

DWG. NO.	
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A3	ELEVATIONS
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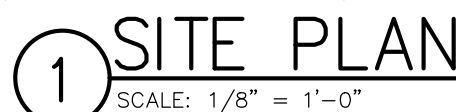
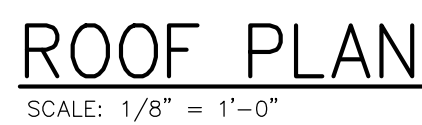
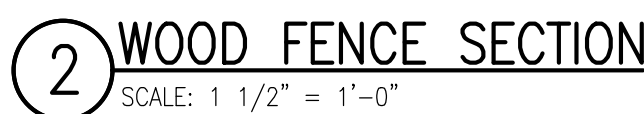
1. ALL WORK SHALL BE DONE IN COMPLIANCE W/ THE INTERNATIONAL RESIDENTIAL CODE 2015, AIA-A201, GENERAL CONDITIONS TO THE CONTRACT FOR CONSTRUCTION, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, ALL MANUFACTURER'S INSTRUCTIONS/RECOMMENDATIONS, AND ALL OTHER APPLICABLE CODES.
2. DO NOT SCALE DWGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT IMMEDIATELY TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION. PRIOR TO FRAMING ANY WALLS OR ANY ROUGH-IN WORK, PROVIDE PAINTED LAYOUT OF ALL WALLS ON ACTUAL FLOOR FOR FULL REVIEW BY ARCHITECT/ OWNER. ARCHITECT MUST SIGN-OFF/APPROVE LAYOUT PRIOR TO WORK BEGINNING.
3. VERIFY ALL SITE UTILITIES PRIOR TO BEGINNING THE WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
4. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED BY ALL GOVERNING AGENCIES.
5. THE SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCING WORK. A SITE VISIT PRIOR TO BID IS MANDATORY.
6. THE CONTRACTOR WILL REMOVE ALL RUBBLE & DEBRIS FROM THE JOB SITE AND LEAVE THE BUILDING & GROUNDS CLEAN UPON COMPLETION OF WORK.
7. THE CONTRACTOR SHALL, BEFORE STARTING THE WORK, SECURE WORKMANS' COMPENSATION AND LIABILITY INSURANCE FROM AN INSURANCE COMPANY AUTHORIZED TO WRITE POLICIES IN LOUISIANA.
8. BUILDER'S RISK INSURANCE SHALL BE OBTAINED BY THE OWNER.
9. VERIFY ALL SITE DIMENSIONS AND PROPERTY LINE LOCATIONS PRIOR TO BEGINNING THE WORK. BEING ALL DISCREPANCIES TO THE ATTENDANCES TO THE ARCHITECT BEFORE PROCEEDING W/ THE WORK, (CONSULT LICENSED SURVEYOR TO LOCATE BUILDING LINES AND ELEVATIONS)
10. SHOP DRAWING AND SUBMITTAL REVIEW/APPROVAL IS MANDATORY FOR THIS PROJECT. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE OWNER/CONSULTANT TO ENSURE PROPER OVERSIGHT AND FINAL REVIEW TO ENSURE SYSTEM COORDINATION BETWEEN SYSTEMS (MANDATORY)
11. AS WORK OF A SEPARATE CONTRACT, THE OWNER/CONTRACTOR HAS EMPLOYED ENGINEERING CONSULTANTS TO DESIGN MECH, PLUMBING, AND ELECTRICAL SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY OF THESE SYSTEMS IN THIS WORK AND IT IS NOT PART OF THE ARCHITECT'S WORK SHOP. THE ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITIES FOR THIS ENGINEERING DESIGN / WORK, ITS IMPLEMENTATION/PERFORMANCE, OR ITS ASSOCIATED EFFECTS ON THE ARCHITECTURAL SYSTEMS.
12. THE ARCHITECT WILL NOT PERFORM ANY CONSTRUCTION ADMINISTRATION SERVICES ON THIS PROJECT AND WILL NOT BE HELD RESPONSIBLE/LIABLE FROM ANY ACTIONS OR CIRCUMSTANCES PERFORMED DURING OR AS A RESULT OF CONSTRUCTION WORK BEING PERFORMED. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE/LIABLE FOR ANY WORK CONSTRUCTED NOT IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS.
13. THE OWNER SHALL EMPLOY A LICENSED AND INSURED GENERAL CONTRACTOR TO PERFORM ALL WORK FOR THIS PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR SUB-CONTRACTORS COORDINATION
14. THE ARCHITECT SHALL BE DEEMED AS THE AUTHOR AND OWNER OF THE INSTRUMENTS OF SERVICE (DRAWINGS AND SPECIFICATIONS) AND AS THE ACTION TO FOLLOW LAW AND RIGHTS OF THE INSTRUMENTS OF SERVICE (DRAWINGS AND SPECIFICATIONS) WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT SHALL BE STRICTLY PROHIBITED.

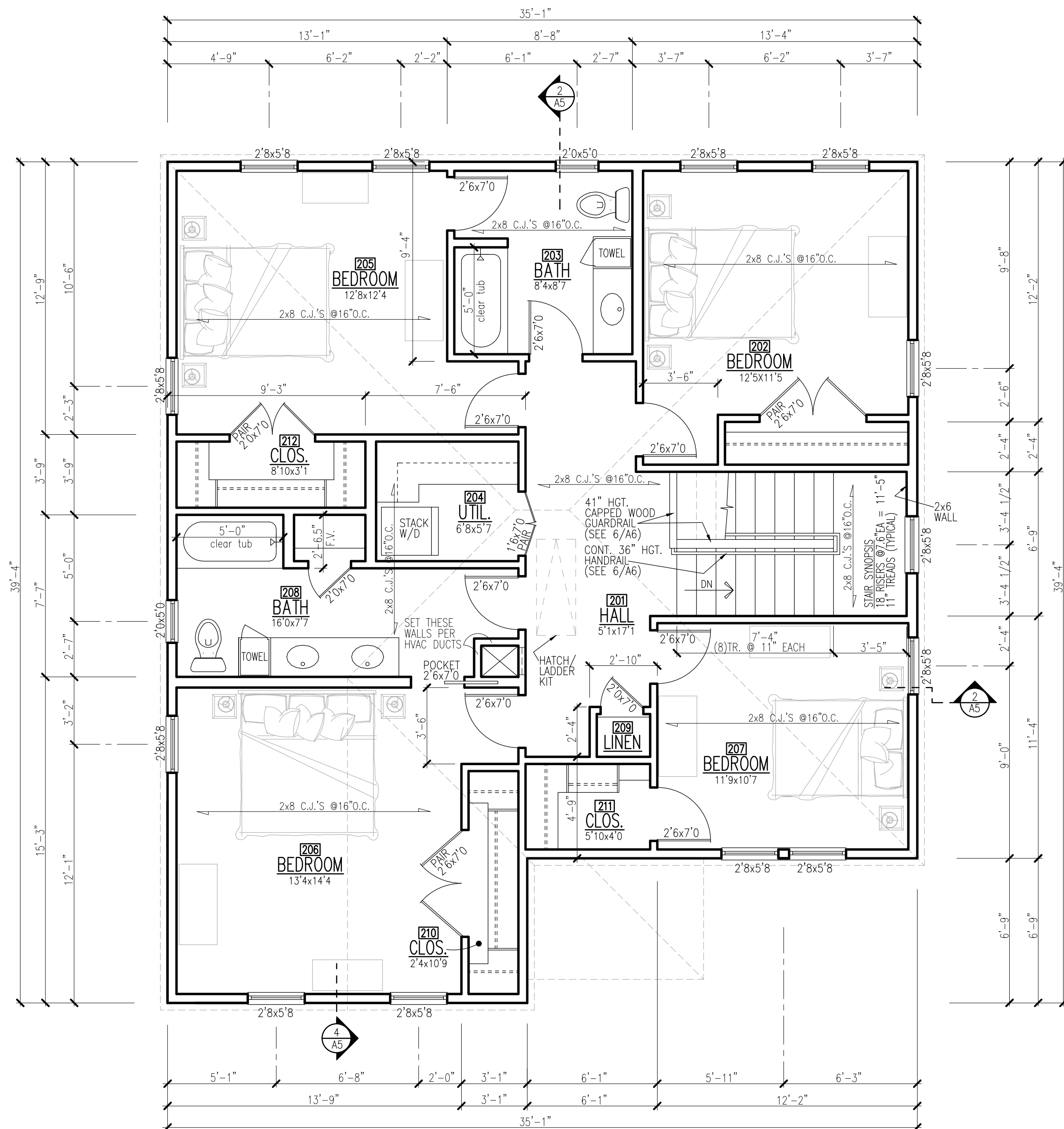
1. FLOORS
 - A. WOOD FLOORS – ALL AREAS OF WOOD FLOORS SHALL BE SET ON 2 1/4"W x 3/4" THICK TONGUE AND GROOVE NO. 2 GRADE OAK LAID ON SOLB FELT. IT SHALL BE SANDED SMOOTH AND RECEIVE 3 COATS OF POLYURETHANE SEALER/FINISH TO THE SATISFACTION OF THE OWNER. (ACCUMULATE AS PER THE RECOMMENDATIONS OF THE N.W.F.A.) (ARCHITECT ASSUMES NO LIABILITY FOR CUPPING/WARPING FLOORS)
 - (PROVIDE FINISHED "HUMIDITY TESTING" RESULTS OF SUB-FLOOR AND FINISHED FLOOR TO ARCHITECT/OWNER & DEMONSTRATE N.W.F.A. HUMIDITY ACCUMULATION COMPLIANCE PRIOR TO PROCEEDING WITH THE WORK. MANDATORY)
- B. STONE AND TILE FLOORS – ALL STONE AND TILE FLOORS SHALL BE SET ON A THIN-SET BED THE UNDERLAYMENT SHALL BE A 1/2" CEMENTITIOUS
TILE BACKER BOARD SCREWED TO THE SUB-FLOOR AT 6"O.C.
(INSTALL BACKER BOARD AS PER MFR'S REQUIREMENTS)
ALL STONE SHALL RECEIVE 2 COATS OF STONE SEALER

