



GOOGLE STREET VIEW IMAGE OF STREET FRONT AND DAMAGED PARTY WALL.



GOOGLE STREET VIEW OF STREET FRONT FACADE.



STREET FRONT FACADE WITH TEMPORARY SHORING IN PLACE.



DRONE IMAGE OF BRICKS ON EXISTING ROOF STRUCTURES.



DRONE IMAGE OF BRICKS ON EXISTING ROOF STRUCTURES AND DAMAGED GUTTER.



DRONE IMAGE OF COLLAPSED SLATE ROOF.



DRONE IMAGE OF COLLAPSED BRICK PARTY WALL.

## PROJECT INFORMATION:

### OWNER:

CENTRAL GROCERY COMPANY, LLC  
923 DECATUR ST.  
NEW ORLEANS, LA 70116-3307  
CONTACT: CORY FOSTER  
EMAIL: CORY@ACMSGLOBAL.COM  
PHONE: 504.977.2267

### ARCHITECT:

PEREZ, APC  
2525 BURGUNDY STREET  
NEW ORLEANS, LA. 70117

PHONE: 504.584.5100  
CONTACT: KARRI MAGGIO  
E-MAIL: KMAGGIO@E-PEREZ.COM  
PHONE: 504.383.7051

### STRUCTURAL ENGINEER:

SILMAN  
32 OLD SLIP, 10TH FLOOR  
NEW YORK, NY 10005

CONTACT: LAURA SMITH  
E-MAIL: LAURA.SMITH@SILMAN.COM  
PHONE: 917.494.6691

### APPLICABLE CODES:

2015 INTERNATIONAL RESIDENTIAL CODE WITH  
CITY OF NEW ORLEANS AMENDMENTS.

2015 NFPA 101

### PARCEL INFORMATION:

ADDRESS: 923 DECATUR STREET  
PROPERTY DESCRIPTION: SQ 21 LOT 29

LOT SIZE: 31' X 213'  
LOT AREA: 6603 SF

BOUNDING STREETS: ST. PHILIP ST & DUMAINE  
ST & DECATUR ST & CHARTRES ST

VIEUX CARRE RATING: GREEN

### ZONING:

VIEUX CARRE COMMERCIAL DISTRICT (VCC-1)

VIEUX CARRE HEIGHT INTERIM ZONING  
DISTRICT

MIZ MANDATORY INCLUSIONARY ZONING SUB-  
DISTRICTS, CORE SUB-DISTRICT

### SCOPE OF WORK:

HURRICANE IDA REPAIRS TO EXTERIOR OF THE  
BUILDING, INCLUDING RECONSTRUCTION OF  
SLATE ROOF, MASONRY STABILIZATION, AND  
WINDOW/SHUTTER REPAIRS

