

PROJECT DESCRIPTION:

This project is the renovation of an existing 4 unit residence. Several interior walls and staircases will be moved and an existing attic space converted to bedrooms with new dormers. No areas on the exterior of the building will be demolished or removed. A 6 foot addition will be added at the rear.

FLOOR AREAS:

Existing Total - 4,393ft²  
Proposed Demolished - 0ft²  
Proposed 1st Floor - 2,028ft²  
Proposed 2nd Floor - 2,092ft²  
Proposed 3rd Floor - 600ft²  
Proposed Living - 4,938ft²

ZONING:

The site is zoned HU-RD2 and a residence is a conforming use.

BUILDING & OCCUPANCY TYPE:

The building is a wood frame structure and is construction classification type V, by the 2015 IRC. Occupancy is R-3

CODE COMPLIANCE:

As the building or structure will be enlarged, altered, raised, repaired or built upon to an extent exceeding an expenditure of 50% of the replacement value after alterations, it shall be made to comply in its entirety with 2015 IRC and City of New Orleans amendments to the 2015 IRC and all relevant subsections.

Construction to meet or exceed all requirements of:

- 1. The 2015 International Residential Code and
- 2. High Wind Standards Chapter 3, Section R301.2.1.1, Southern Building Code Congress and
- 3. International Code Council (ICC) Standard for Construction in High Wind Regions (ICC600)

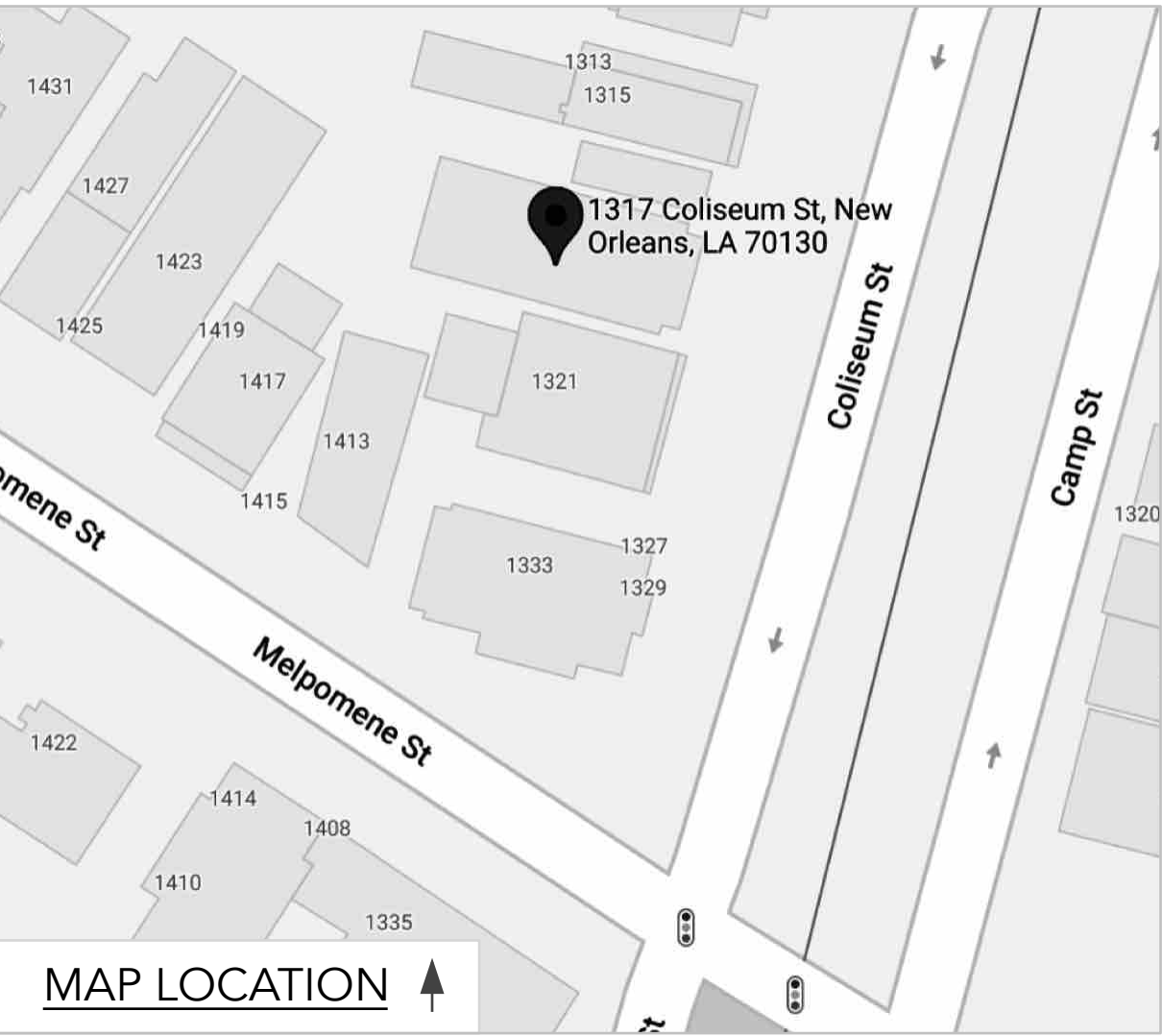
*I have researched these codes and chapters and the Louisiana uniform construction code and to the best of my knowledge and belief these drawings are in compliance therewith. I take full responsibility for the content of these plans.*