2. WALLS AND CEILINGS
 - A. PTD. GYP. BOARD WALLS – ENTIRE HOUSE SHALL RECEIVE NEW 1/2" PAINTED GYPSUM BOARD FINISHED TO LEVEL 3 STANDARDS (SMOOTH – NO TEXTURE) (ROLLED – NOT SPRAYED). THEY SHALL RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF INTERIOR LATEX PAINT (HIGH-END SHERWIN WILLIAMS OR EQUAL). ALL WALLS SHALL BE FLAT EXCEPT BATHROOM WALLS SHALL BE EGGSHELL. SUBMIT PAINT TYPE TO OWNER FOR APPROVAL.
 - B. TILE/STONE WALLS – ALL STONE AND TILE WALLS SHALL BE INSTALLED ON A THIN-SET BED ON A 1/2" CEMENTITIOUS BACKER BOARD. STONE WALLS SHALL RECEIVE 2 COATS OF STONE SEALER.
(INSTALL BACKER BOARD AS PER MFR'S REQUIREMENTS)
 - C. PAINTED WOOD TRIM – ALL INTERIOR TRIM TO BE PAINTED SHALL BE PAINT GRADE POPLAR. IT SHALL RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF SEMI-GLOSS PAINT. (HIGH-END SHERWIN WILLIAMS OR EQUAL)
3. INSULATION
 - A. ALL EXTERIOR WALLS SHALL RECEIVE NEW R-13 (2x6 WALLS – R-19) PAPER FACED FIBERGLASS BATT INSULATION W/ INTEGRAL MILING FLANGES. THE SECOND FLOOR CEILING SHALL RECEIVE NEW R-30 PAPER FACED FIBERGLASS BATT INSULATION. CRAWL SPACE TO RECEIVE FOIL-FACED R-13 POLYSTYRENE BD. (INSTALL AS PER MFR'S DIRECTIONS)
4. WINDOWS
 - A. ALL WINDOWS ON THE BUILDINGS SHALL BE DOUBLE HUNG EXTERIOR GRADE VINYL WINDOWS WITH INSTALLATION FLANGE (TAPED AND SEALED) (INSTALL PER MFR.) (GUARANTEED WATER-TIGHT)
 - B. ALL WINDOW MANUFACTURERS AND MODELS SHALL BE REVIEWED AND APPROVED BY THE OWNER/ARCHITECT PRIOR TO INSTALLATION.
5. DOORS AND HARDWARE
 - A. ALL INTERIOR DOORS SHALL BE 1 3/8" THK ASSUED WOOD 6 PANEL WOOD DOORS. (PTD.) (3 HINGES PER LEAF)
 - B. ALL EXTERIOR DOORS SHALL BE PTD. SPANISH CIDER (1 3/4" THK) PTD. WOOD W/ FULL INSULATED TEMPERED OR LAMINATED GLASS PANEL (3 HINGES PER LEAF). THE FRONT ENTRANCE DOORS SHALL BE SELECTED BY THE OWNER PRIOR TO PURCHASE.
 - C. ALL DOOR MANUFACTURERS AND MODELS SHALL BE APPROVED BY THE OWNER/ARCHITECT PRIOR TO THE INSTALLATION.
 - D. PROVIDE ALLOWANCE FOR PURCHASE OF NEW DOOR HINGES, BOLTS, STRIKES, HANDLES, LOCKS AND WEATHER STRIPPING, ETC. CONTRACTOR SHALL INCLUDE INSTALLATION IN BASE CONTRACT. COORDINATE ALL KEYING AND LOCKING W/ OWNER.
7. GENERAL WORK SCOPE:
 - ALL NEW PLUMBING, HVAC, ELECTRICAL SYSTEM, AND SMOKE DETECTION SYSTEM SHALL BE PART OF THE WORK. ENGINEERING FOR THESE SYSTEM IS WORK TO BE PROVIDED BY OTHERS. (NOT IN ARCHITECTS DESIGN SCOPE)

MINIMUM PERMEABLE OPEN SPACE 20% OF LOT AREA

LOT N, O, P; SQUARE NO. 557
FIRST DISTRICT
CITY OF NEW ORLEANS
ORLEANS PARISH, LA





SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR	1163	SQ. FT.
SECOND FLOOR	1257	SQ. FT.
<hr/> TOTAL CONDITIONED	2420	SQ. FT.

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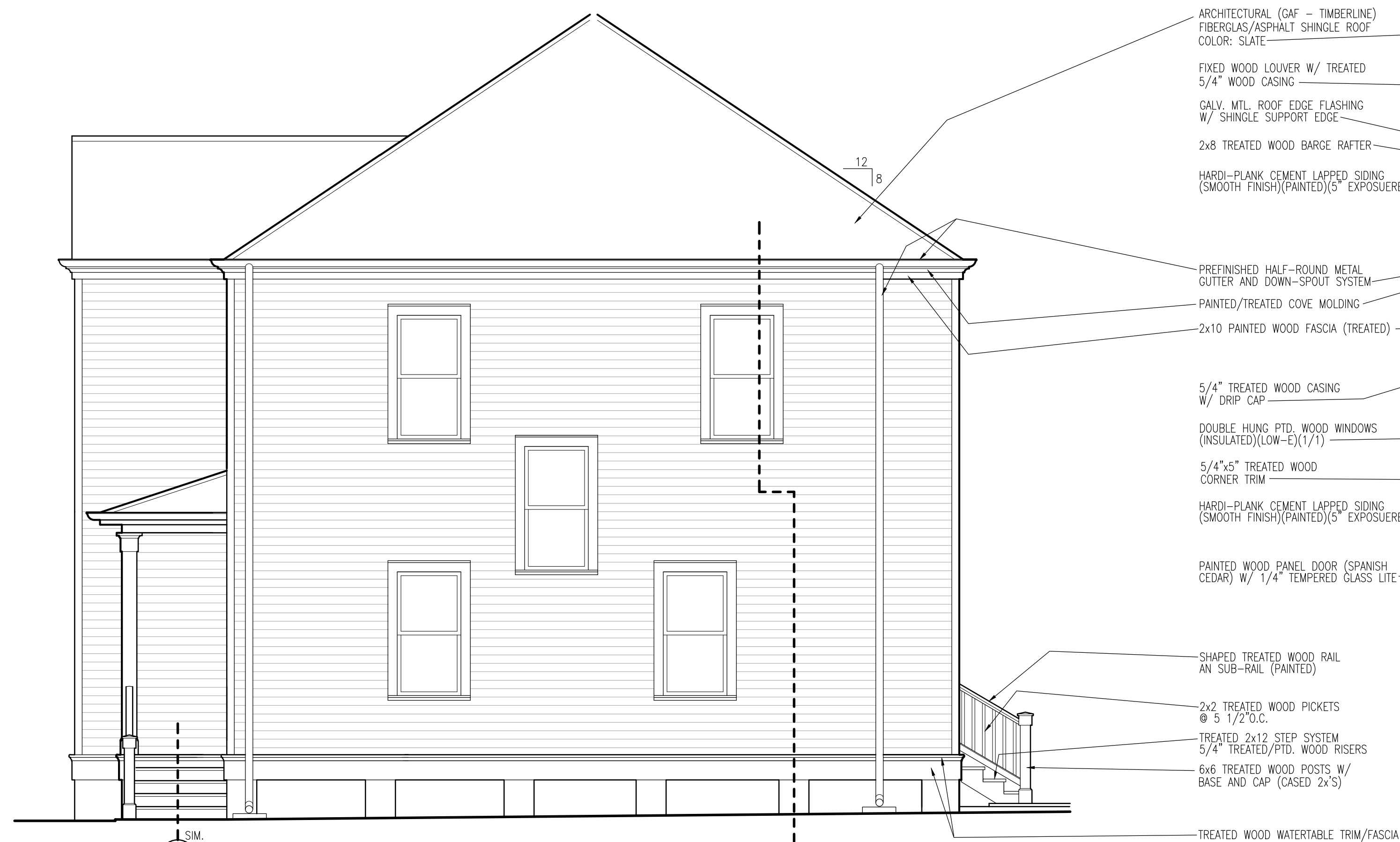
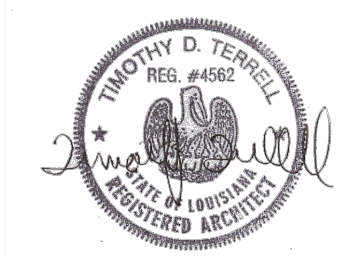
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NEW RESIDENCE
2407 GRAVIER STREET
NEW ORLEANS, LOUISIANA

