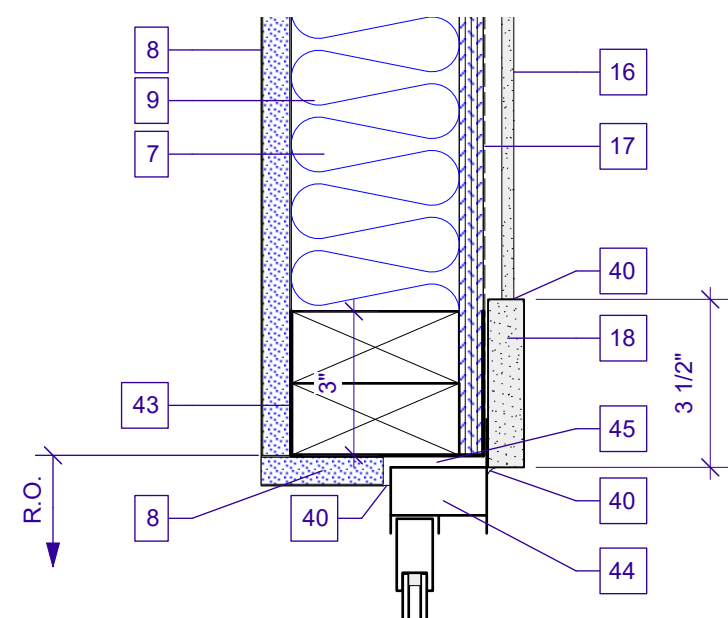
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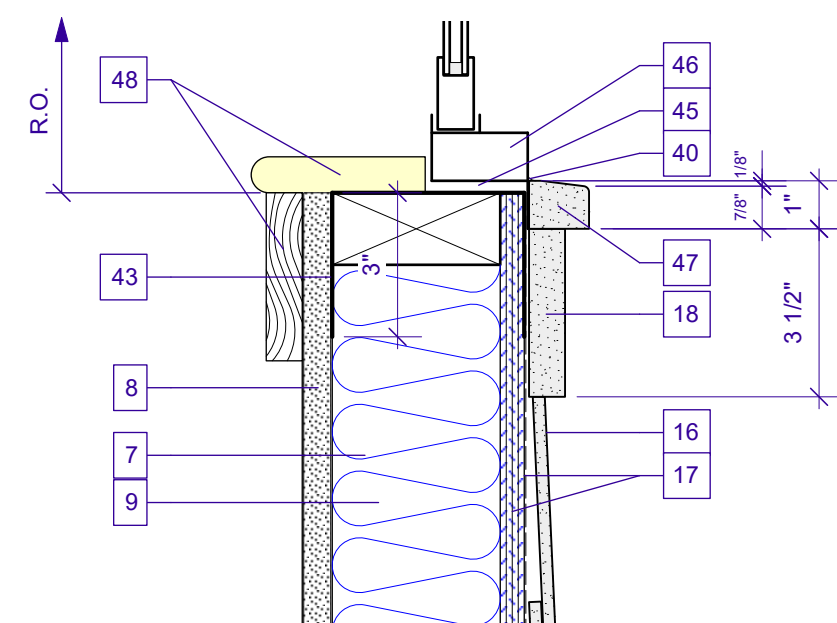
5 WALL/RAIL DETAIL  
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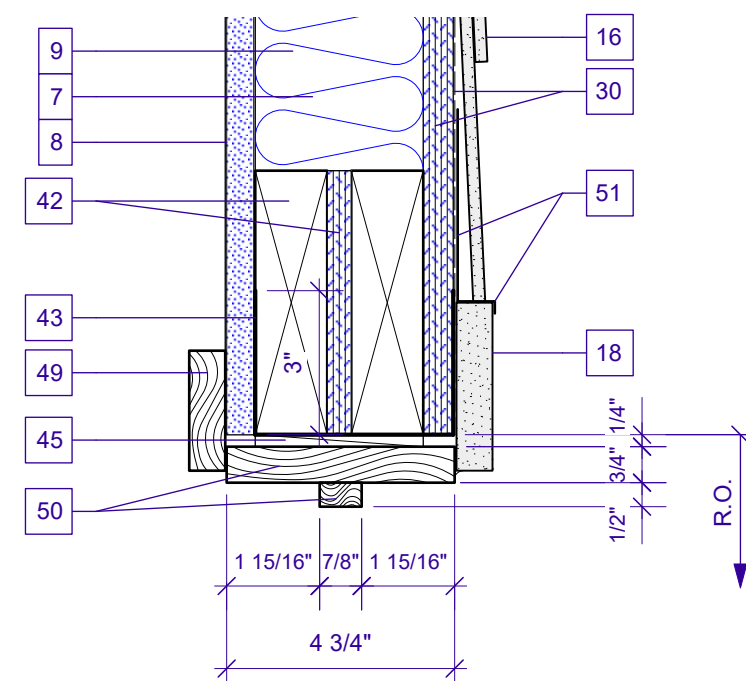
6 W-1 HEAD DETAIL  
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7 W-1 JAMB DETAIL  
A8.0 Scale: 3" = 1'-0"



8 W-1 SILL DETAIL  
A8.0 Scale: 3" = 1'-0"



9 HEAD DETAIL DOOR 20 (JAMB SIM.)  
A8.0 Scale: 3" = 1'-0"

#### KEY NOTES

- Seal-tab shingle roofing
- 15# Felt building paper on 5/8" plywd. roof sheathing.
- Spray foam insulation (mineral wool) full depth of rafters.
- N/A
- 2x6 Ceiling Joists @ 16" o.c.
- 1/2" Gyp. bd. ceiling.
- 2x4's @ 16" o.c.
- 5/8" Gyp. bd.
- Spray foam insulation (mineral wool) full depth of wall studs.
- 1x8 HARDIE Smooth Trim fascia bd.
- HARDIE Smooth Soffit board.
- Hurricane ties @ each rafter, re: structural drawings.
- 2x Insulation block.
- Aluminum gutters and downspouts - match existing.
- 0.024" Aluminum edge flashing.
- HARDIE Smooth Plank Siding w/ 6" exposure (match existing).
- Commercial building wrap vapor barrier over 1/2" plywood sheathing.
- 1x4 HARDIE Smooth Trim bd., painted.
- 2x6 Rafters @ 16" o.c.
- 2, 2x10's, trtd.
- 3.5" Square stl. column
- 1x HARDIE Smooth Trim bd., rip to size shown, painted.
- HARDIE Smooth Perforated Soffit bd., 1st twelve inches, Beaded Soffit bd, remainder of ceiling. Re: Reflected Ceiling Plans, Sht. A2.1
- Trtd. 5/4 T&G porch bds., painted.
- Trtd. blk.
- Trtd. 2x10 F.J.'s @ 16" o.c. Rip to form 1" slope.
- 1x 12 HARDIE Smooth Trim bd., painted.
- Trtd. 1x4 blk.
- Trtd. 2x4 sleepers @ 16" o.c.
- Commercial building wrap vapor barrier over 5/8" plywood sheathing @ front wall. 5/8" Firecode gyp. sheathing @ fire-rated portion of the front wall.
- 24 Ga. galv. flashing.
- 3/4" T&G Plywd. subfloor, glue & nail.
- Trtd. 2x4's @ 16" o.c.
- Trtd. 2x4
- Trtd. 1x4
- Centerline of column
- 1x HARDIE Trim spliced to create width shown. Miter splice. Painted.
- 42"H Metal guardrail, painted. Re: 3/A7.0
- 24 Ga. galv. flashing, painted.
- Sealant
- W-1 Window head section w/ nailing fin.
- 2,2x6 Lintel w/ 1/2" plywood spacer.
- Wrap opps. w/ self-adhered membrane flashing.
- W-1 Window jamb section w/ nailing fin.
- 1/4" Shim space.
- W-1 Window sill section w/ nailing fin.
- 5/4 HARDIE Smooth Trim window sill, painted.
- Fin. wood window stool and casing. Match existing window trim on 1st floor.
- Fin. 1x3 wood casing, painted. Verify w/ the Owner.
- Fin. 1x Wood casing and stop, painted.
- 24 Ga. galv. flashing, painted. Omit @ jamb.
- 3, 2x10's Trtd. w/ 3/8" plywood plates, or 2, 2x10's w/ 2x blk. See structural drawings for beam sizes.
- 1x2 HARDIE Trim, painted.



No.	Date	Issue Notes
A	4/4/2022	Release for Permits

No.	Date	Issue Notes
A	4/4/2022	Release for Permits

Date	Revision	Project ID	Drawings Code	Drawings Title	Project Name	Project Manager
4/4/2022		21-27	A7.1 [Arch Dell/Sched-2]	21-27_Prelim wx	4/4/2022	GNK

Designed By	GNK	Drawn By	GNK	Checked By	GNK	Reviewed By	GNK	Submitted By	GNK	Project Manager	GNK
GARY N. KRASNOW ARCHITECT, LLC 7734 WALMSLEY AVE NEW ORLEANS, LA 70125 TEL: 504-865-1937 FAX: 866-859-6774 E-MAIL: gnkarch@att.net											

Project Title	AS NOTED
Scale	AS NOTED
Sheet No.	A8.0

ADDITION TO: REGINELLI'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115	DETAILS
of	
19	



GENERAL STRUCTURAL NOTES

I. GENERAL

- A. Contractor Responsibility - Construction documents represent the finished structure. Contractor is responsible for construction means, methods, sequences and safety precautions, including but not limited to shoring and temporary bracing.
- B. Omissions & Conflicts - Omissions or conflicts between various elements of the construction documents should be brought to the attention of the design team. If certain features are not fully delineated in the construction documents, their construction shall be of the same character as for similar conditions that are delineated.
- C. Existing Conditions - The Contractor shall verify the existing conditions and dimensions in the field. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.

II. DESIGN BASIS

- A. Applicable Codes and Standards  
International Residential Code 2015  
ASCE 7-2010

B. Design Loads

Roof High Slope	
Live Load	18 psf
Dead Load	7 psf
Porch Roof	
Live Load	20 psf
Dead Load	6 psf
Attic	
Live Load	10 psf
Dead Load	4 psf
Porch Ceiling	
Live Load	10 psf
Dead Load	4 psf
2nd Floor	
Live Load	50 psf
Dead Load	16 psf
2nd Porch	
Live Load	80 psf
Dead Load	7 psf
1st Floor	
Live Load	50 psf
Dead Load	7 psf
Stair	
Live Load	100 psf
Dead Load	10 psf

Wind Load

The criteria is based on ASCE 7-2010 Minimum Design Loads for Buildings and Other Structures:

Basic Wind Velocity	143 mph
Risk Category	II
Exposure	B

III. MATERIALS

A. EARTHWORK

Place footings on undisturbed soil. Notify the Engineer if "soft spots", underground obstructions, or any unusual condition is encountered during stripping, excavation or filling. Soil bearing capacity is 800 psf.

B. CONCRETE

All concrete work shall conform to ACI 301 Specification for Structural Concrete for Buildings and meet the following requirements:

**Concrete** - Type I cement ASTM C 150, normal weight aggregates ASTM C 33, 3000 psi at 28 days, 5" slump.

**Reinforcing Steel** - ASTM A615 grade 60, welded wire fabric ASTM A185.

**Reinforcing Steel Details** - Except as noted otherwise where continuous reinforcing is specified, hook bars at non-continuous ends.

Lap bars as indicated below:

Lap Splices

#3 1'4"

#4 1'4"

#5 1'7"

Welded wire fabric - two spaces.

Provide the following cover for reinforcing:

Footings 3" bottom and sides.

C. CONCRETE MASONRY UNITS

All concrete masonry work shall conform to ACI 531.1 Specification for Masonry Construction.

**Concrete Masonry Units** - ASTM C90, grade N, type 1, lightweight units.

**Mortar** - ASTM C270, type S.

**Grout** - ASTM C476.

**Reinforcing Steel** - ASTM 615 grade 60, wire steel shall be ASTM A82.

**Reinforcing Details**

Lap reinforcing as indicated below:

Lap splices

#4 2'0"

Wire joint reinforcing - 1'0"

The masonry assemble shall achieve a unit strength (fm') = 1500 psi.

D. STRUCTURAL STEEL

All detailing, fabrication and erection of structural steel shall conform to AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings, the AWS D1.1 Structural Welding Code and meet the following requirements:

**Steel Channels, Angles, Rods and Plates** : ASTM A 36, yield strength 36 ksi except where noted otherwise in sections.

**Tube** - ASTM A500 Grade B.

**Anchor Bolts** - ASTM A307.

**Welding Materials** - E70XX.

**Paint** - One coat shop applied red oxide, Type 1 primer - 2 mils thick. Do not paint surfaces to be welded, embedded in concrete or masonry, or contact surfaces of friction connections.

All welding by certified welders and in accordance with AWS D1.1, structural welding code. All electrodes used for submerged arc and shielded metal arc welding shall be compatible with the structural steel as specified in AWS and AISC.

E. LIGHT GAUGE METAL FRAMING ACCESSORIES

Joists hangers shall be type "U" unless indicated otherwise on the drawings as manufactured by the Simpson Strong-Tie Company. Install joists hangers where beams frame into beams at the same elevation and in strict accordance with the manufacturer's specifications. All steel parts for wood connections in contact with treated lumber shall be hot-dipped galvanized coated conforming to ASTM A653 Class G-185 minimum required weight of zinc coating total both sides of 1.85 ounces per square foot:

F. BOISE CASCADE ENGINEERED WOOD PRODUCTS

All structural members fabricated by the Boise Cascade Corporation shall be erected and braced in strict accordance with the manufacturer's specifications. All members designated as "LVL" shall be laminated veneer lumber having properties and strengths equal to the Boise Cascade Corporation "VERSA-LAM".

G. WOOD FRAMING

All wood framing fabrication and erection shall conform to the National Design Specification for Wood Construction by the NFPA, the Plywood Design Specification by the APA and meet the requirements below. Unless noted otherwise all wood connections shall be in accordance with the fastening schedule of the International Residential Code.