DESIGN LIVE LOAD:

ALL FLOORS - 40PSF  
ROOF - 20PSF

ULT. DESIGN WIND SPEED:

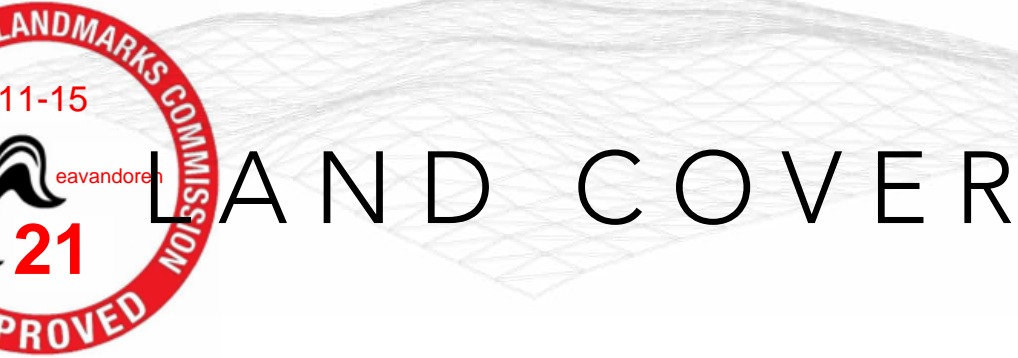
140MPH, Exposure B



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1317A - 1319B Coliseum St.



PROJECT  
Structural Renovation  
1317A - 1319B Coliseum St.  
New Orleans, LA 70130