## DRAWING LIST:

NO. SHEET DESCRIPTION

VCC APPLICATION DOCUMENTATION

A.10 SITE PLAN

A.20 FLOOR PLANS

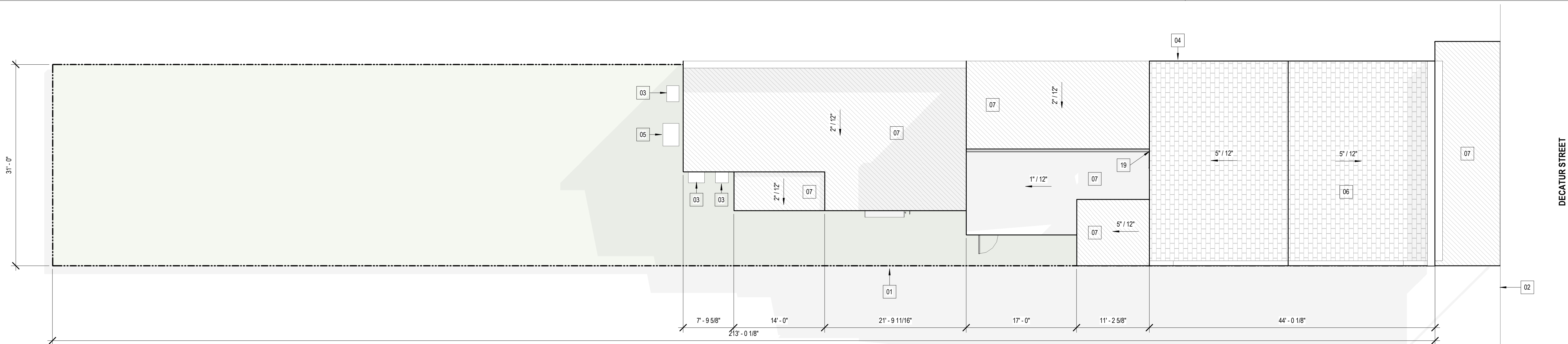
A.30 ELEVATIONS & SECTION

## PROJECT LOCATION:



## KEYNOTES

- 01 PROPERTY LINE
- 02 EDGE OF SIDEWALK
- 03 EXISTING HVAC CONDENSING UNIT TO REMAIN
- 04 REPAIR EXISTING MASONRY PARTY WALL USING SALVAGED BRICK. GROUT TO MATCH EXISTING.
- 05 EXISTING GENERATOR TO REMAIN
- 06 RECONSTRUCT ROOF FRAMING. PITCH TO MATCH PREVIOUS. PROVIDE NEW PLYWOOD DECKING AND ROOFING PAPER. INSTALL SALVAGED NATURAL SLATE SHINGLES. IF ADDITIONAL SHINGLES ARE REQUIRED TO COMPLETE INSTALLATION, NEW SHINGLES TO MATCH EXISTING TYPE, COLOR, AND SIZE.
- 07 EXISTING LOW SLOPE MEMBRANE ROOF TO REMAIN (NO WORK)
- 19 EXISTING GUTTERS. RE-SECURE TO ROOF FASCIA.



DECATUR STREET

## 923 DECATUR STREET EXTERIOR REPAIRS

923 DECATUR ST  
NEW ORLEANS, LA 70116  
VIEUX CARRE COMMISSION SUBMISSION

DATE: 01.25.22  
PROJECT NO.: 01-21-1026-02

### REVISIONS:

No.	Date	Description

DRAWN BY: WX  
CHECKED BY: KM  
SHEET TITLE

## SITE PLAN

SHEET NO

A.10

NOT FOR CONSTRUCTION

Perez.

ARCHITECTURE  
PLANNING  
INTERIORS  
LANDSCAPE  
CONSTRUCTION  
DEVELOPMENT

PEREZ  
A PROFESSIONAL CORPORATION  
2525 BURGUNDY STREET  
NEW ORLEANS, LA 70117  
WWW.E-PEREZ.COM



GENERAL NOTES

EXTERIOR REPAIRS:

1. THE BUILDING RECEIVED SIGNIFICANT DAMAGE IN HURRICANE IDA, INCLUDING COLLAPSE OF THE EXISTING SLATE ROOF AND DAMAGE TO THE MASONRY STRUCTURAL WALLS. DEMOLITION AND CLEANUP HAS BEEN PERFORMED ON SITE AND ALL HISTORIC MATERIALS, INCLUDING BRICK, SLATE SHINGLES AND WOOD SHUTTERS, HAVE BEEN SALVAGED FOR REINSTALLATION. WHERE SALVAGE QUANTITIES ARE NOT ENOUGH TO COMPLETE REPAIRS, NEW MATERIALS WILL BE SOURCED TO MATCH EXISTING IN TYPE, SIZE AND COLOR.
2. THE COLLAPSED MASONRY PARTY WALL ADJOINING THE 925 DECATUR PROPERTY SHALL BE REPAIRED AS PART OF THE WORK SUBMITTED FOR 925 DECATUR ST. CONSTRUCTION WILL BE PERFORMED CONCURRENTLY FOR BOTH PROPERTIES.
3. EXTERIOR MASONRY AND WOOD TRIM TO BE REPAINTED, COLORS TO MATCH EXISTING.