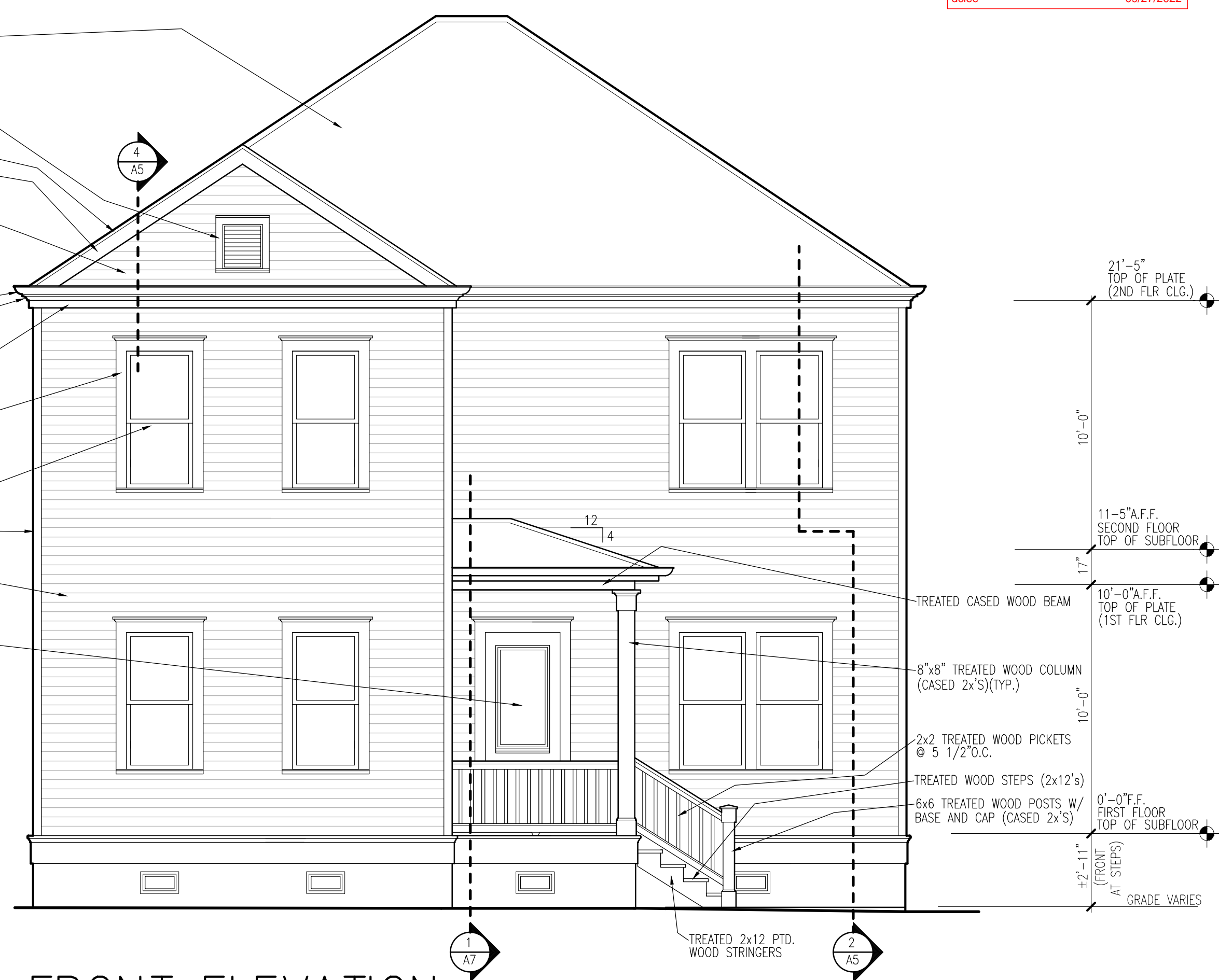
NO.	REVISONS
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JOB NO.:	

A2

SHEET OF

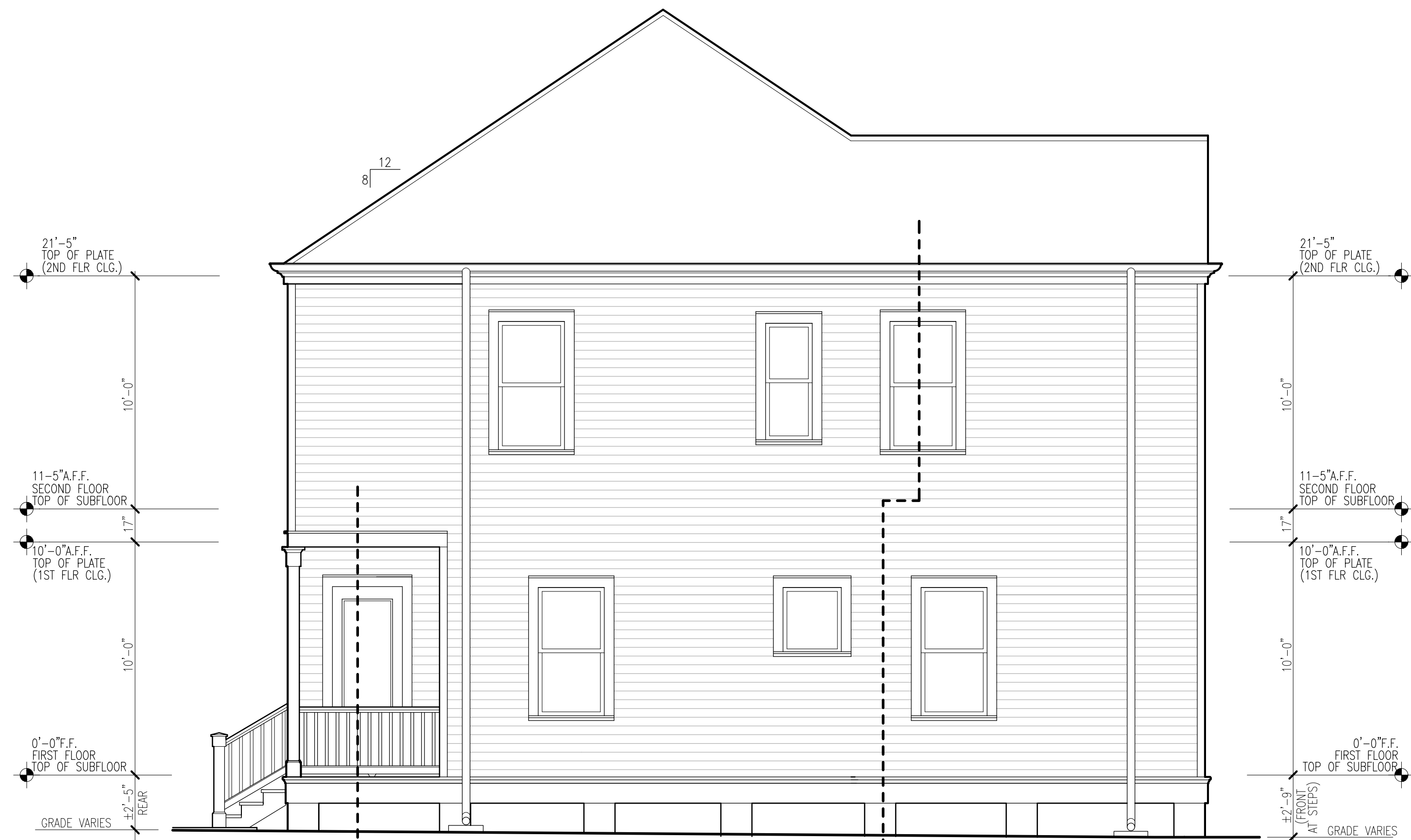


SIDE ELEVATION
SCALE: 1/4" = 1'-0"