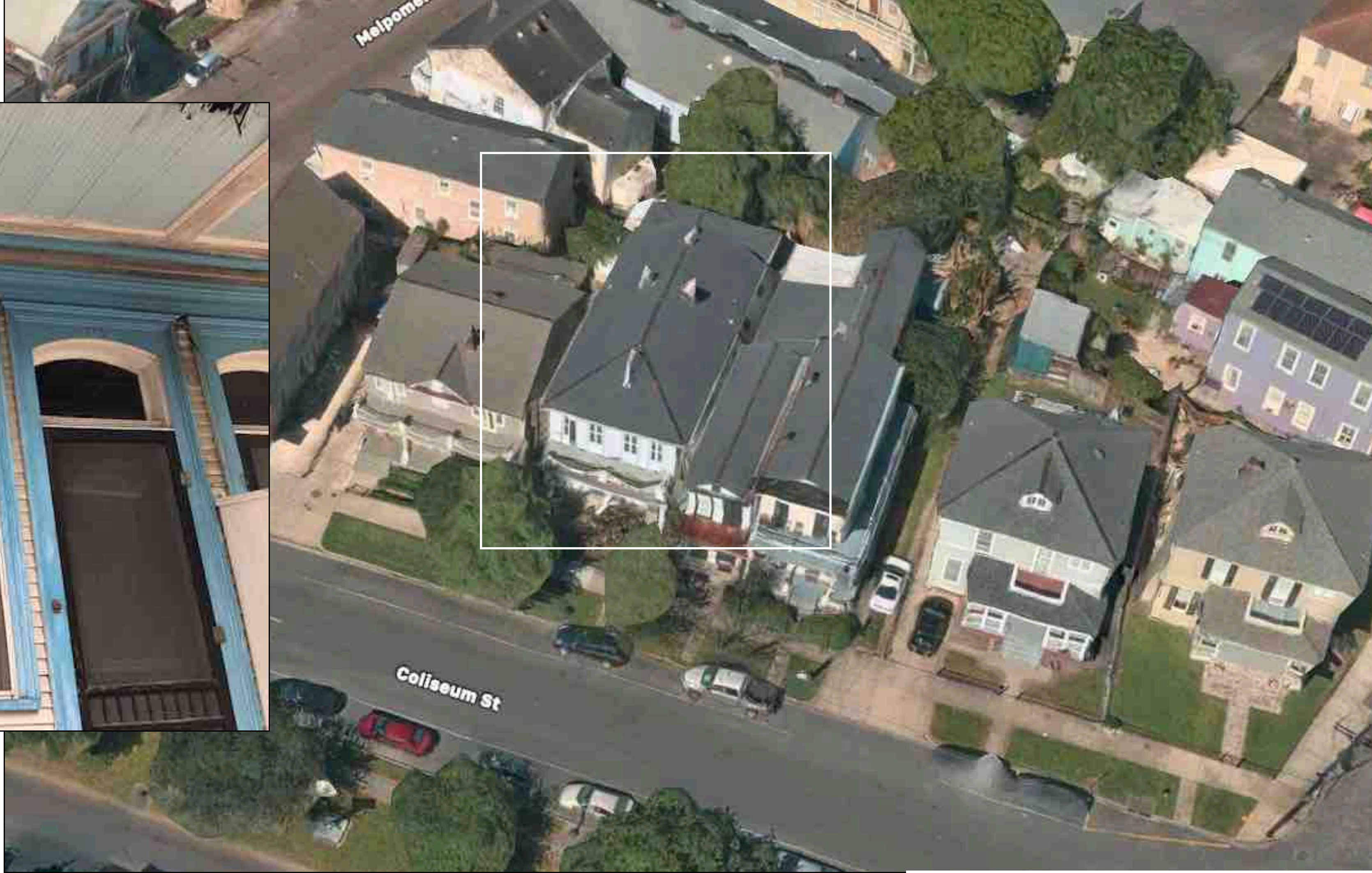
CLIENT  
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Address  
New Orleans, LA 70  
504-

ENGINEER  
Thomas M. Smith P.E  
Civil Engineer  
6516 Boutall St, Metairie, LA  
504-887-3882/504-247-6294