SIGNAGE:

1. ALL ORIGINAL SIGNAGE TO REMAIN, AND LOCATED IN ITS PRE-HURRICANE POSITION.

KEYNOTES

- 01 PROPERTY LINE
- 03 EXISTING HVAC CONDENSING UNIT TO REMAIN
- 07 EXISTING LOW SLOPE MEMBRANE ROOF TO REMAIN (NO WORK)
- 09 OVERHANG ABOVE
- 14 EXISTING WINDOW TO REMAIN. REPAIR DAMAGED SASHES AND TRIM. REGLAZE WHERE LITES ARE MISSING OR BROKEN
- 16 NEW CEILING WITH OFFICE LIGHTING TO BE INSTALLED, PAINTED CLG WHITE
- 17 NEW VINYL FLOORING INSTALLED OVER EXISTING STRUCTURAL FLOOR
- 18 EXISTING BOARD AND BATTEN SHUTTERS. WHERE DAMAGED, REPLACE WOOD LIKE IN KIND AND PAINT. WHERE MISSING, REPLACE LIKE IN KIND, PAINT COMPLETE. REUSE ALL SHUTTER HARDWARE.
- 20 EXISTING DOWNSPOUT. RE-SECURE TO BUILDING.
- 23 EXISTING ALLEYWAY.
- 24 EXISTING FENCE TO REMAIN (NO WORK)
- 25 REPAIR CEILING, PAINT CEILING WHITE

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EXTERIOR REPAIRS

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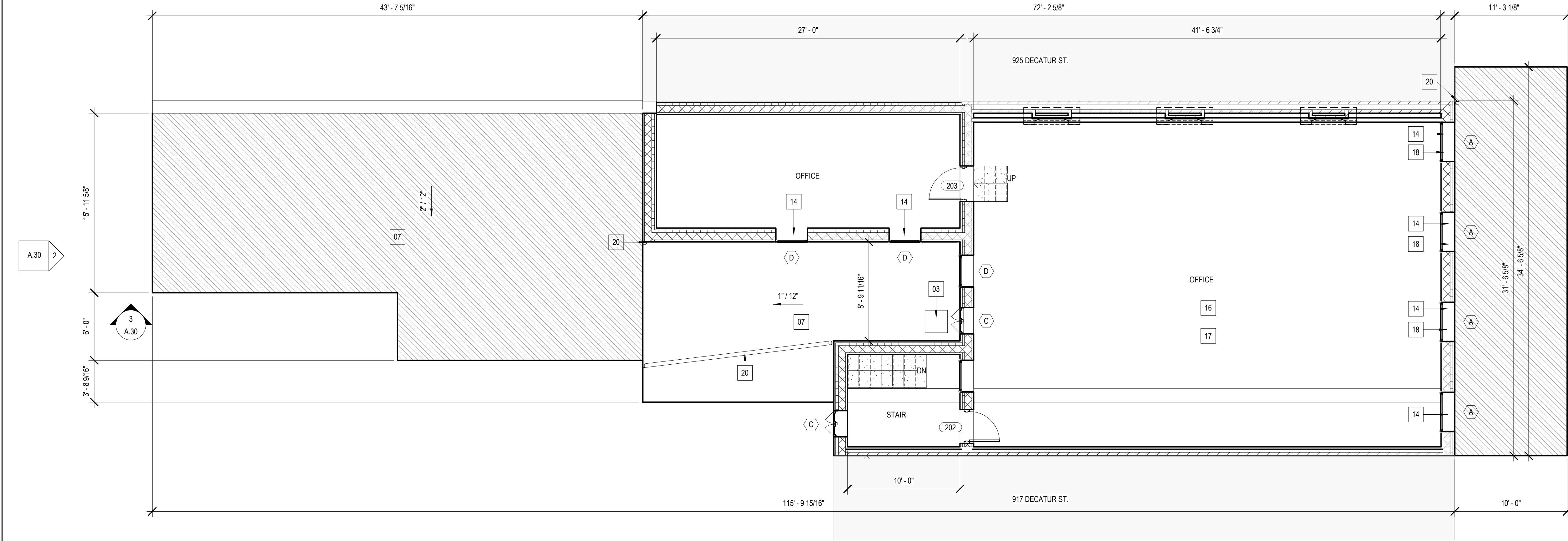
SHEET TITLE