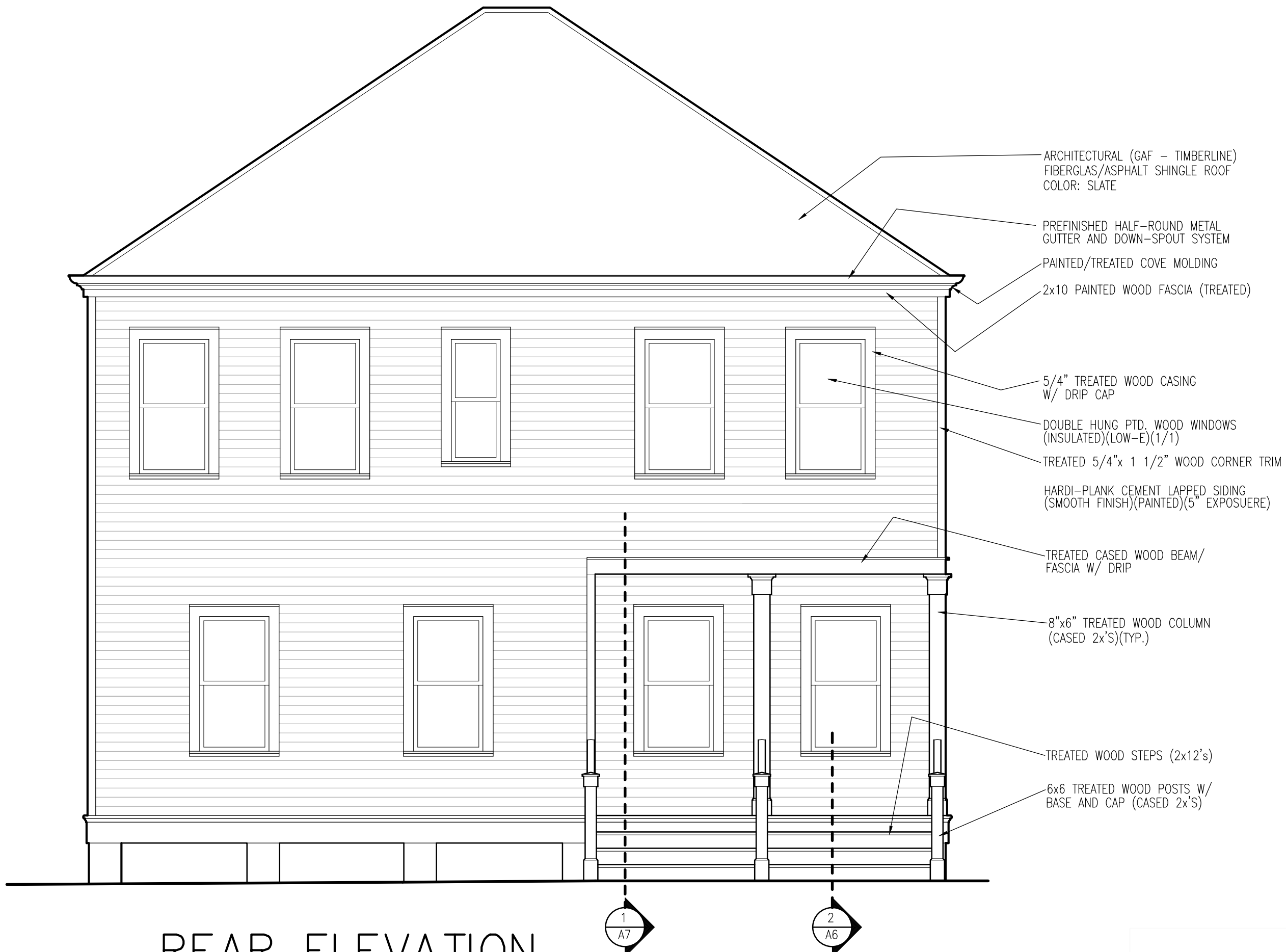


FRONT ELEVATION

SCALE: $1/4" = 1'-0"$

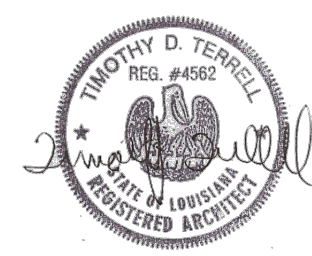


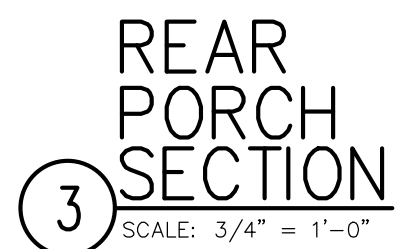
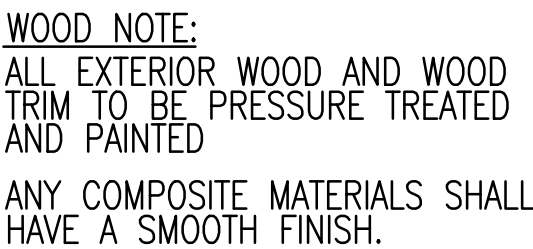
SIDE ELEVATION
SCALE: $1/4" = 1'-0"$



REAR ELEVATION

SCALE: 1/4" = 1'-0"

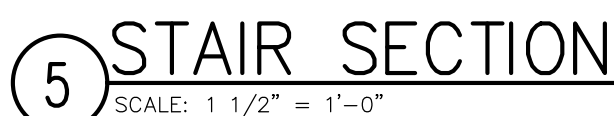






EMBED 7" MINIMUM
INTO FOOTING —

RAFTERS - SIMPSON H2.5 AT EACH RAFTER
ACTUAL LOAD = 325#
ALLOWABLE LOAD = 415#



NOTE: FIELD VERIFY "ABOVE GRADE" HEIGHTS WITH SURVEY/
BENCHMARK ELEVATION REQUIREMENTS AND
EXISTING GRADE CONDITIONS. ADJUST STEPS
AND RISER HGT. CONDITIONS ACCORDINGLY.



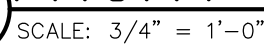
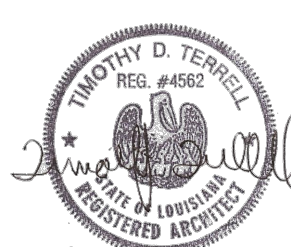
1050 S. NORMAN C. FRANCIS PKWY
SUITE 241
NEW ORLEANS, LOUISIANA, 70125
504-566 1320 TEL

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NEW ORLEANS,

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ELECTRIC NOTES:

PROVIDE NECESSARY POWER FOR
WATER HEATERS, HVAC EQUIPMENT, POOL
EQUIPMENT, ETC. IN ATTIC, AND YARD

PROVIDE ONE DUPLEX OUTLET IN ALL ATTIC AREAS

PROVIDE NEW ELECTRICAL SERVICE & METER
AS REQUIRED TO MEET ELECTRICAL CODES

INSTALL ALL COMPONENTS, WIRING, ETC. AS
PER THE GOVERNING ELECTRICAL CODES

PROVIDE ANY AND ALL ADDITIONAL DUPLEX
OUTLETS AS REQ'D BY THE CODE AND INSPECTORS

FIELD VERIFY ALL LOCATIONS/HEIGHTS/POWER REQMNT'S OF
ALL ITEMS W/ OWNER, MFR, ETC. PRIOR TO INSTALLATION

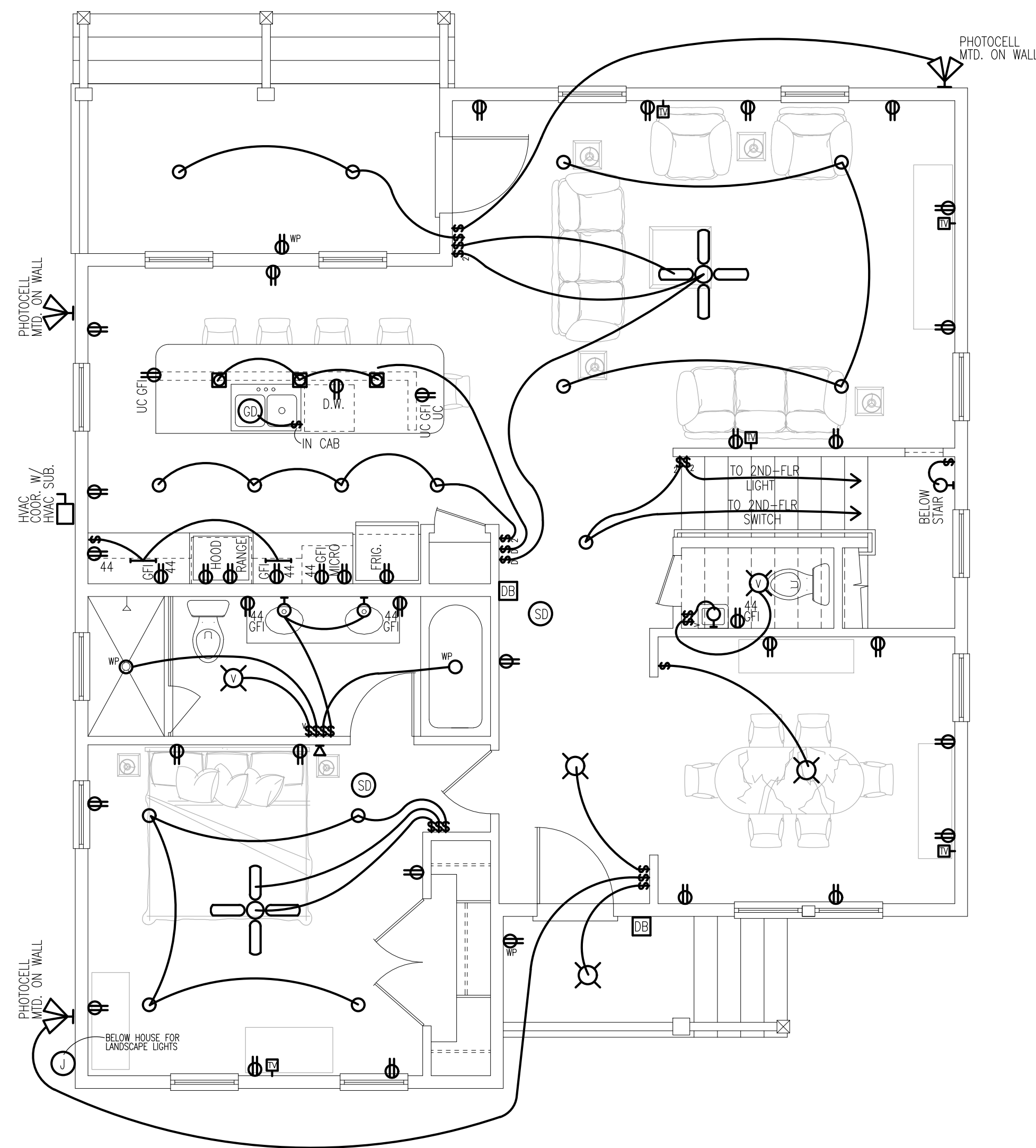
COOR ALL POWER REQUIREMENTS W/ OWNER, MFR'S,
SUB-CONTRACTORS, ETC. TO ENSURE PROPER IMPLEMENTATION

COOR EXACT LOCATION OF SERVICE/METER/PANELS W/
PROVIDER, CITY AND OWNER PRIOR TO INSTALLATION

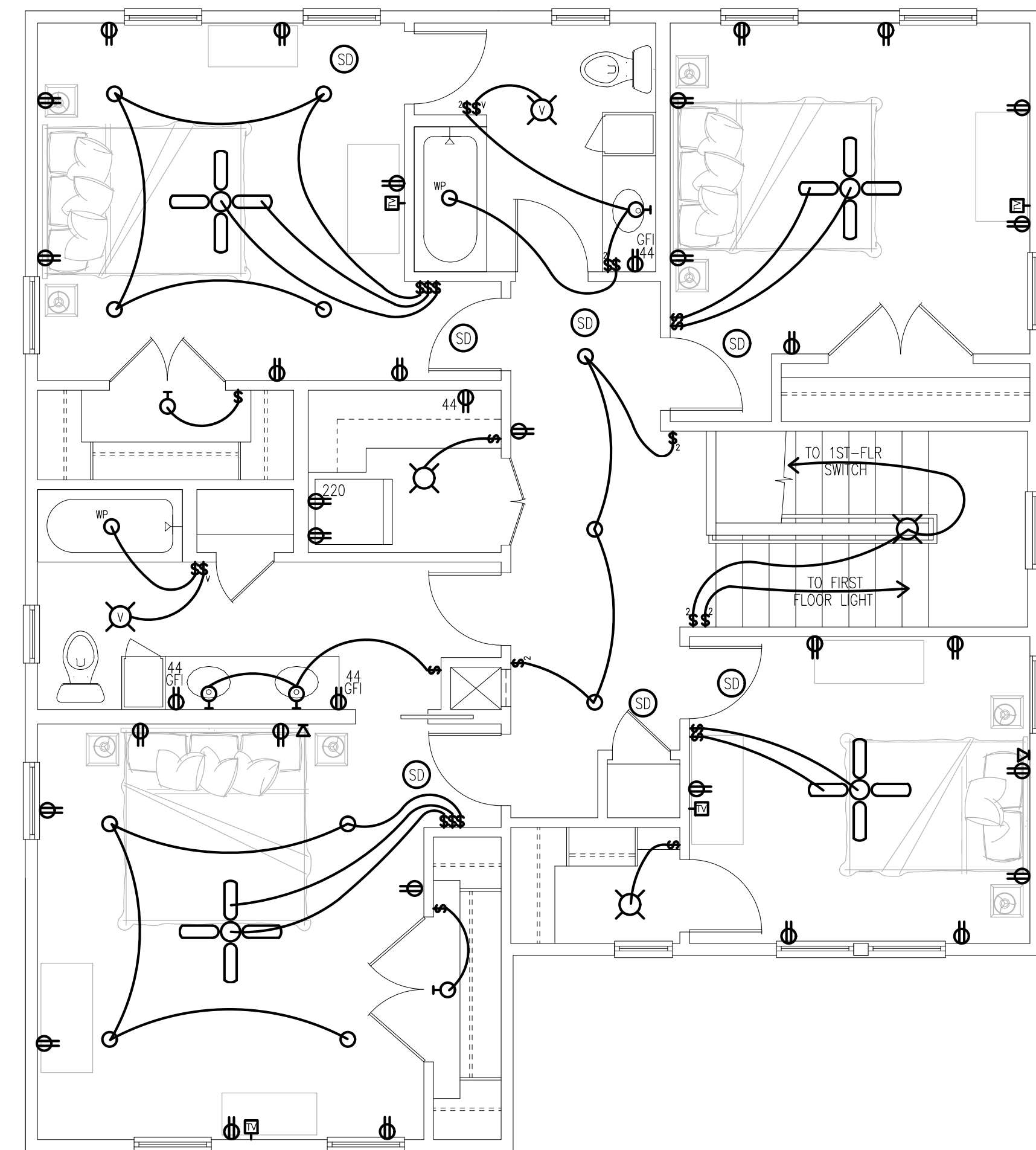
PROVIDE NECESSARY POWER FOR ALARM/VIDEO/AUDIO
SYSTEMS AS INSTRUCTED BY THE OWNER