All lumber in contact with concrete or masonry shall be treated:

**Framing Lumber** - Southern Yellow Pine, S4S, No. 2, maximum moisture content 19%.

**Floor Framing** - Provide bridging for dimensioned lumber floor joists at 8'-0" o.c. max.

**Plywood Flooring** - APA rated 48/24, 3/4" thick. Nail with 12d nails spaced at 6" o.c. at panel ends and 12" o.c. at intermediate supports.

**Plywood Roofing** - APA rated 32/16, 5/8" thick. Nail with 10d ring shank nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports.

**Wall Sheathing** - APA rated 32/16, 1/2" on all the exterior walls to brace the structure for wind loads. Nail plywood edges with 8d nails at 6" o.c. at panel edges and 12" o.c. at intermediate supports. Provide solid blocking at all panel edges.

IV.abMISCELLANEOUS

- No change in size or dimension of structural members shall be made without the written approval of the professional of record.
- The contractor is responsible for limiting the amount of construction load imposed upon structural framing. Construction loads shall not exceed the design capacity of the framing at the time the loads are imposed.
- The structure is designed to function as a unit upon completion. The contractor is responsible for furnishing all temporary bracing and/or support that may be required as the result of the contractor's construction methods and/or sequences.
- The contractor shall inform the professional of record in writing of any deviation from the contract documents. The contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.

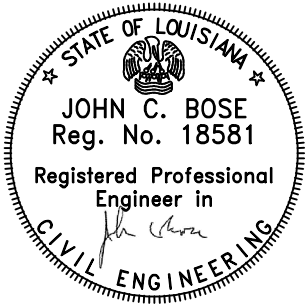
V. QUALITY CONTROL

- A. The following work requires inspections:

- Reinforcing Steel
- Concrete Placement
- CMU Piers and Walls
- Structural Steel
- Wood Framing

- B. No work shall be done without inspectors knowledge.

REVISIONS:



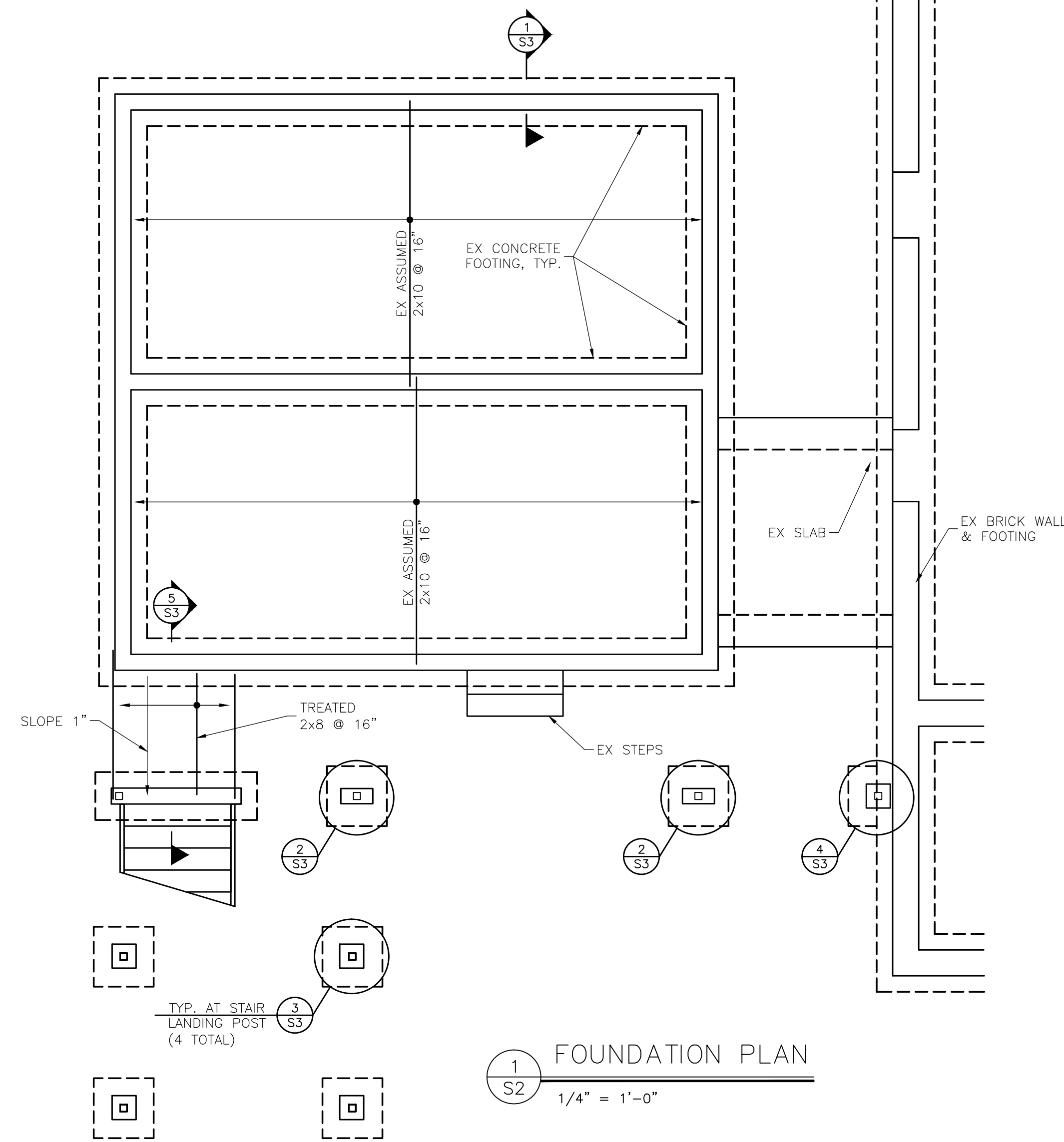
**JOHN C. BOSE, CONSULTING ENGINEER**  
**A PROFESSIONAL LIMITED LIABILITY COMPANY**  
2113 OCTAVIA STREET  
NEW ORLEANS, LOUISIANA 70115  
(504) 866-9941

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**323 OCTAVIA STREET**  
NEW ORLEANS, LA

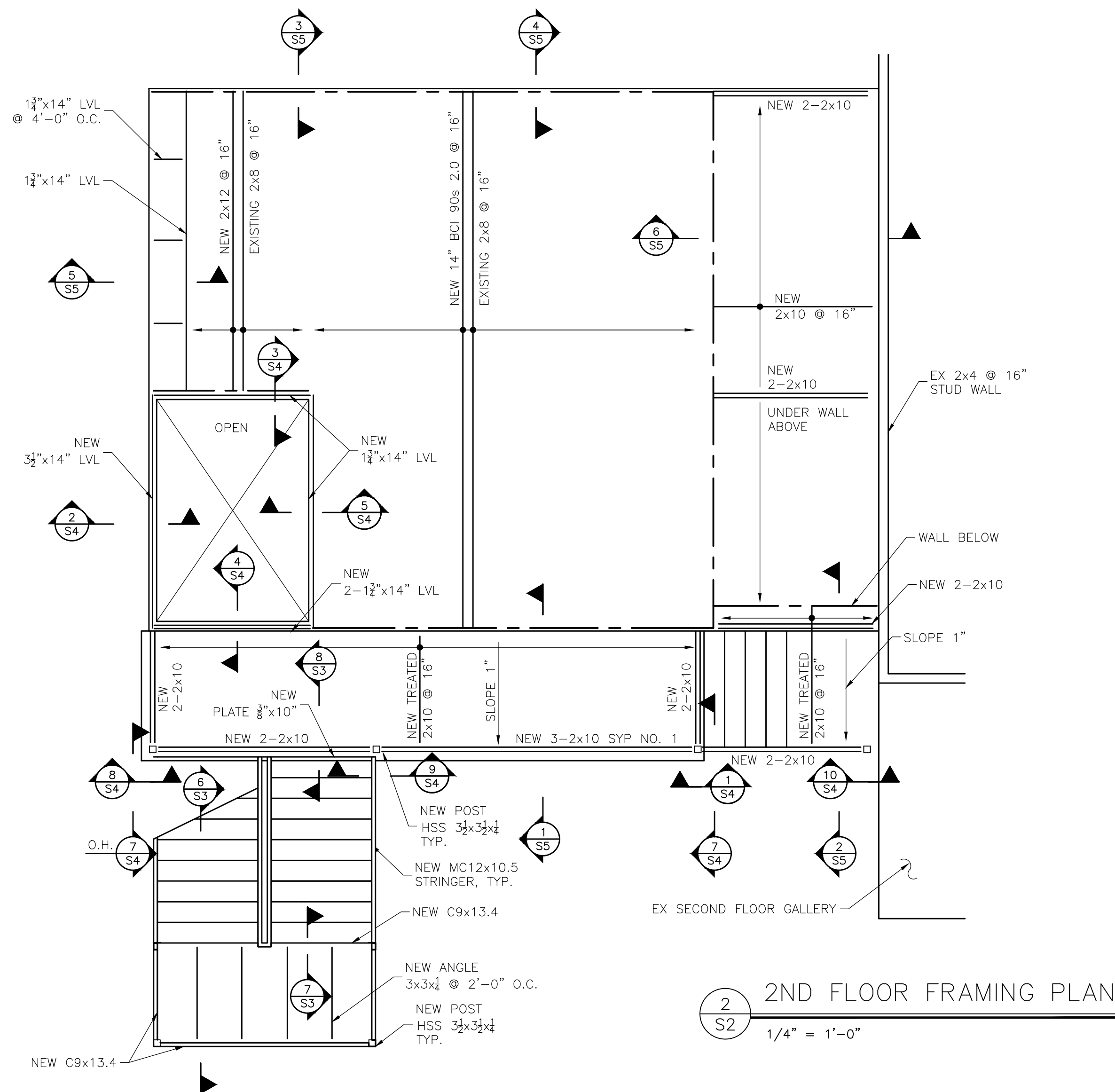
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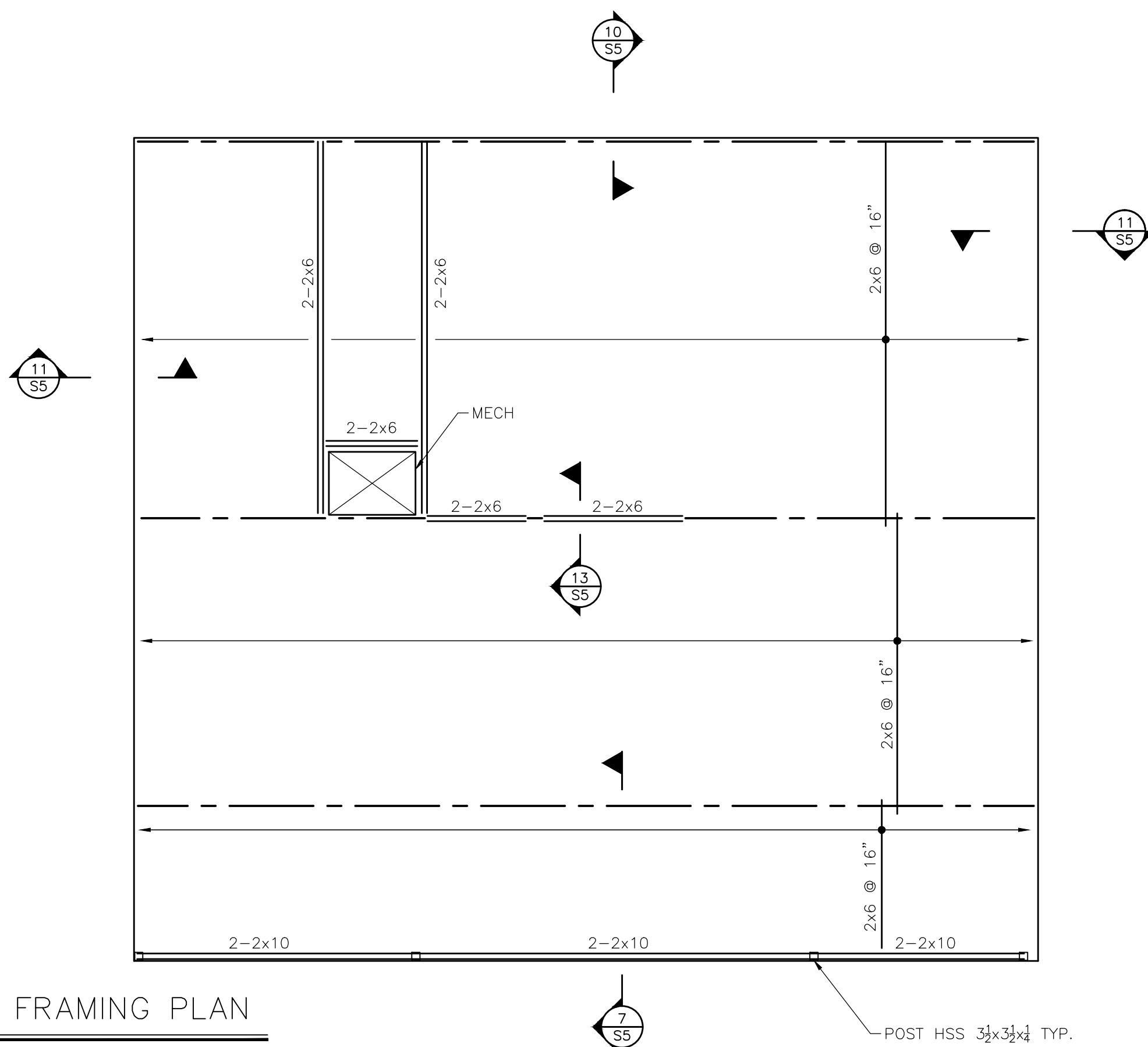