ISSUE  
10.21.21

DRAWN BY  
Land Cover LLC





## Existing Building Photos

**PROJECT**  
Structural Renovation  
1317A - 1319B Coliseum St.  
New Orleans, LA 70130

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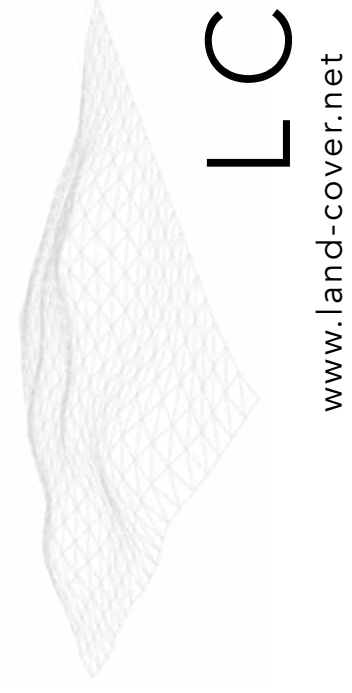
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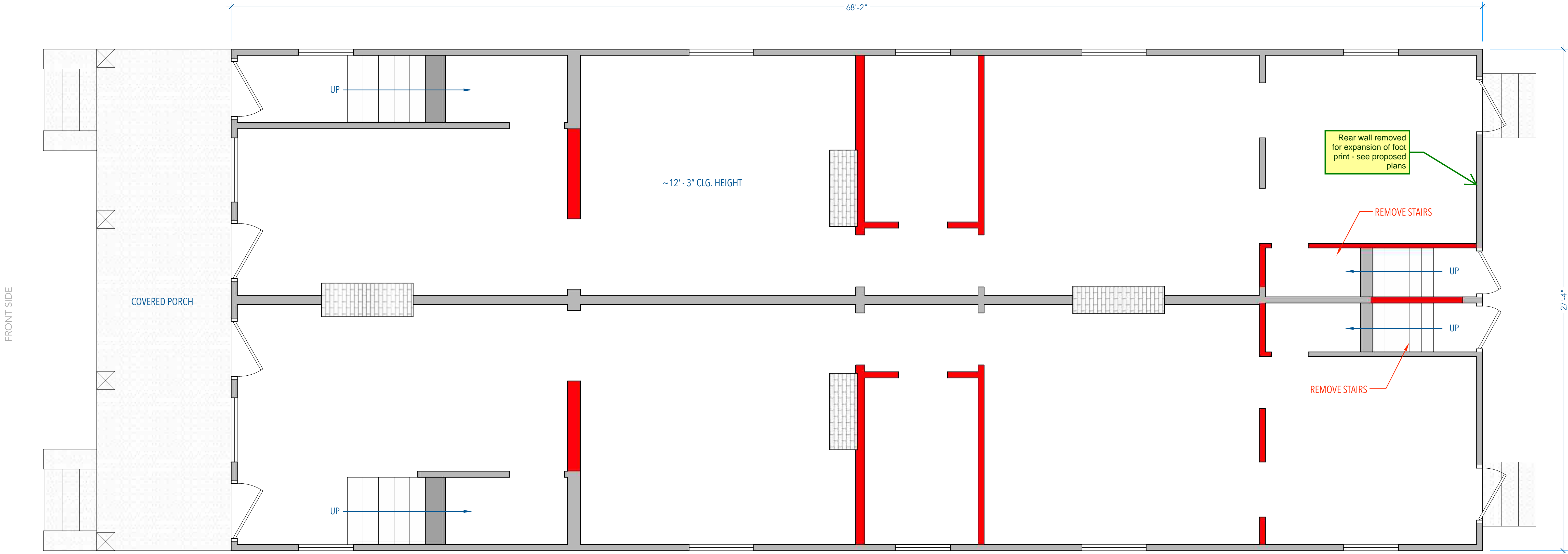
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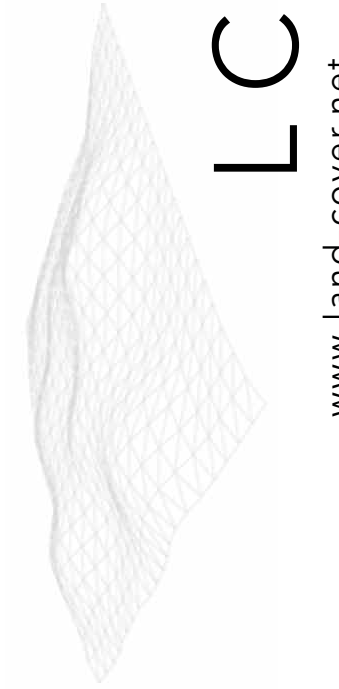
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1 EXISTING 1ST FLOOR PLAN - 1,865ft²  
SCALE - 1/4" = 1'0"

- LEGEND:
- WALL TO REMAIN
  - WALL TO BE REMOVED
  - ROOF REMOVED/REPLACED

PROJECT	ISSUE	ENGINEER	CLIENT
Structural Renovation 1317A - 1319B Coliseum St. New Orleans, LA 70130	10.21.21	Thomas M. Smith P.E Civil Engineer 6516 Boutall St, Metairie, LA 504-887-3882/504-247-6294	Azzam Massassati Address New Orleans, LA 70