PROVIDE LIGHT IN ATTIC W/ SWITCH

PROVIDE NECESSARY POWER FOR AUTOMATIC VEHICULAR
GATE SYSTEM AS INSTRUCTED BY THE OWNER



1 FIRST FLOOR ELECTRICAL LAYOUT



2 SECOND FLOOR ELECTRICAL LAYOUT

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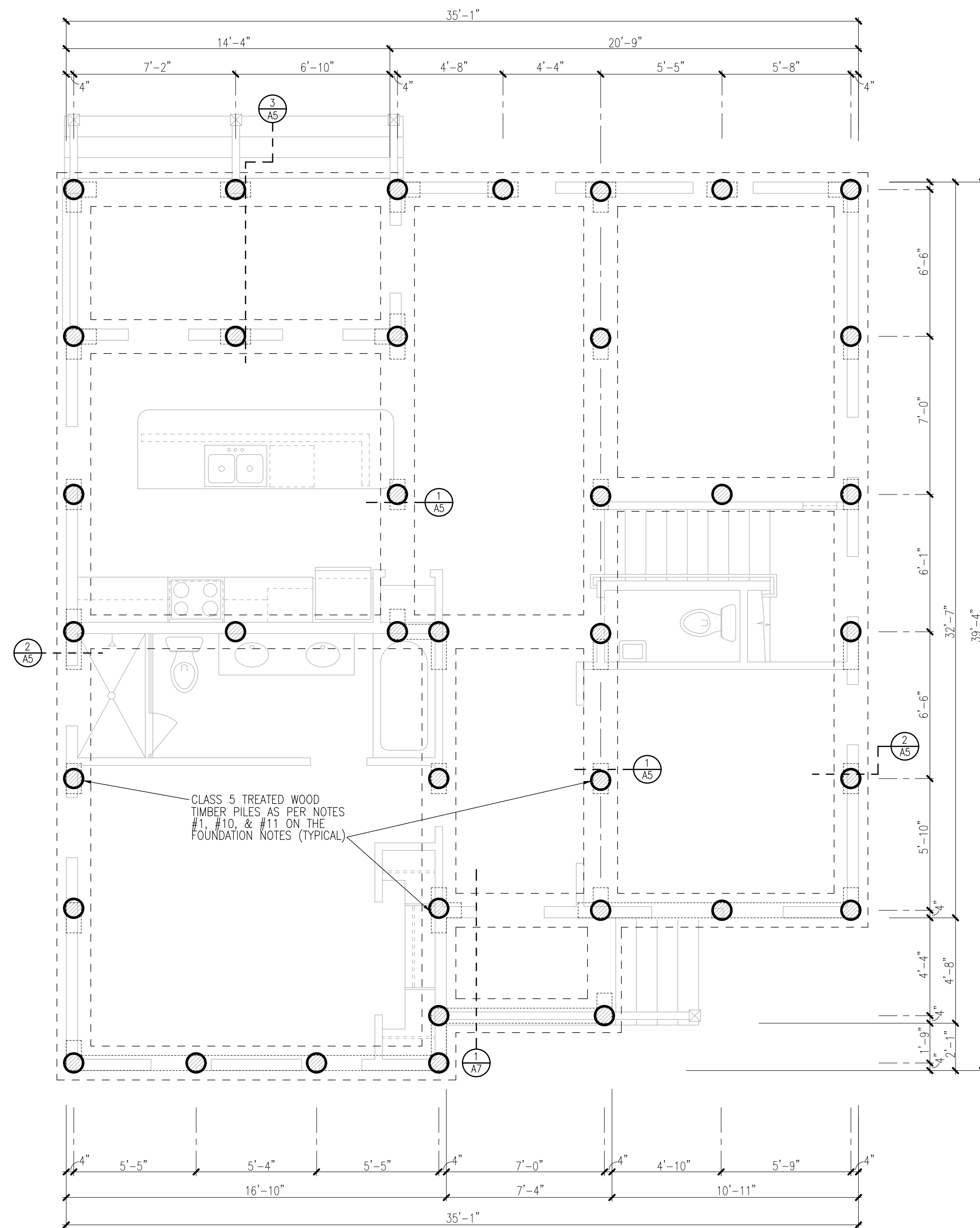
NEW RESIDENCE
2407 GRAVIER STREET
NEW ORLEANS, LOUISIANA