FLOOR PLANS

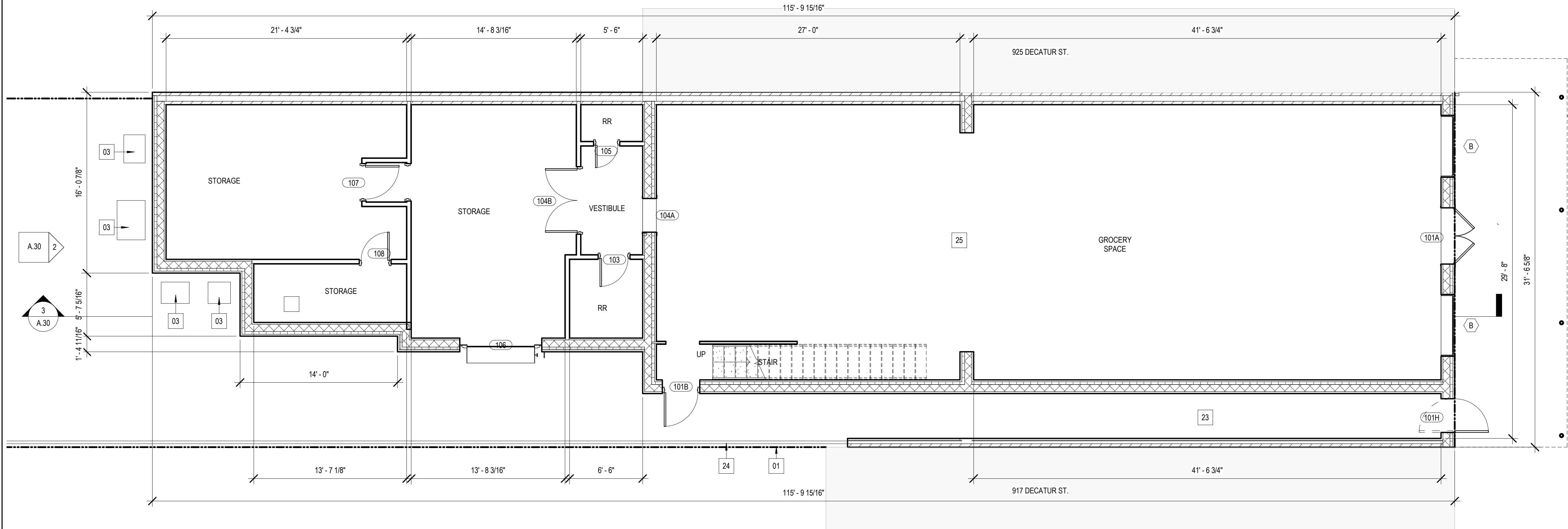
SHEET NO

A.20

2 LEVEL 2  
SCALE: 3/16" = 1'-0"



1 LEVEL 1  