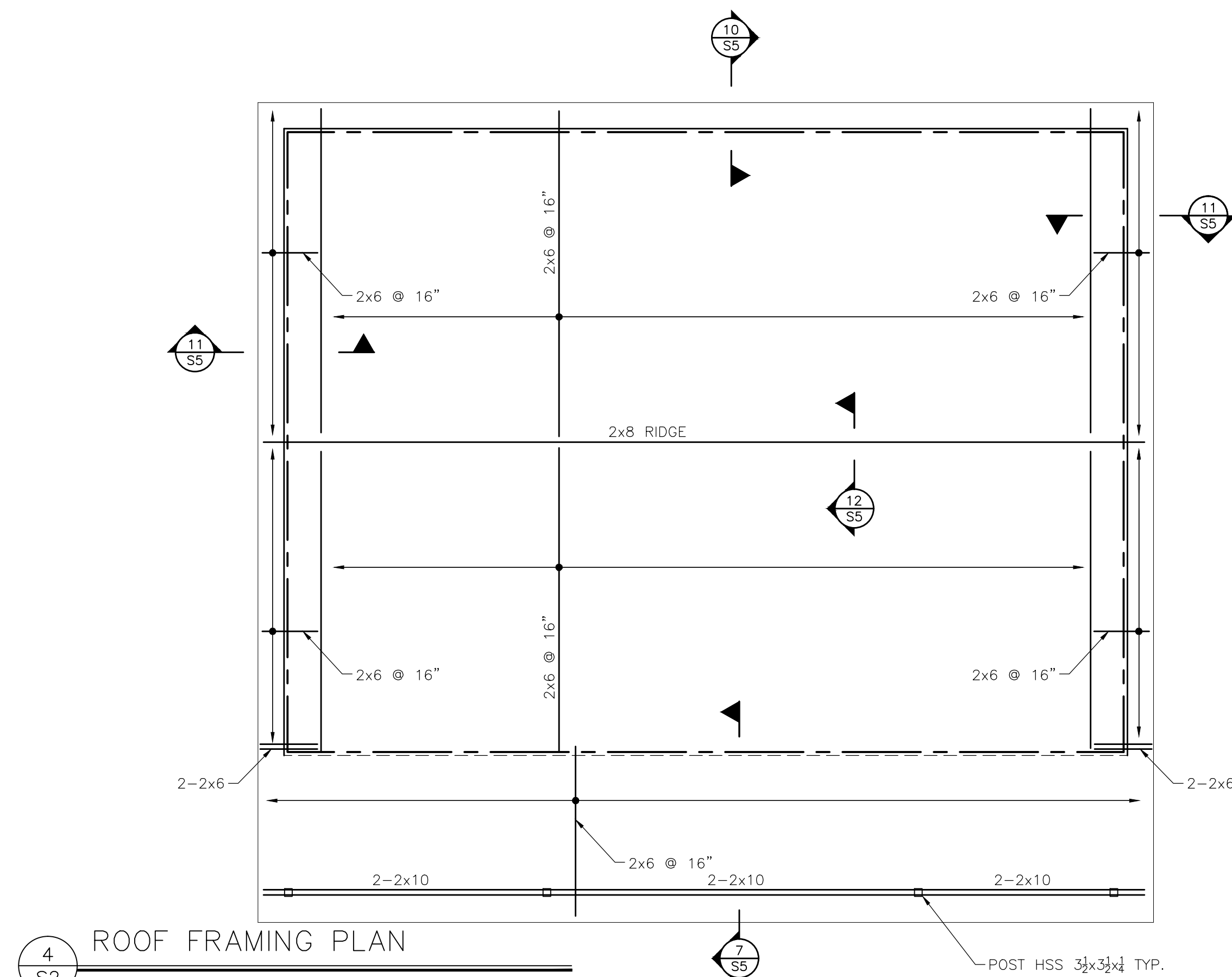
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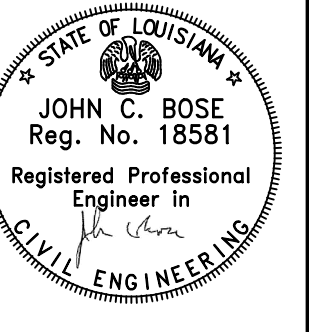


3  
S2  
2ND FLOOR CEILING FRAMING PLAN  
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4  
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ROOF FRAMING PLAN  
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REVISIONS:



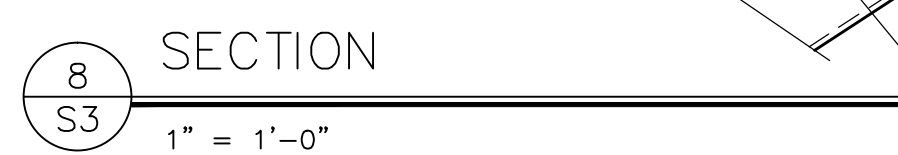
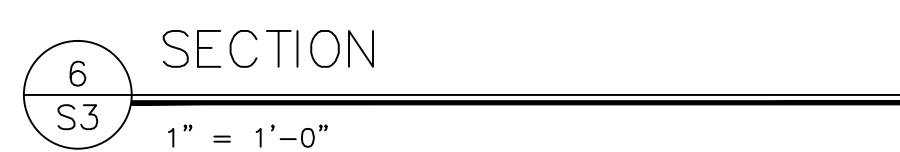
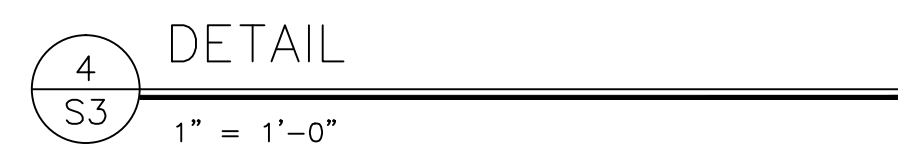
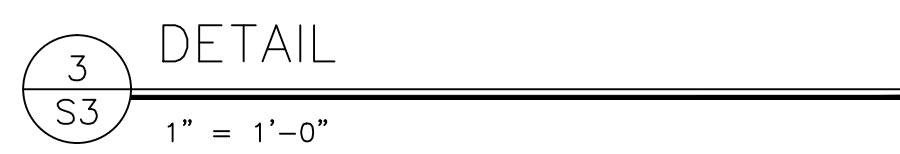
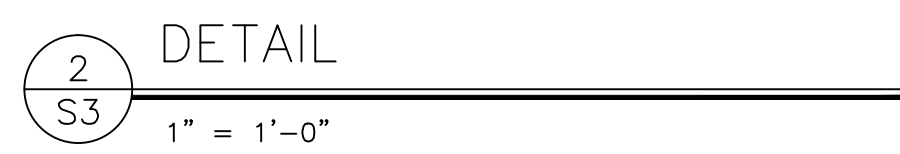
**John C. Bose**  
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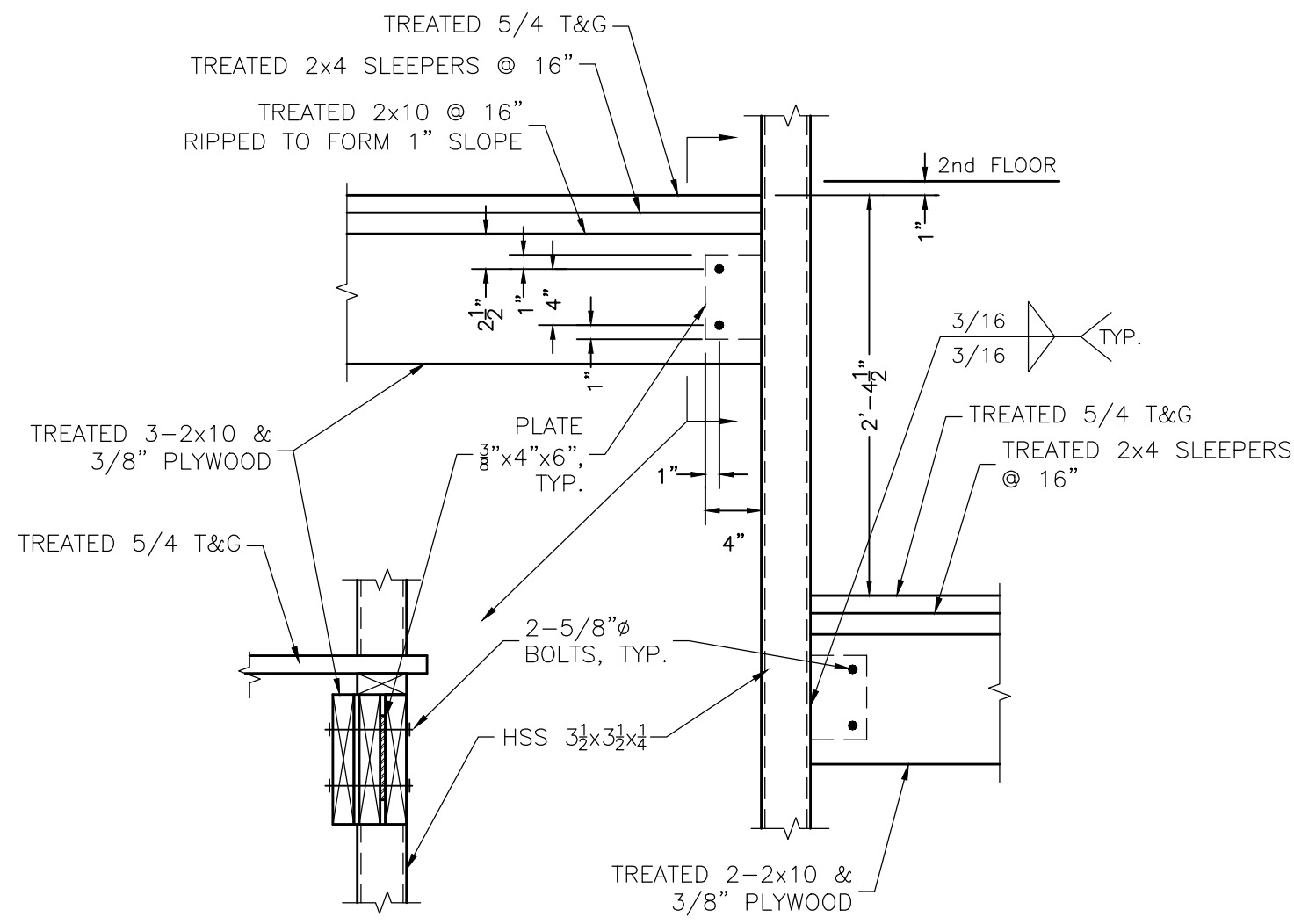
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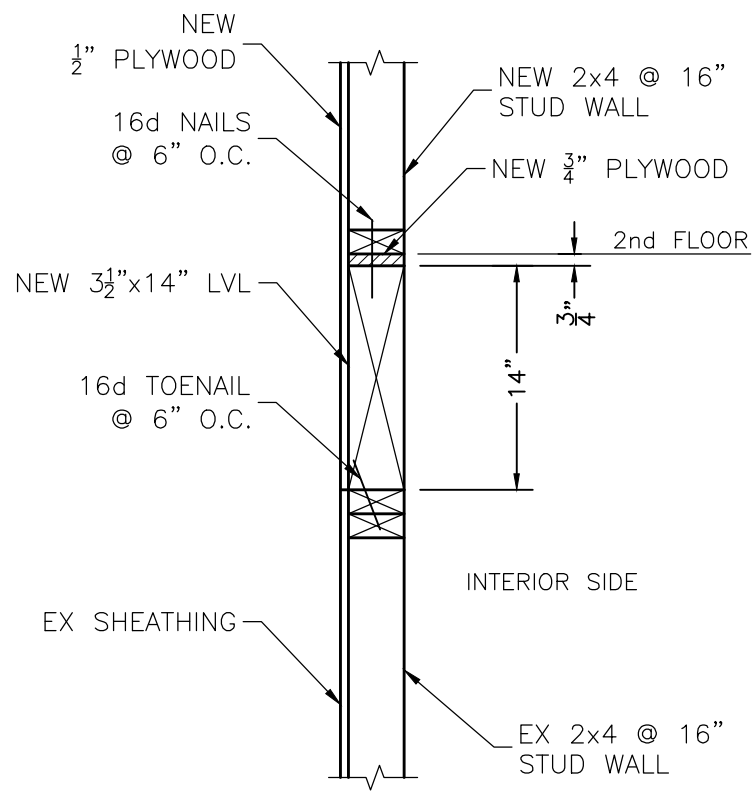


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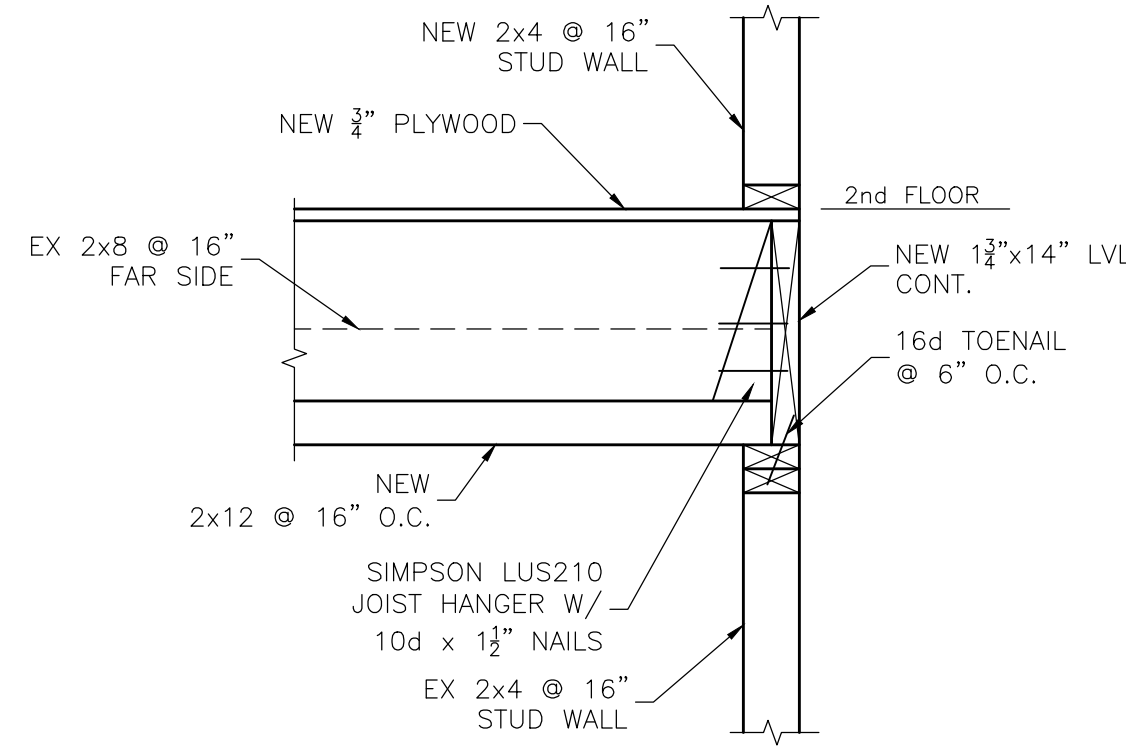