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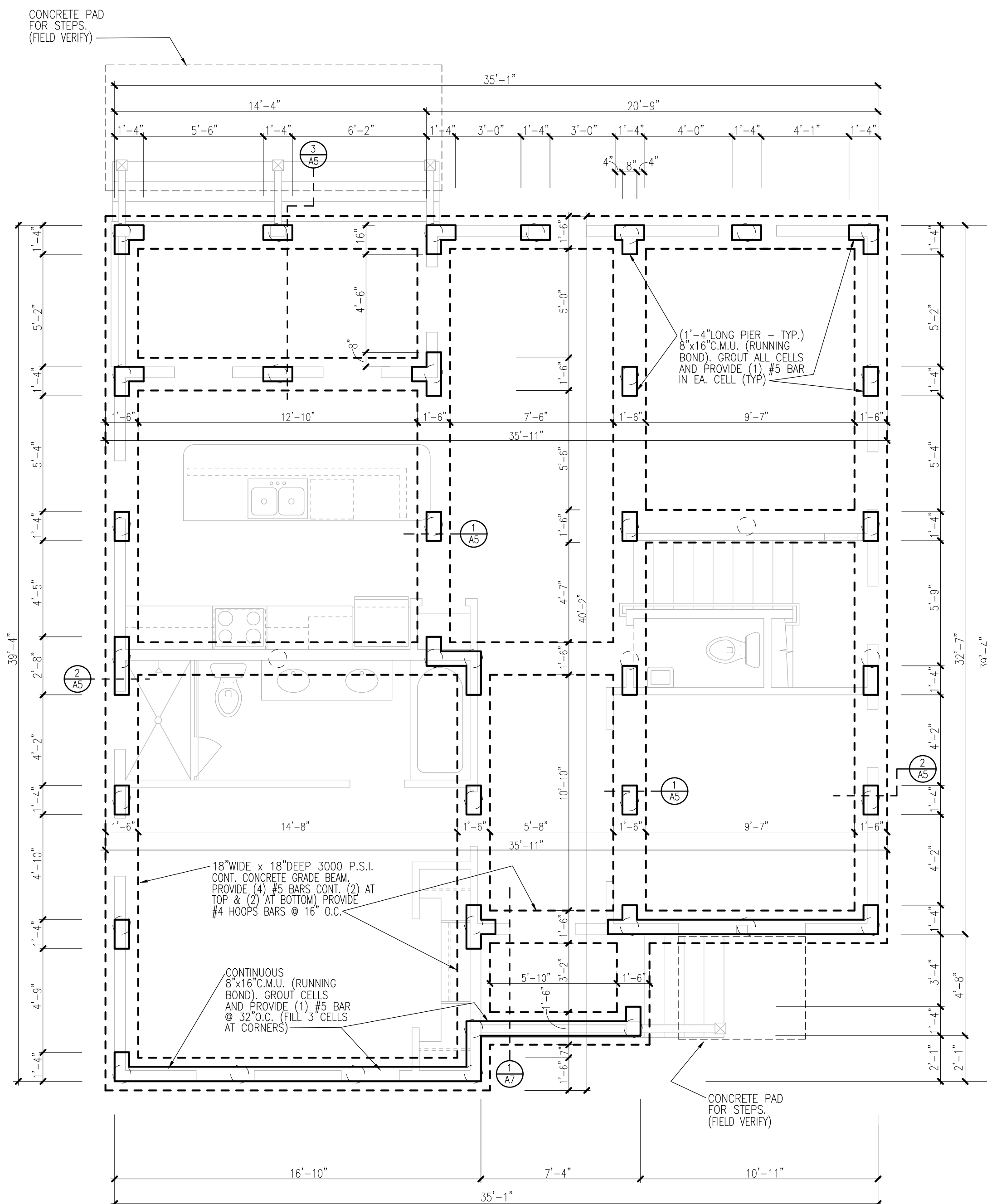
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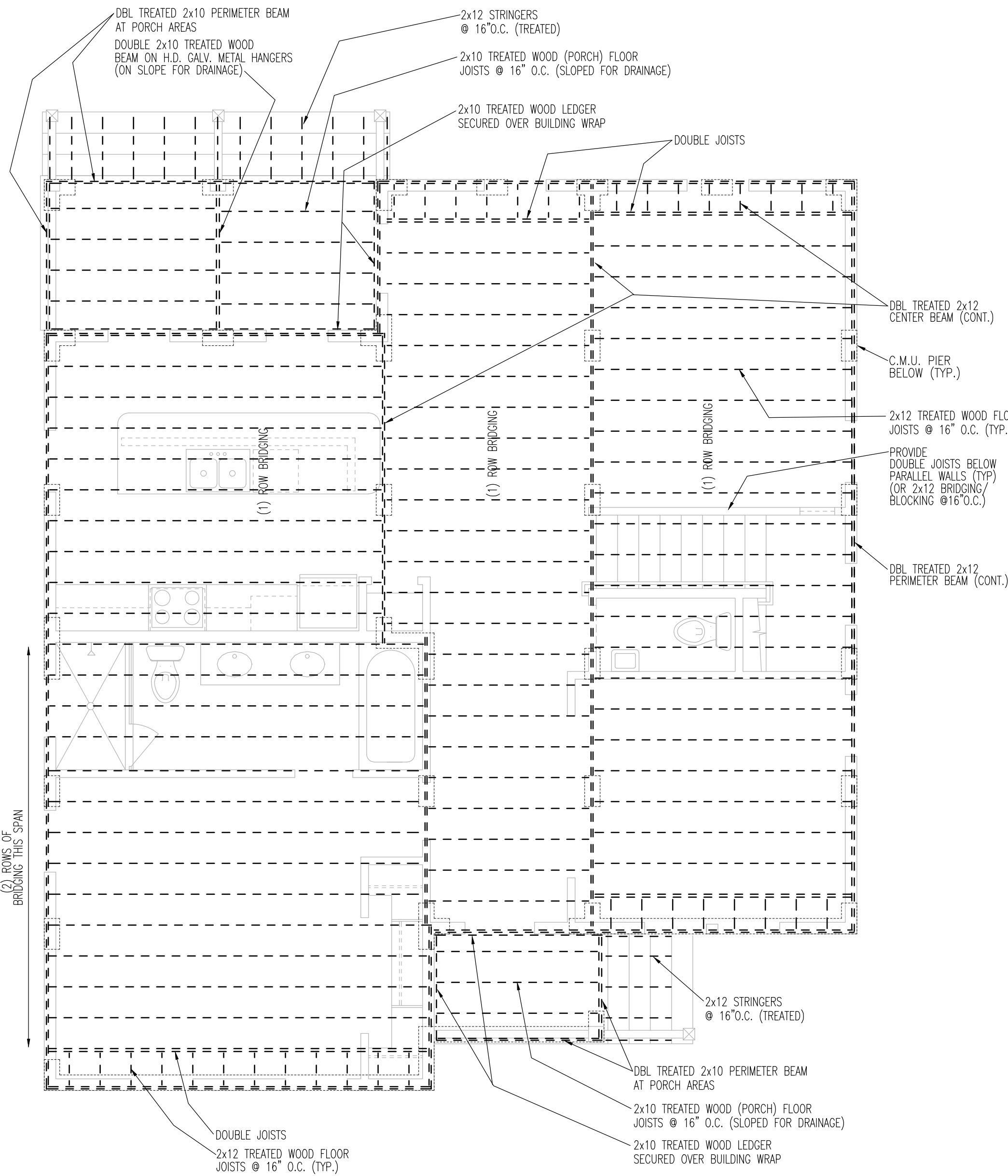
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1. ALL PILING SHALL BE CLASS 5 TREATED WOOD POLES CONFORMING TO ASTM D 25 WITH A MINIMUM 6" TIP DIAMETER AND 8" BUTT DIAMETER. (DRIVEN TO REFUSAL - MINIMUM 30' LENGTH). THE ESTIMATED DESIGN LOAD CAPACITY IS 5 TONS PER TIE.
2. CONCRETE SHALL BE STANDARD WEIGHT AND SHALL TEST 3000 P.S.I. AT 28 DAYS AGE. IT SHALL CONTAIN A MINIMUM OF 5.0 SACKS SACKS OF CEMENT PER CUBIC YARD AND SHALL BE IN ACCORDANCE WITH ACI 301 AN 318 LATEST ADDITION
3. REINFORCING STEEL SHALL BE NEW BILLET ASTM A-615, GRADE 60. GRADE 40 MAY BE USED FOR BEAM STIRRUPS.
4. REINFORCING CLEARANCES REQUIRED:
SLABS - 1" CLEAR BOTTOM, 1" CLEAR TOP.
BEAMS - 1 1/2" CLEAR FORMED, 3" CLEAR NOT FORMED.
5. WELDED WIRE FABRIC SHALL BE ASTM. A-185 W.W.F.
IT SHALL BE PROVIDED IN SHEETS, LAP W/ W.F. A MINIMUM OF TWO WIRE SPACES, SUPPORT THE MESH W/ CONCRETE BRICKS @ 48" O.C.
EACH SPACE.
6. TESTING LABORATORY SERVICES:
ARCHITECT SHALL APPROVE AND CONTRACTOR SHALL SELECT AND PAY FOR THE SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM THE FOLLOWING:
A. APPROVE THE CONTRACTOR'S CONCRETE MIX DESIGN.
B. WITNESS PLACING OF CONCRETE AND MOLD AND TEST CYLINDERS. TEST ONE CYLINDER @ 7 DAYS AND 2 @ 28 DAYS.
7. SHOP DRAWINGS:
COMPLETE SHOP AND PLACING DRAWINGS FOR THE FOUNDATION AND PILING SYSTEMS SHOWING ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. INCLUDE ALL DIMENSIONS AND DEMONSTRATE COMPLIANCE/COORDINATION WITH THE ARCHITECTURAL DRAWINGS. (MANDATORY BEFORE PROCEEDING)
8. EARTHWORK:
A. ALL VEGETATION, TREE ROOTS, STUMPS, UNSUITABLE SOIL DEBRIS, FOREIGN MATTER, ETC. TO BE REMOVED TO DEPTH REQUIRED TO REACH FIRM UNDISTURBED NATURAL SOIL PRIOR TO PLACING STEEL AND POURING CONCRETE.
B. FILL AND BACKFILL SHALL BE MISSISSIPPI RIVER "SUGAR SAND". PLACE IN 6 TO 8" LAYERS; EACH LAYER COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT DETERMINED IN ACCORDANCE WITH A.S.T.M. D1557.
C. DURING EXCAVATION DO NOT DISTURB ADJACENT STRUCTURES.
9. PLACE 8 MIL POLYETHYLENE VAPOR BARRIER BENEATH ALL SLABS AND BEAMS ON GRADE.
10. PILE/VIOLATION MONITORING SERVICES:
CONTRACTOR SHALL ENGAGE A FIRM QUALIFIED IN TIMBER PILE DRIVING MONITORING SERVICES TO PROVIDE THE FOLLOWING:
A) INSPECTION OF THE PILES.
B) ACCURATE RECORDS OF THE DRIVING OF EACH PILE.
C) PRE-CONSTRUCTION PHOTOGRAPHS OF SURROUNDING STRUCTURES
D) VIBRATION MONITORING SERVICES TO ENSURE GROUND MOTION IS KEPT WITHIN ACCEPTABLE INDUSTRIAL/COMMADAL LEVELS.
ARCHITECT ASSUMES NO RESPONSIBILITY FOR DAMAGES TO ADJACENT STRUCTURES DUE TO VIBRATIONS, ETC. FROM PILE DRIVING ACTIVITIES
11. PRE-CONSTRUCTION PILING/FOOTING/PIER REVIEW:
PRIOR TO DRIVING PILES AND POURING CONCRETE FOOTING AND PIER AREAS, THE CONTRACTOR SHALL PROVIDE ON-SITE MOCK-UP OF THE PILING, FOOTING, & PIER LAYOUT TO DEMONSTRATE COMPLIANCE WITH THE CITY REQUIREMENTS AND THE DRAWINGS TO ENSURE PROPER CONDITIONS ARE IN PLACE PRIOR TO DRIVING PILES & POURING CONCRETE. CONCRETE (MANDATORY REQUIREMENT)(ARCHITECT TO REVIEW/APPROVE). IF THIS "OVERSIGHTS" IS NOT CONDUCTED ARCHITECT ASSUMES NO RESPONSIBILITY/LIABILITIES FOR THE FOUNDATION CONDITIONS)