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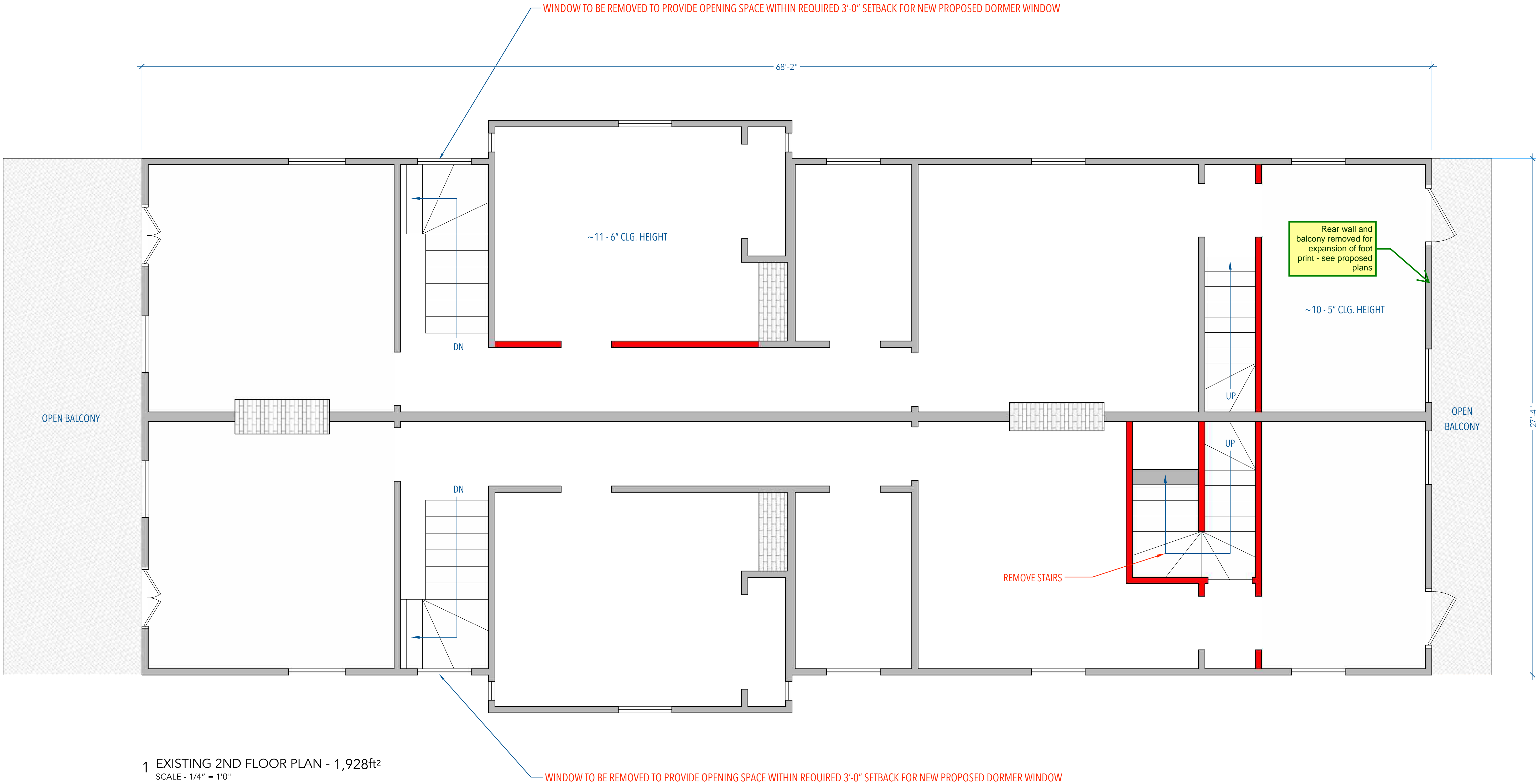
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FRONT SIDE

LEFT SIDE



LEGEND:

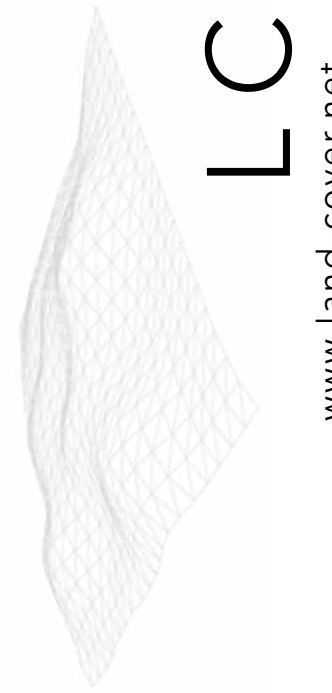
- WALL TO REMAIN
- WALL TO BE REMOVED
- ROOF REMOVED/REPLACED

RIGHT SIDE

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## Existing 2nd Floor Plan

04



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DRAWING SIZE: 11x15 1/2" 4x36" PAPER SIZE: USE 2X SMALLER SCALE FOR 12x18