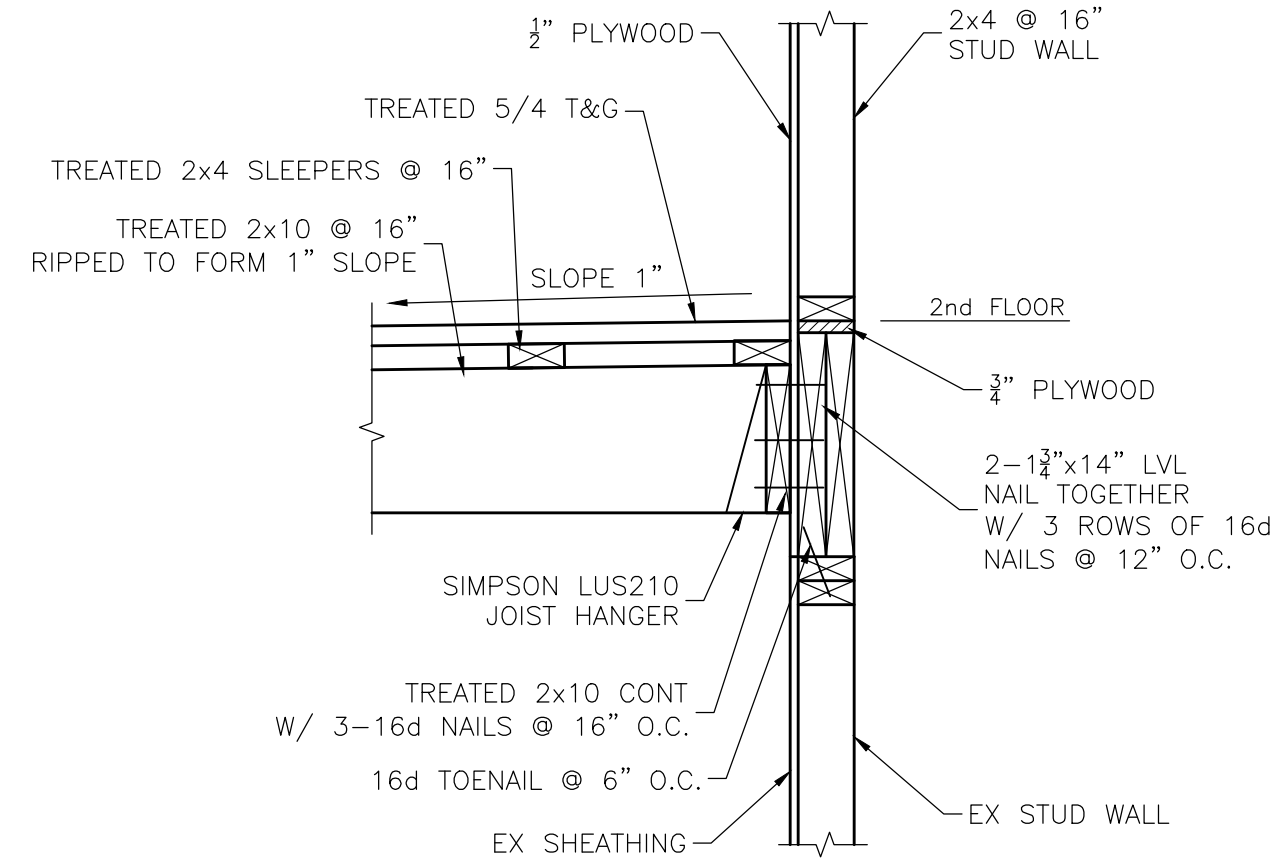
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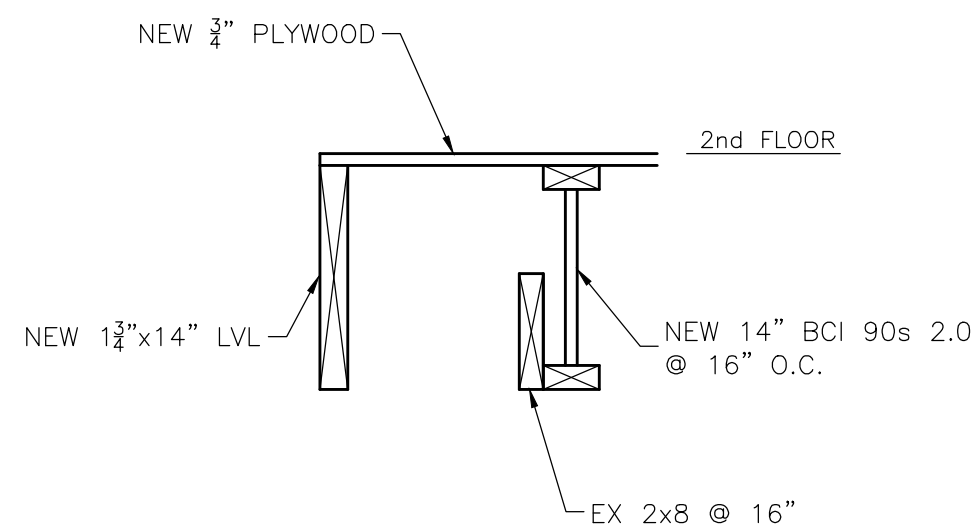
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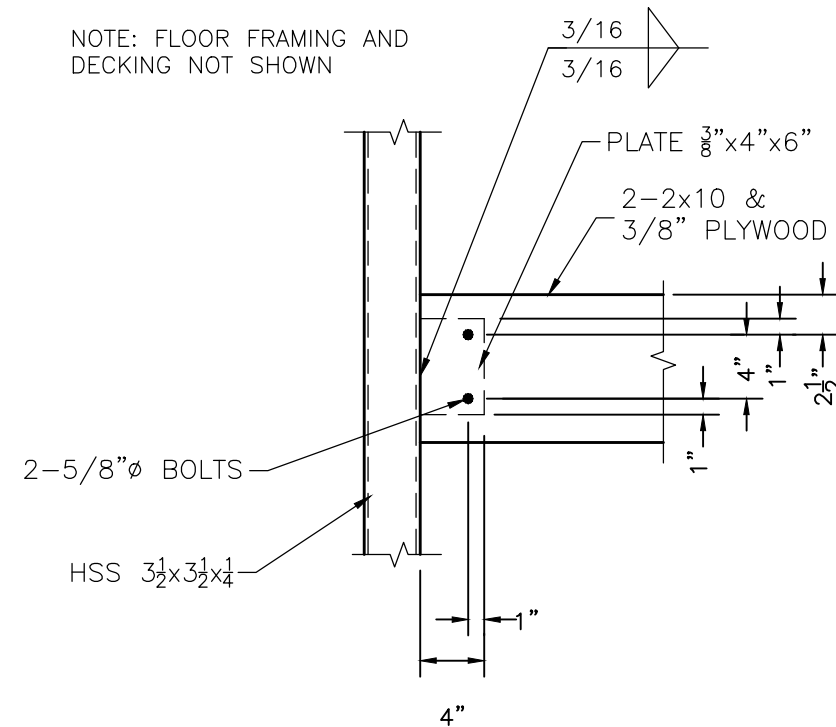
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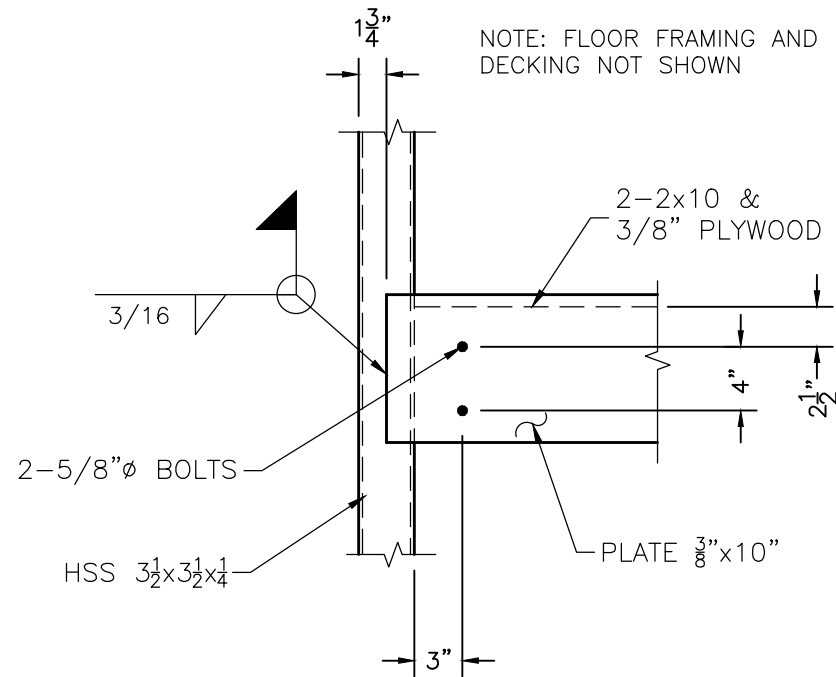
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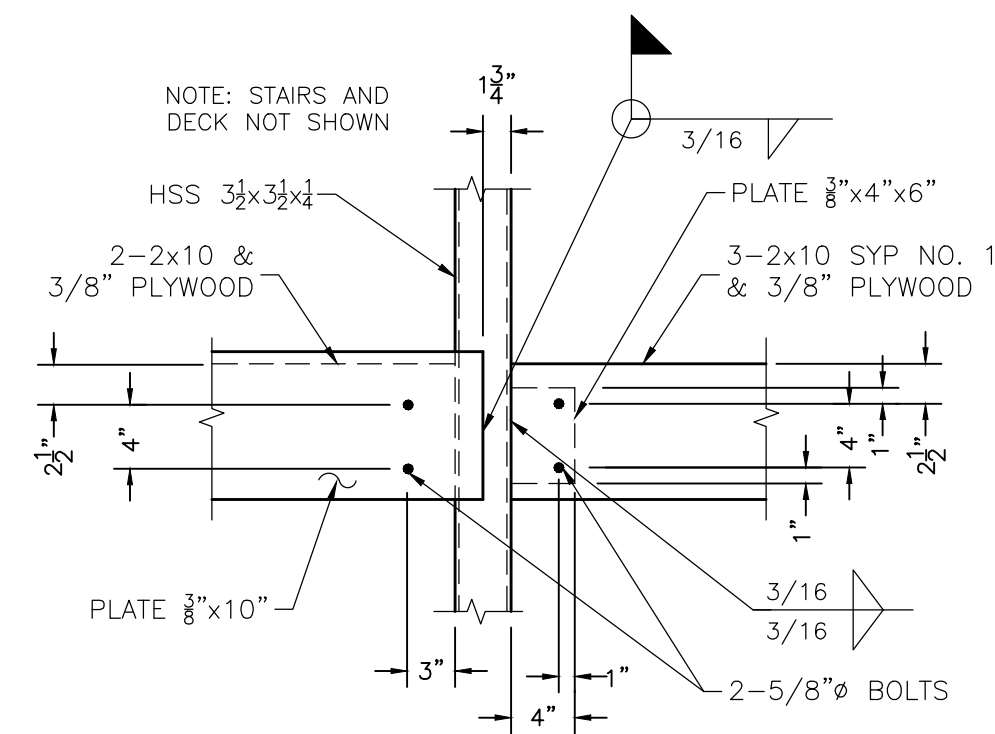
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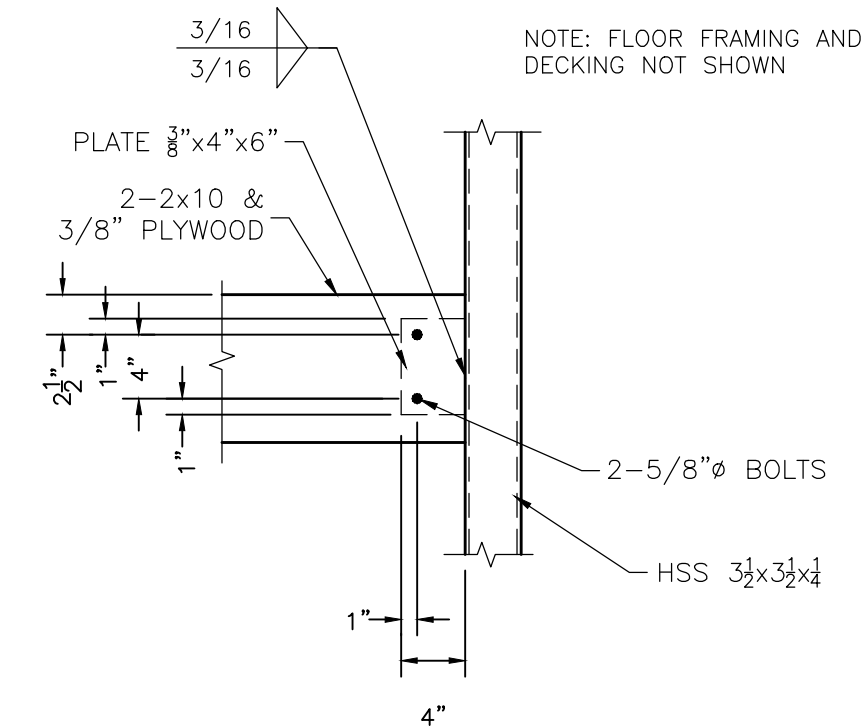
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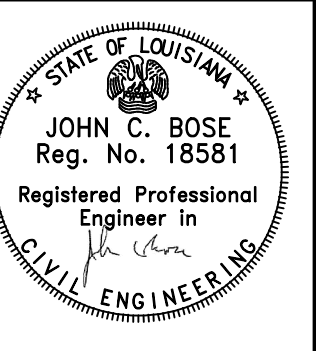