1 PILE PLAN TOTAL NUMBER OF PILES = 38
SCALE: 1/4" = 1'-0"



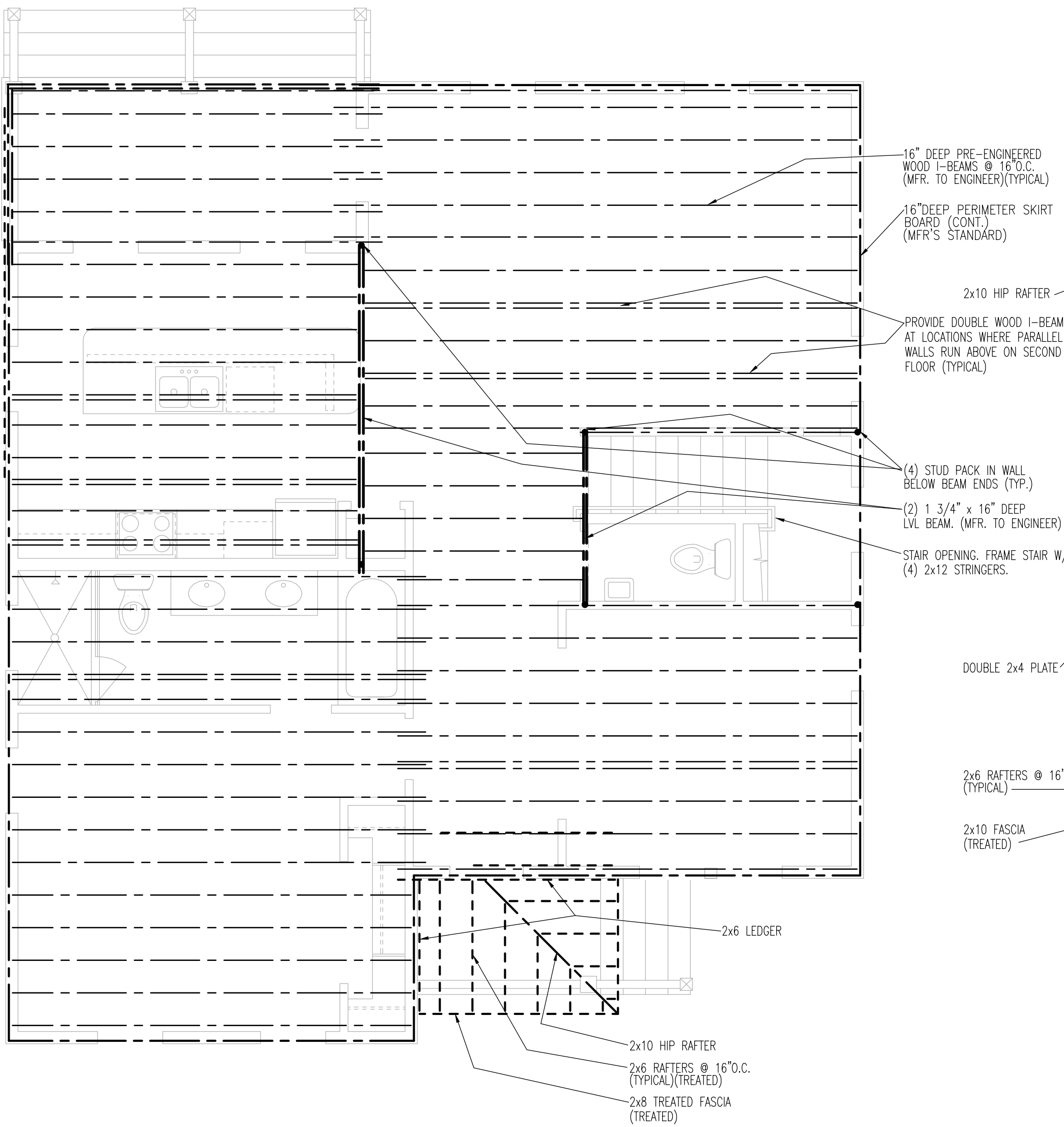


FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTE:

- FIRST FLOOR PERIMETER WALLS SHALL BE 2x6 WOOD STUDS @ 16" O.C.
- PROVIDE 2x6 BRIDGING/BLOCKING @ 5'-0" AFF. @ FIRST FLOOR PERIMETER WALLS
- PROVIDE ROW OF 2x12 BRIDGING AT MID-SPAN OF JOIST SPANS (TYP.)
- PROVIDE DBL 2x12 W/ PLYWOOD FLITCH TYPICAL HEADER ABOVE ALL DOORS AND WINDOWS



SECOND FLOOR FRAMING PLAN

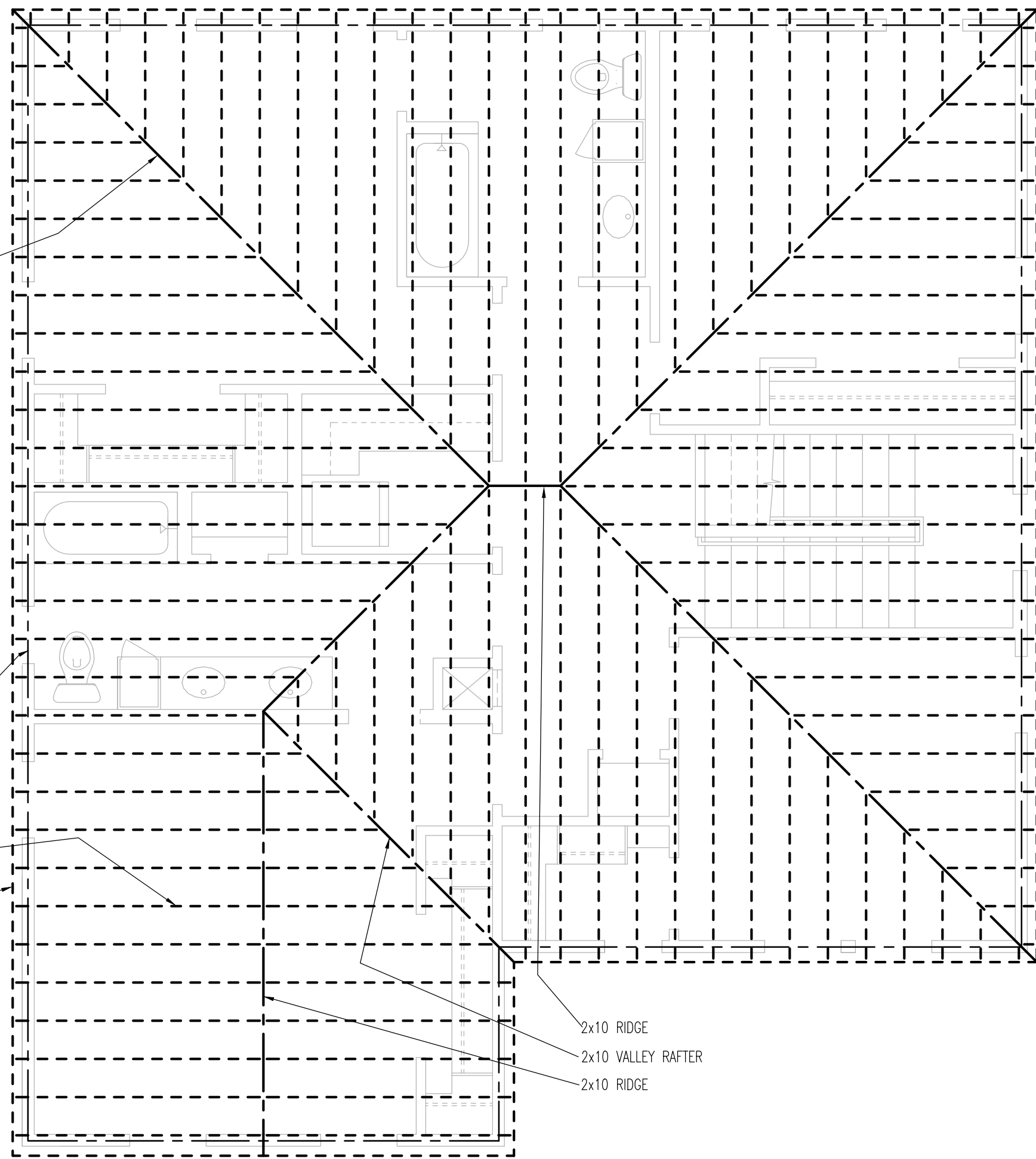
SCALE: 1/4" = 1'-0"

NOTE:

- SECOND FLOOR PERIMETER WALLS SHALL BE 2x4 WOOD STUDS @ 16" O.C.
- PROVIDE 2x4 BRIDGING/BLOCKING @ 5'-0" AFF. @ SECOND FLOOR PERIMETER WALLS
- PROVIDE DBL 2x12 W/ PLYWOOD FLITCH TYPICAL HEADER ABOVE ALL DOORS AND WINDOWS
- PRE-ENGINEERED WOOD I-BEAMS TO BE ENGINEERED BY MFR. FOR THIS SPECIFIC PROJECT

NOTE:

SEE SECOND FLOOR PLAN SECOND FLOOR CEILING FRAMING SIZES AND DIRECTION.



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTE:

PROVIDE 2x4 KICKERS (BRACES) @ ALL RAFTERS W/ A SPAN WHICH EXCEEDS 12'-6" IN LENGTH. BRACE TO TOPS OF WALLS BELOW.

NEW RESIDENCE
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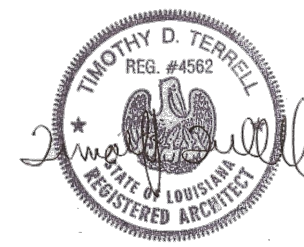
LOUISIANA

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TERRELL
FABACHER
ARCHITECTS, L.L.C.

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SUITE 240
NEW ORLEANS, LOUISIANA, 70125
504.566.1320 TEL



S2

SHEET OF