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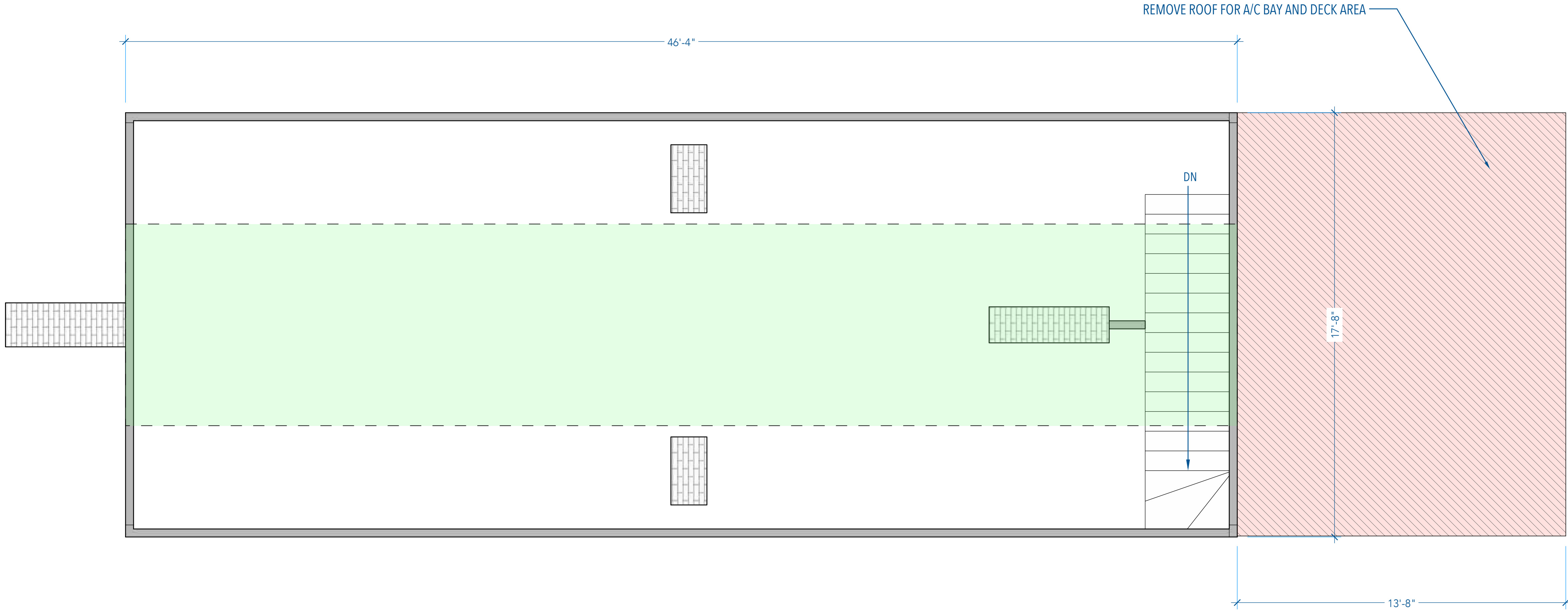
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FRONT SIDE

LEFT SIDE



2 EXISTING 3RD FLOOR PLAN - 815ft<sup>2</sup>  
SCALE - 1/4" = 1'0"

LEGEND:

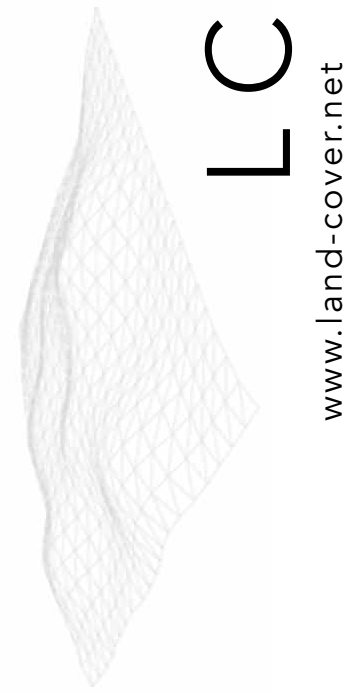
- 6' - 8" MIN. CEILING HEIGHT
- WALL TO REMAIN
- WALL TO BE REMOVED
- ROOF REMOVED/REPLACED

RIGHT SIDE

REAR SIDE

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05 Existing 3rd Floor Plan





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1 FRONT ELEVATION  
SCALE - 1/4" = 1'0"