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9 SECTION  
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REVISIONS:

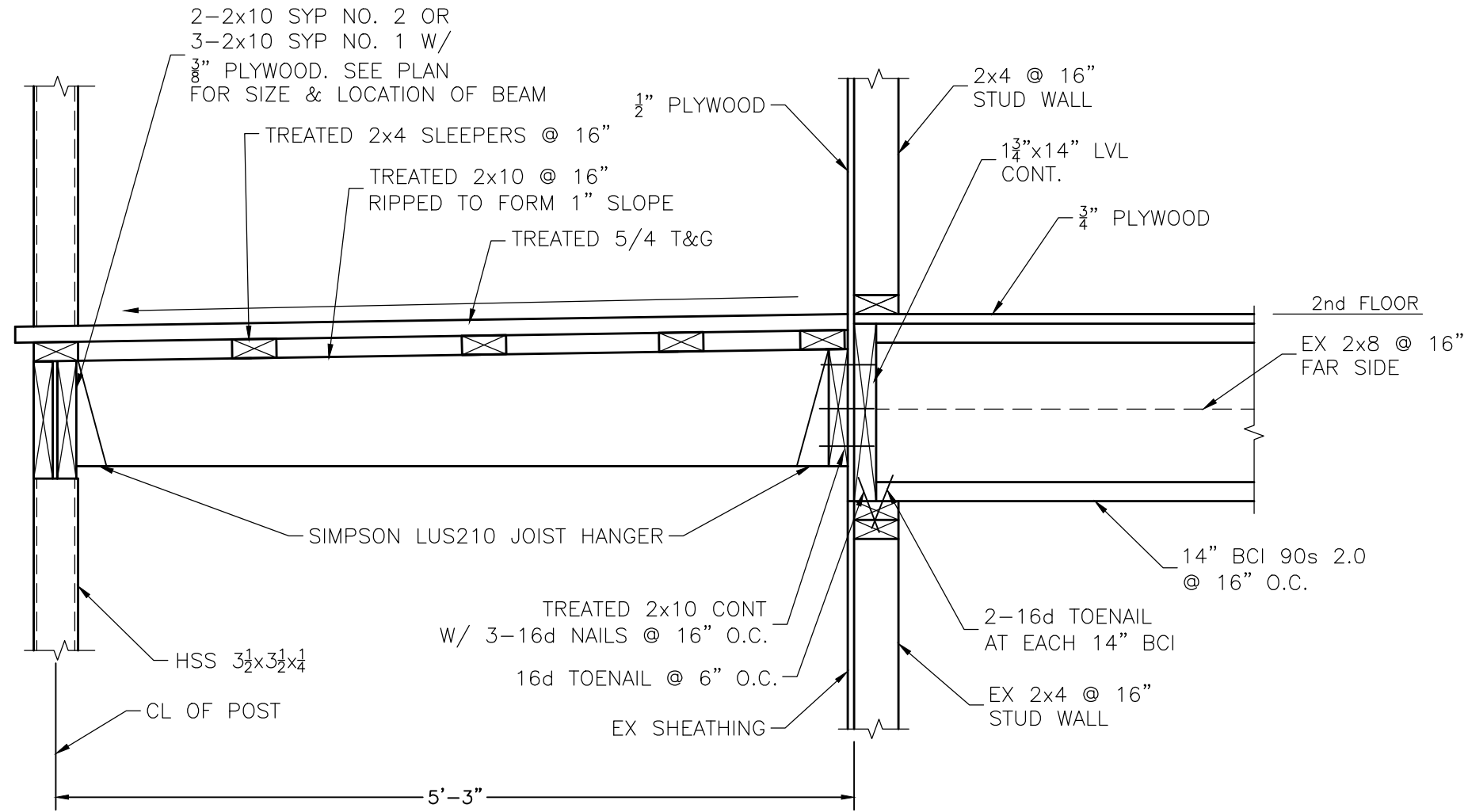


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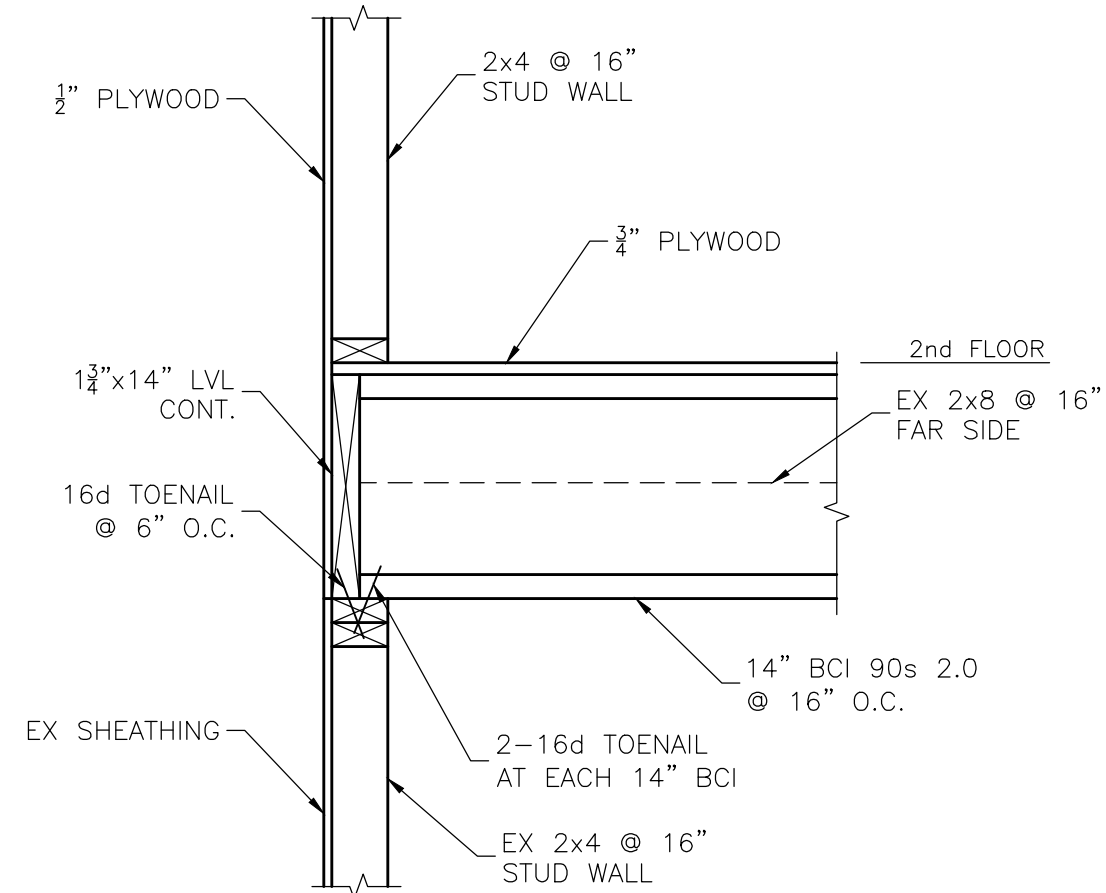
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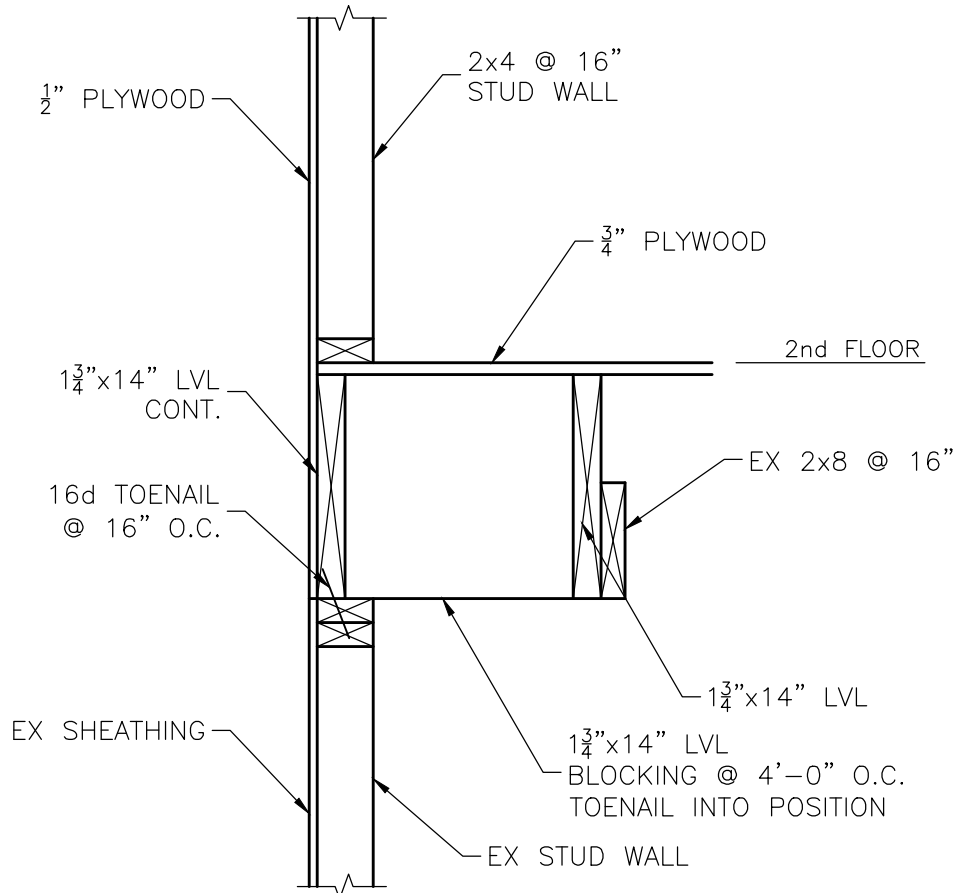
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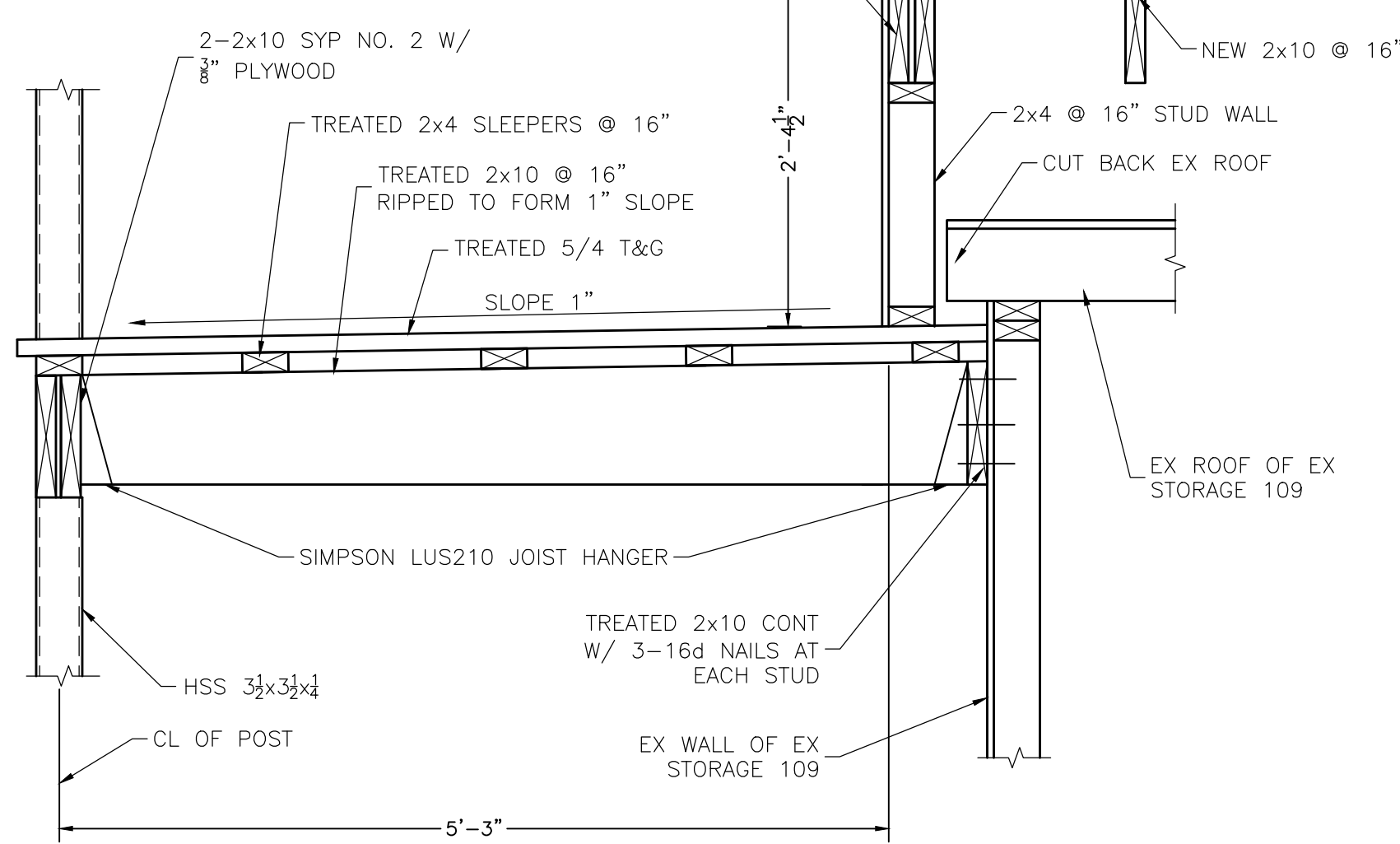
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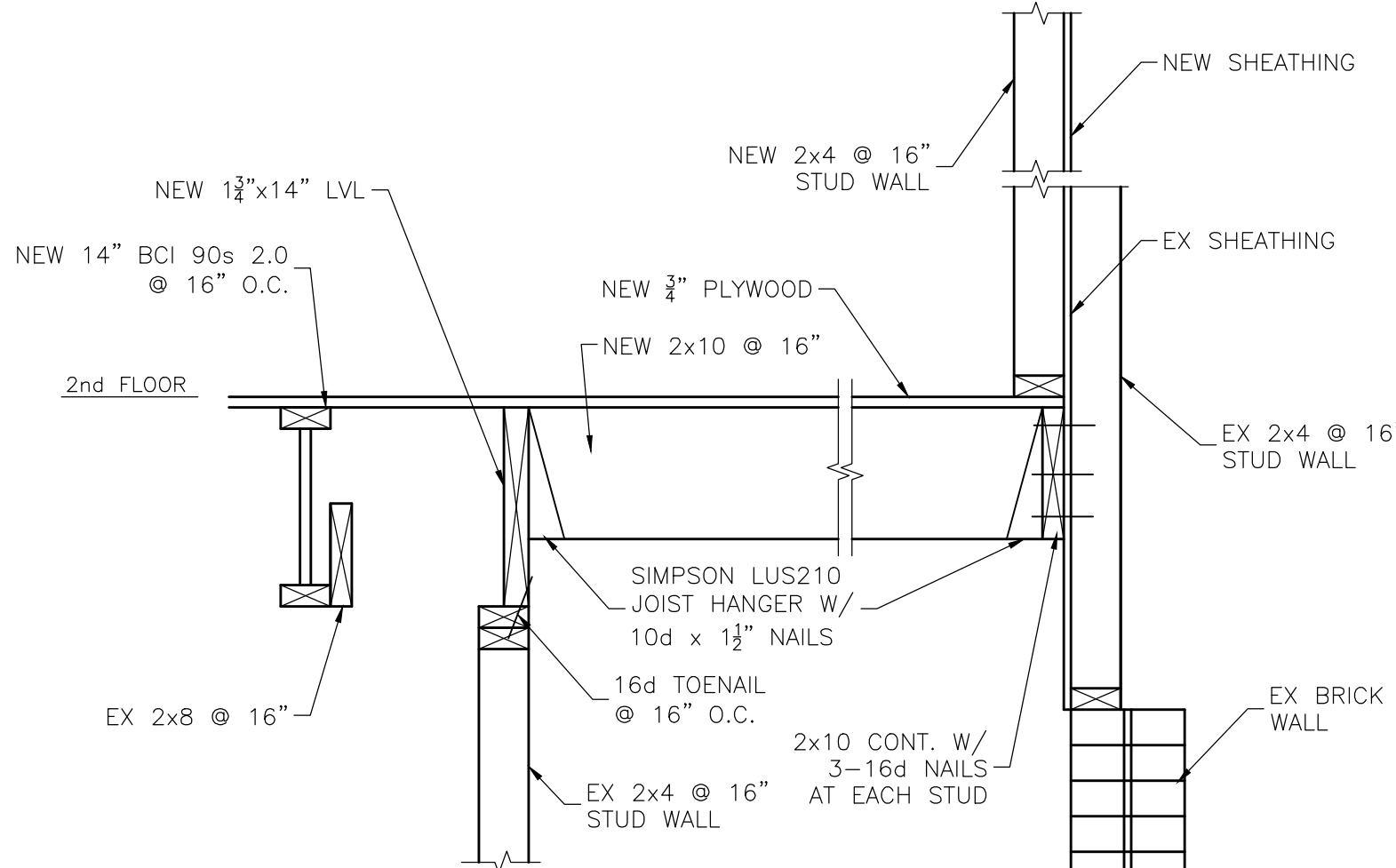
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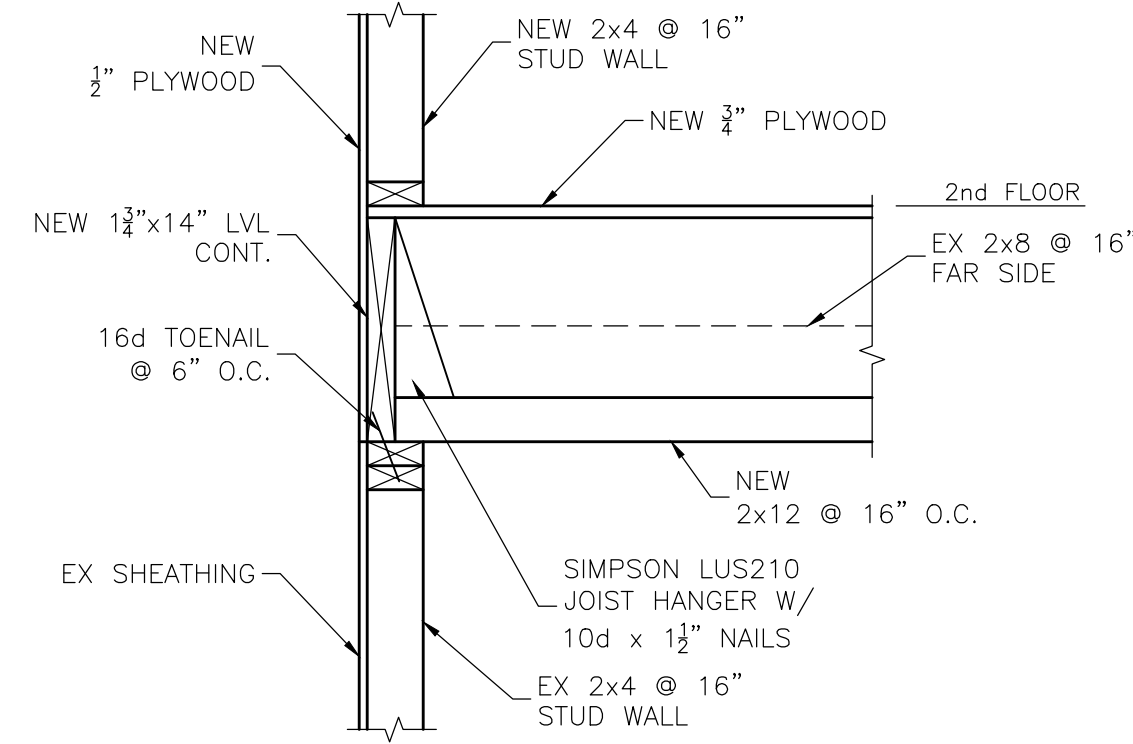
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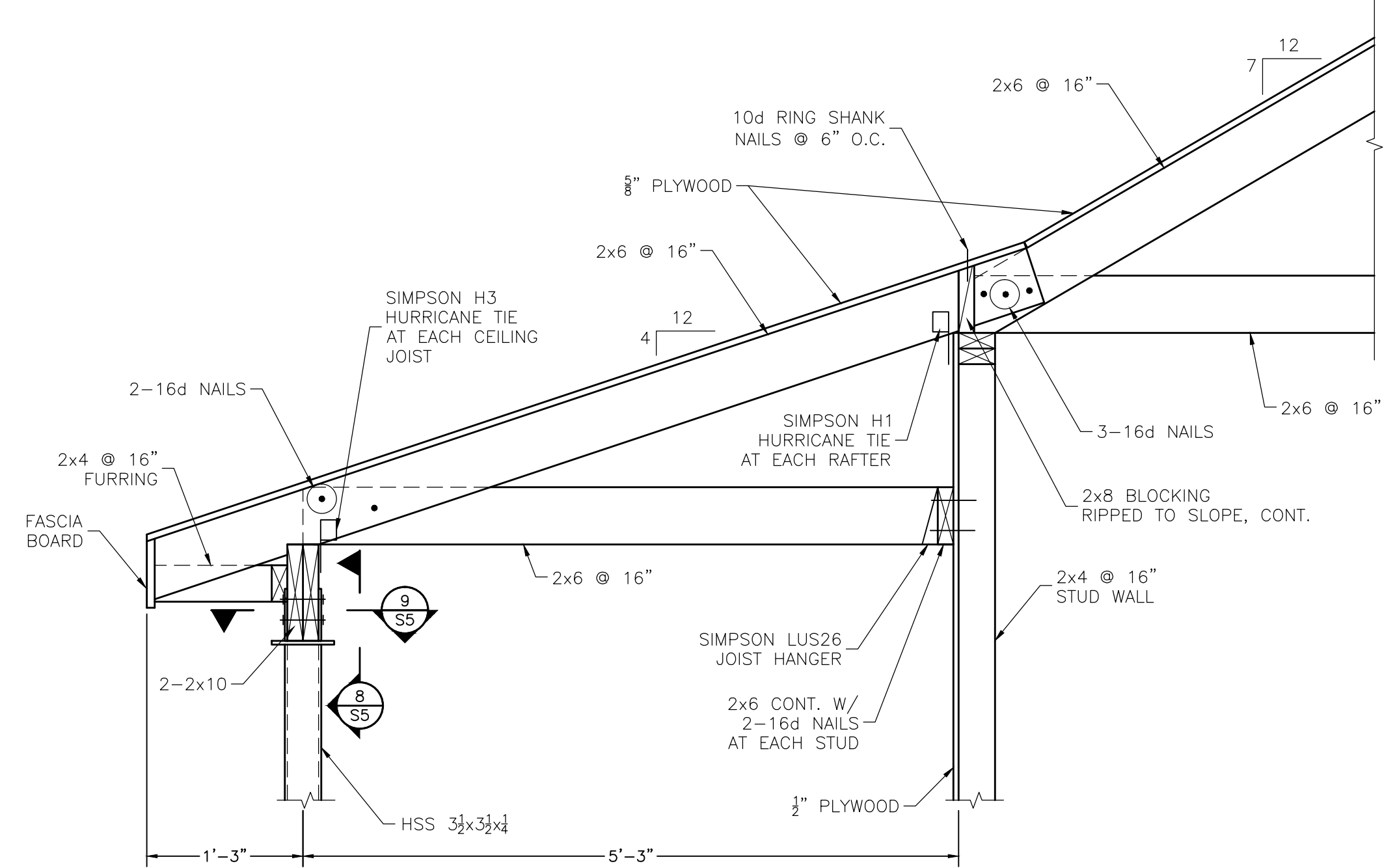