SCALE: 3/16" = 1'-0"

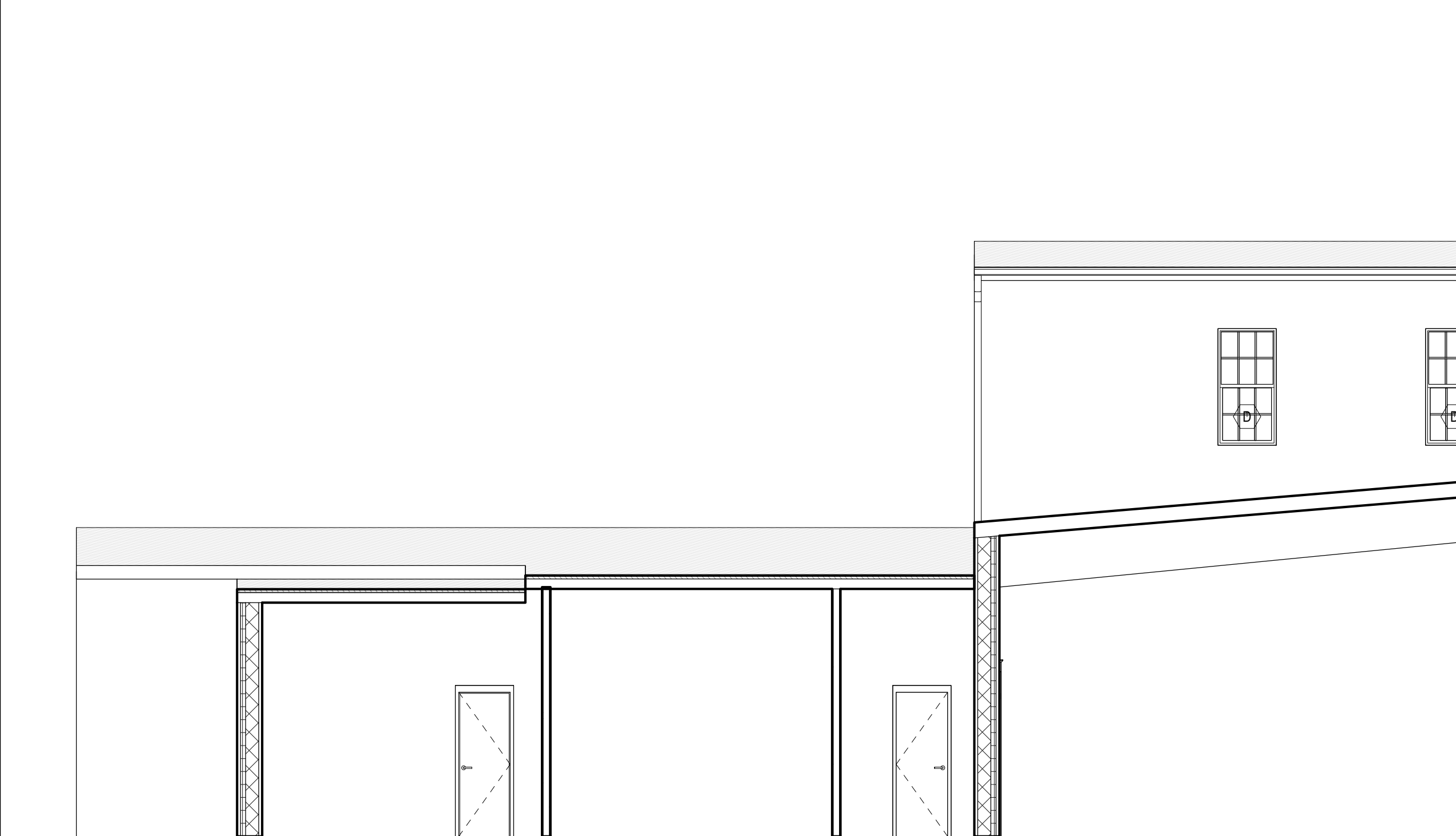


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