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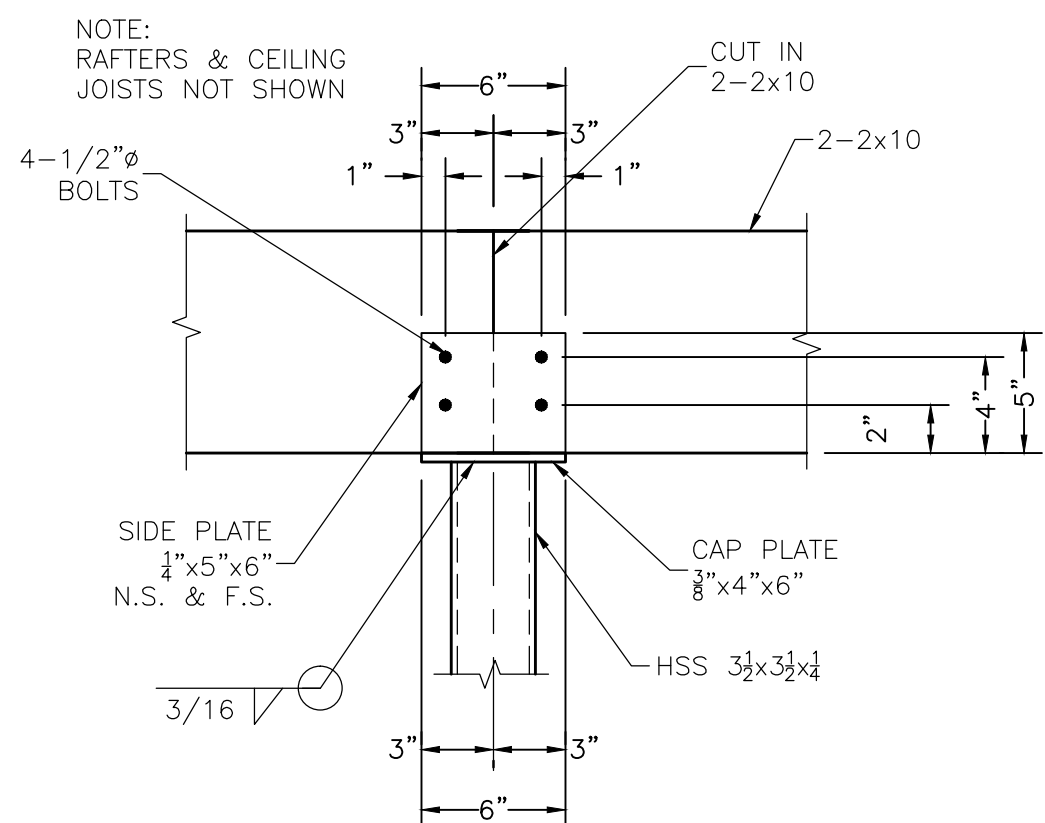
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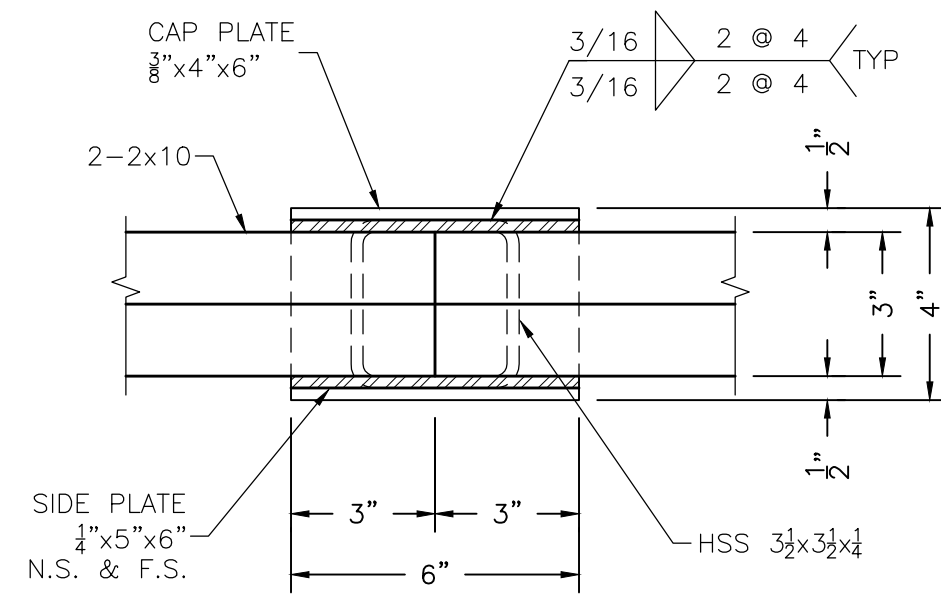
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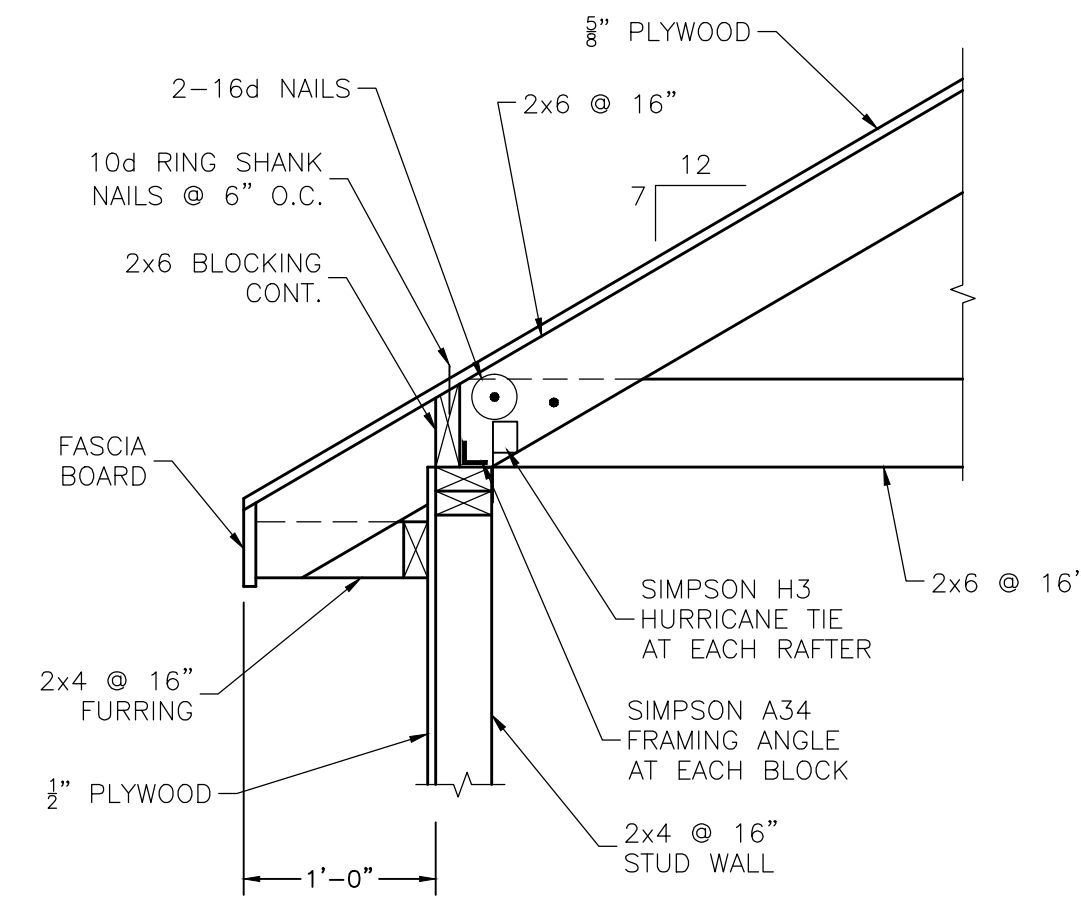
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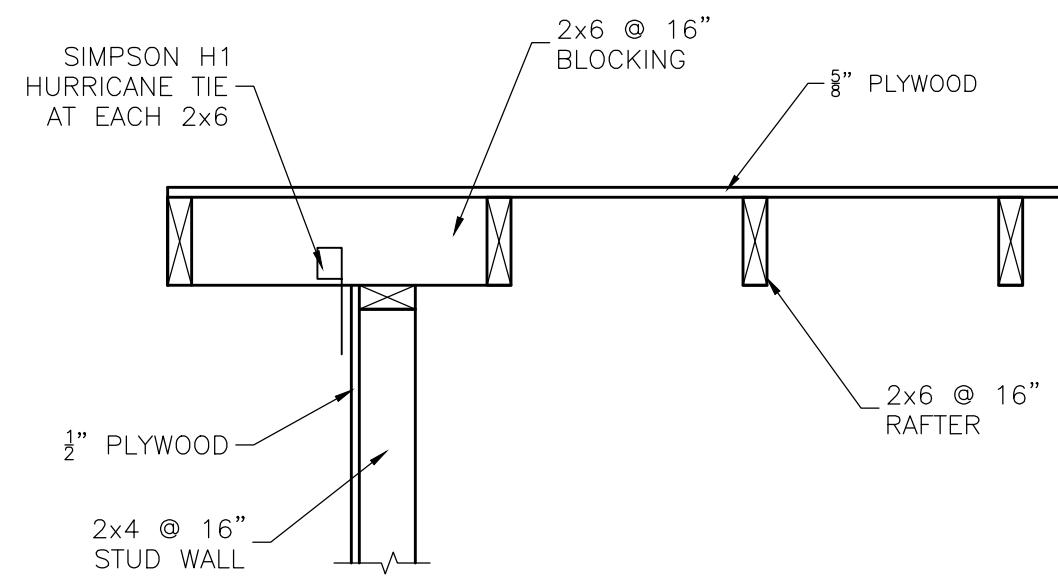
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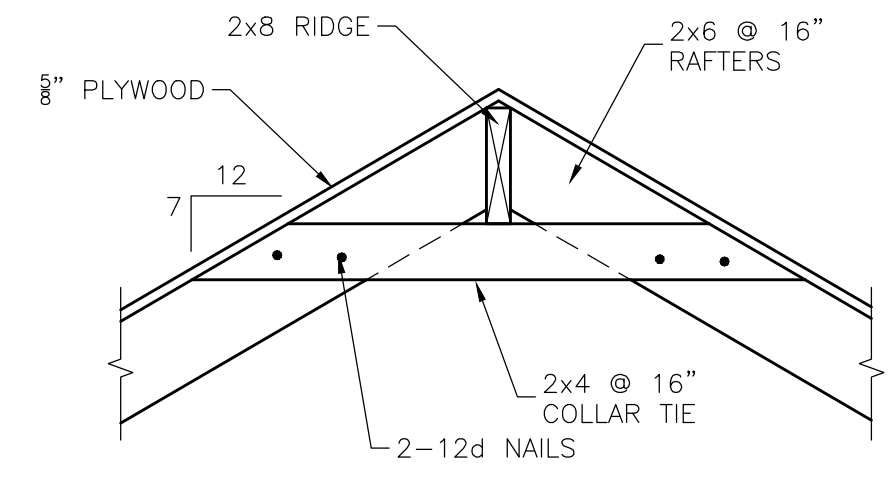
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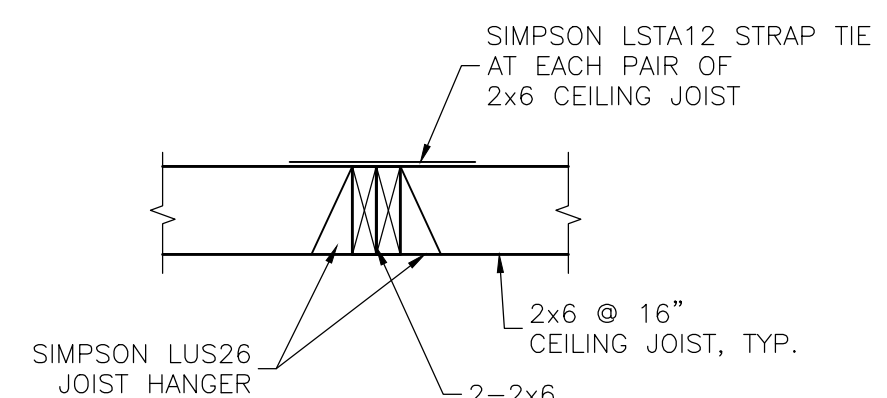
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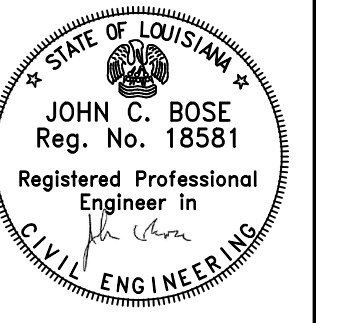


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REVISIONS:



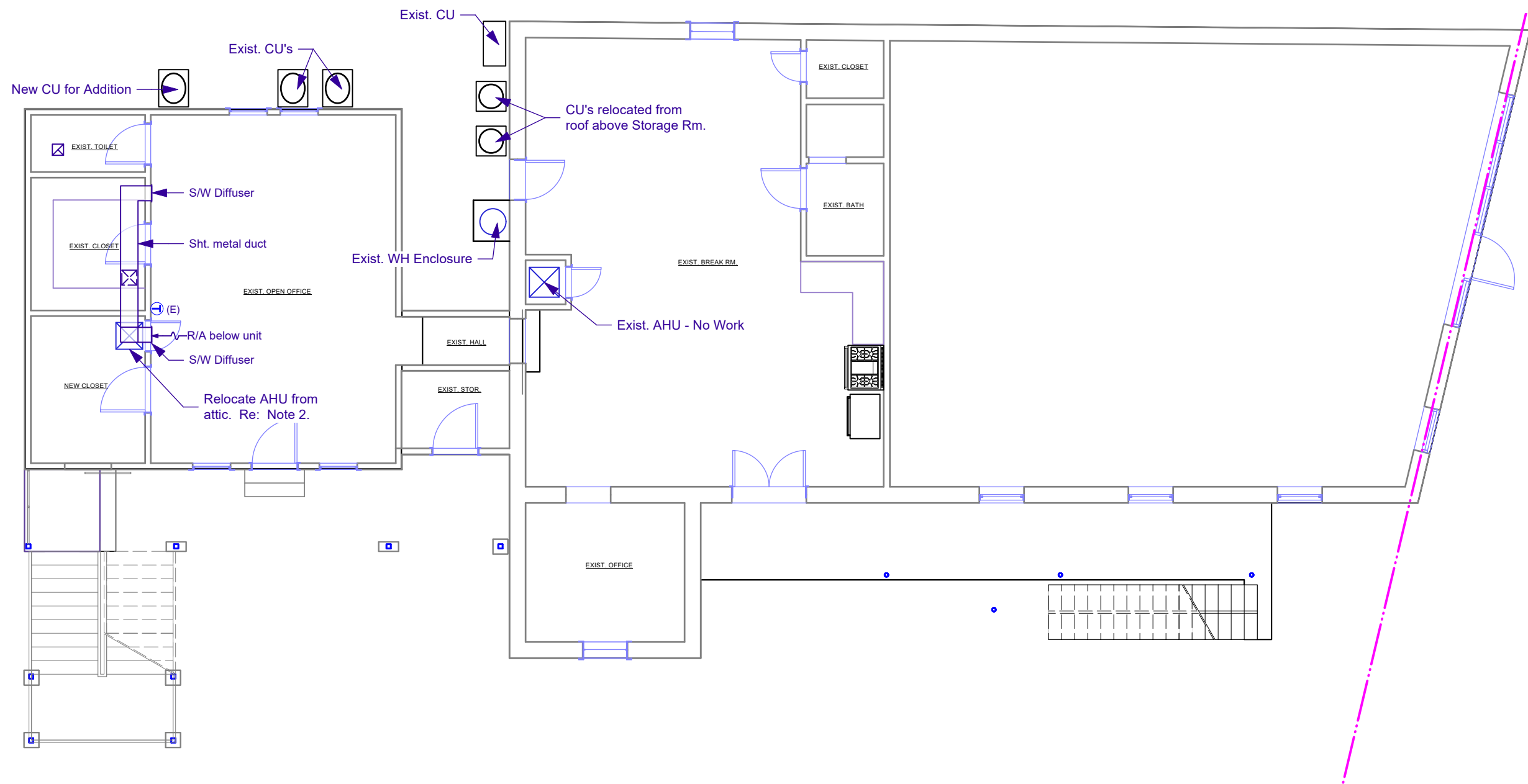
**John C. Bose**  
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ADDITION TO REGINELLI'S OFFICE  
323 OCTAVIA STREET  
NEW ORLEANS, LA