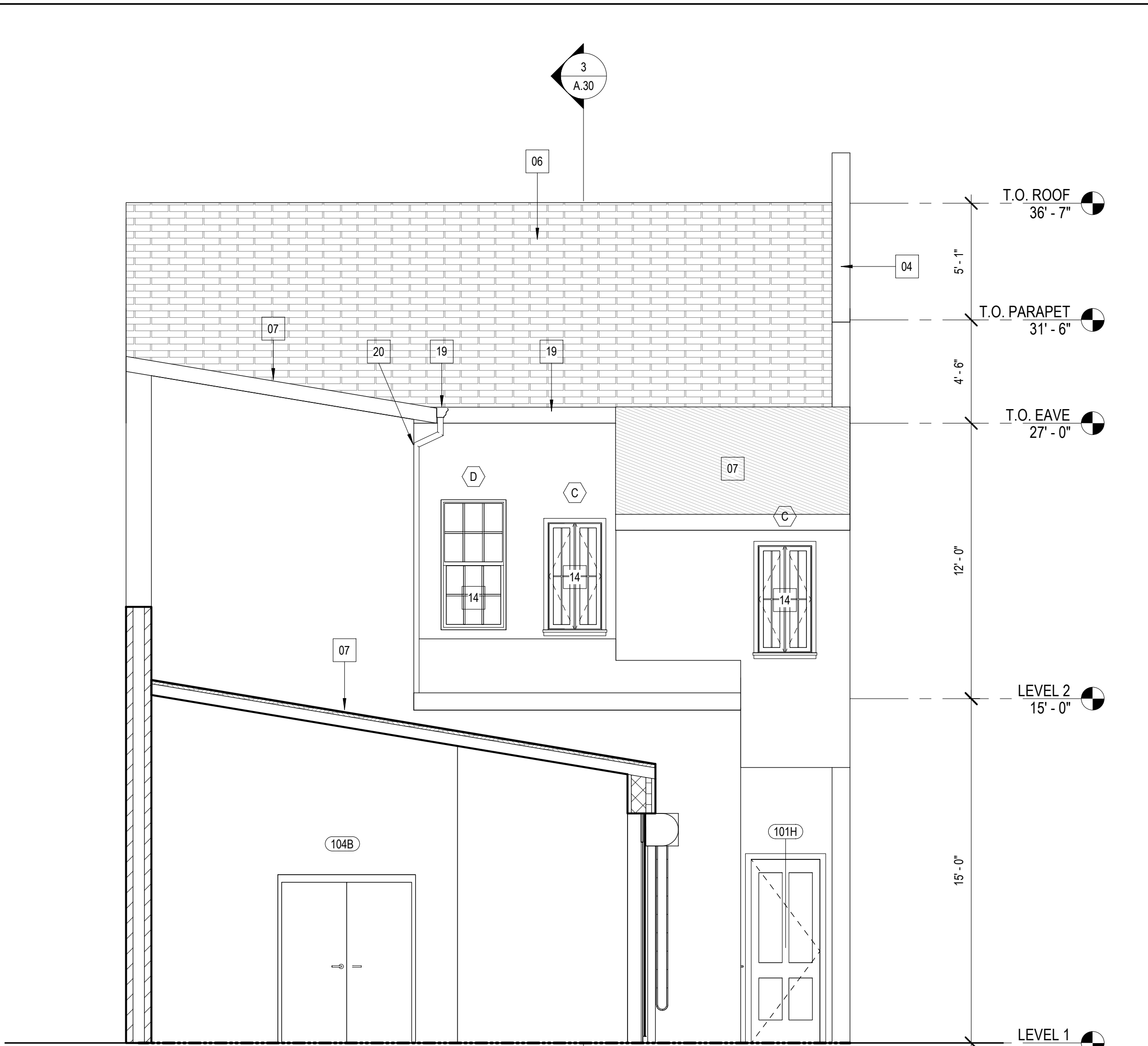
12/5/2022 4:50:06 PM  
BM 1360//ACMS 923 Decatur St Repairs//ACMS 923 Decatur St Repairs.rvt