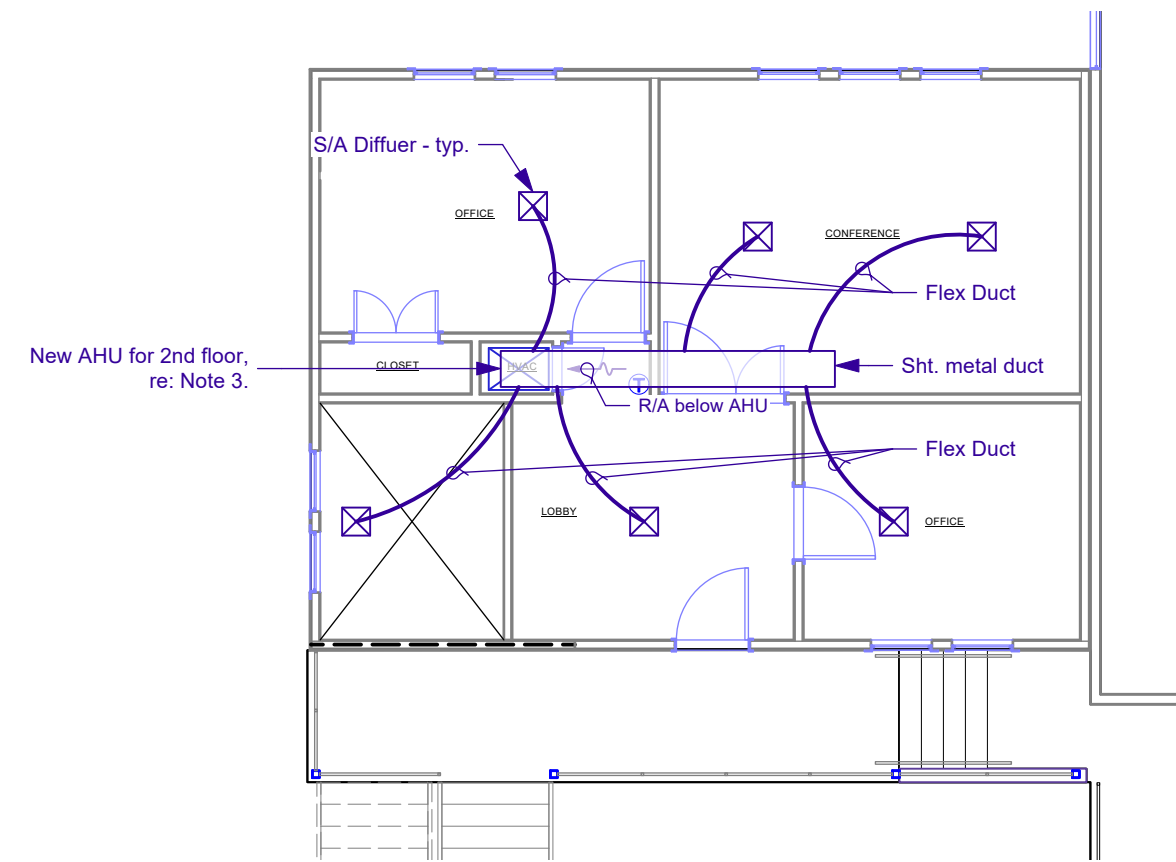
Date: 4/4/22  
Scale: AS NOTED  
Drafted: HVG  
Job No. 3637

S5  
5 of 5





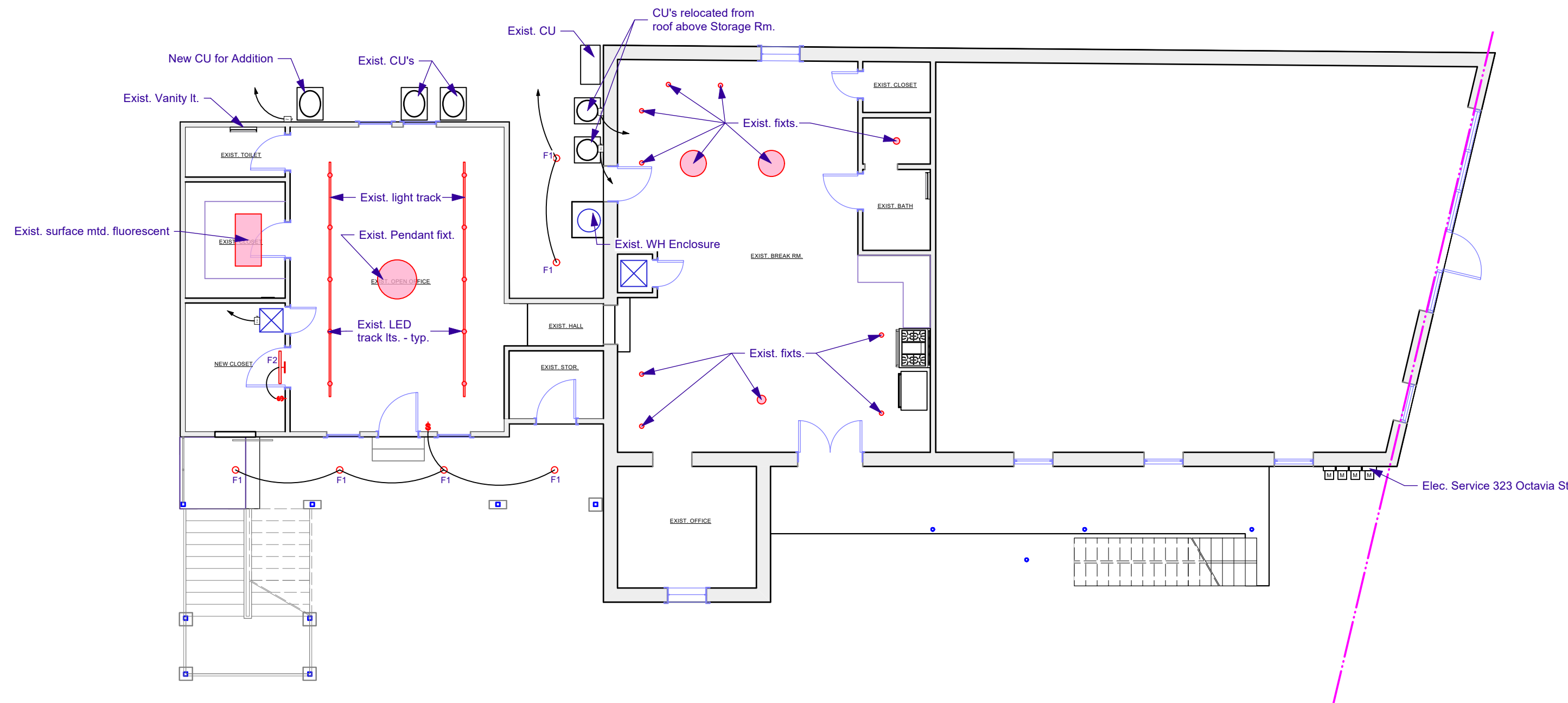
1 1ST FLOOR HVAC PLAN  
ME1.0 Scale: 1/8" = 1'-0"



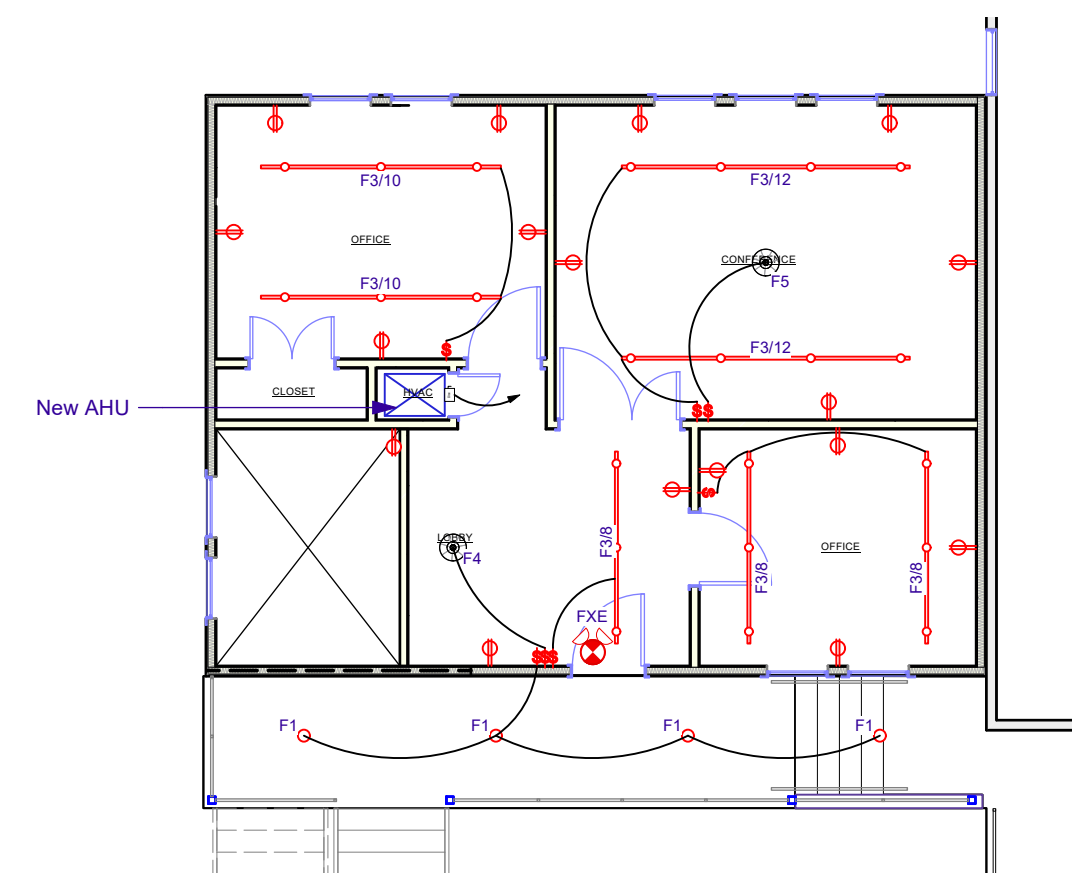
2 2ND FLOOR HVAC PLAN  
ME1.0 Scale: 1/8" = 1'-0"

#### HVAC PLAN NOTES

- All A/C equipment shall be installed in accordance with NFPA Bulletin 90A and with local authorities rules and regulations.
- 1st Floor H.V.A.C.: Relocate existing AHU from attic space that is scheduled to be removed. Provide sheet metal duct to feed S/A Diffusers. Maintain existing CFM's.
- 2nd Floor H.V.A.C.: Mech. Subcontractor to determine size of AHU/CU. Main S/A duct to be sheet metal w/ flex duct to each S/A diffuser. All S/A ductwork to be run in the attic space of 2nd floor addition.
- Mechanical Subcontractor shall perform Manual J-Load calculations to determine size of new 2nd floor unit.
- All equipment will be installed as per manufacturer's specifications.
- All ducts shall be constructed in accordance with SMACNA manual for low pressure ductwork or as per ASHRAE guide.
- Metal gauges as per SMACNA recommendations.
- All rectangular duct to be lined with 1" fiberglass, 1-1/2 lb. density with full coat adhesive.
- Flexible duct connections to fan-coil units.
- Flexible round duct to be class I, UL 181 listed. Wrap with 2" fiberglass with vapor seal.
- When required, smoke detectors will be installed to stop the fan in HVAC duct systems larger than 2000 cfm.
- Each return air duct will have a 125 degree firestat to stop fan.
- Fire dampers will be installed in all outside air ducts.
- Each take-off will have a manual damper.
- Safe pan under each fan-coil unit.
- Refrigerant lines sized as per manufacturer's recommendations.
- Suction lines and condensate drain lines to be insulated with 1/2" Rubbertex, or approved equivalent.



3 1ST FLOOR ELECTRICAL PLAN  
ME1.0 Scale: 1/8" = 1'-0"



4 2ND FLOOR ELECTRICAL PLAN  
ME1.0 Scale: 1/8" = 1'-0"

#### ELECTRICAL PLAN NOTES

- All electrical work shall comply with NFPA 70, National Electrical Code.
- Comply with local and state codes, OSHA requirements, and national electrical code.
- All equipment, material, wire, switches and devices must be U.L. approved for service intended.
- All wiring to be done by a licensed contractor. No sub-licensing will be allowed.
- All wiring to be copper.
- All receptacle circuits up to 100'-0" shall utilize #12 conductors minimum. All receptacle circuits from 101'-0" to 150'-0" in length utilize #10 conductors minimum. All receptacle circuits from 151'-0" to 250'-0" in length utilize #8 conductors minimum. Circuits above 251'-0" shall utilize #6 conductors minimum.
- Existing electrical service is existing to remain.
- All A/C condensers and air handlers (new & existing) to have visible means to disconnect (fused).
- Contractor to coordinate with the Owner location of all Telephone jacks and Data outlets.
- All electrical outlets to be mounted @ 18" a.f.f., unless otherwise noted.
- Verify with Owner location of all electrical outlets and switches prior to rough-in.
- Electrical contractor shall make all final connections as required for a fully complete and operable system.
- All receptacles to be mounted vertically, not horizontally.

#### LIGHT FIXTURE TYPES

- F1: Recessed 4 inch diameter LED downlight.
- F2: Wall Mounted LED utility light.
- F3: Pendant Mounted Light track with length in feet (F4/12'). Match existing track on 1st floor. Number of fixtures (LED) to be determined by the Owner.
- F4: Pendant LED fixture for Lobby. Furnished by the Owner.
- F5: Pendant LED fixture for Conference. Furnished by the Owner.
- FXE: Existing combination Exit/Emergency light w/ battery pack.

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Designed By	GNK
Drawn By	GNK
Checked By	GNK
Reviewed By	GNK
Submitted By	GNK
Project Manager	GNK

Project Title	ADDITION TO: REGINELLI'S OFFICES 323 OCTAVIA ST. NEW ORLEANS, LA 70115
Project No.	H.V.A.C. PLANS; ELECTRICAL PLANS

Scale	AS NOTED
Sheet No.	ME1.0 of 19