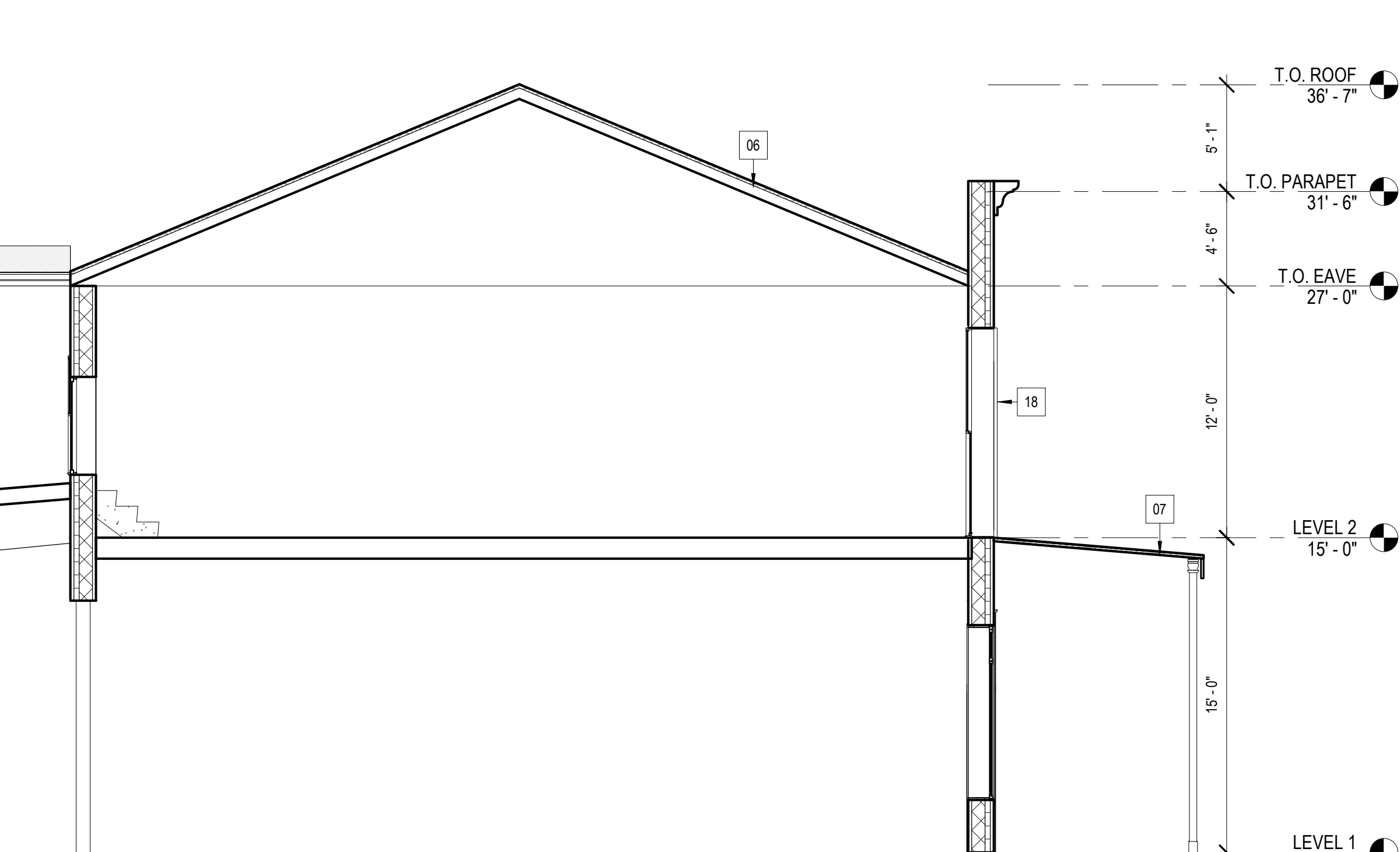
1 DECATUR STREET ELEVATION  
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION 3  
SCALE: 3/16" = 1'-0"



2 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



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## KEYNOTES

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- 18 EXISTING BOARD AND BATTEN SHUTTERS. WHERE DAMAGED, REPLACE WOOD LIKE IN KIND AND PAINT. WHERE MISSING, REPLACE LIKE IN KIND, PAINT COMPLETE. REUSE ALL SHUTTER HARDWARE.
- 19 EXISTING GUTTERS. RE-SECURE TO ROOF FASCIA.
- 20 EXISTING DOWNSPOUT. RE-SECURE TO BUILDING.
- 21 MASONRY TIE-BACKS ADDED AT DECATUR ST BUILDING ELEVATION TO STABILIZE WALL. PAINT COMPLETE, TO MATCH EXISTING COLOR

Perez.

ARCHITECTURE  
PLANNING  
INTERIORS  
LANDSCAPE  
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