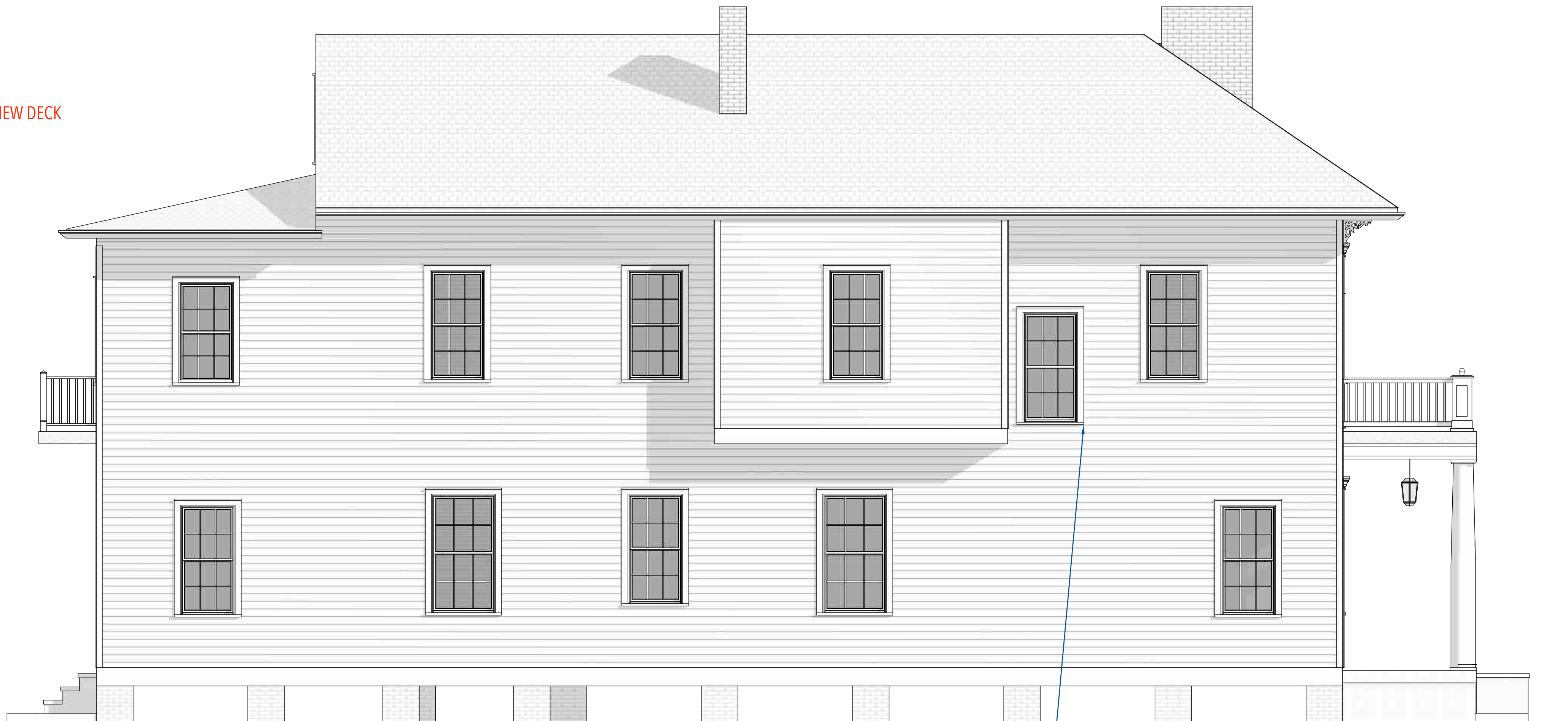
2 RIGHT SIDE ELEVATION  
SCALE - 1/4" = 1'0"

WINDOW TO BE REMOVED TO PROVIDE OPENING SPACE WITHIN REQUIRED 3'-0" SETBACK FOR NEW PROPOSED DORMER WINDOW  
\*Infill wall and tooth in new siding to match existing in material and dimension. Transition between new and old siding should be seamless.



3 REAR ELEVATION  
SCALE - 1/4" = 1'0"

REMOVE ROOF FOR NEW DECK



4 LEFT SIDE ELEVATION  
SCALE - 1/4" = 1'0"

WINDOW TO BE REMOVED TO PROVIDE OPENING SPACE WITHIN REQUIRED 3'-0" SETBACK FOR NEW PROPOSED DORMER WINDOW  
\*Infill wall and tooth in new siding to match existing in material and dimension. Transition between new and old siding should be seamless.

DRAWING SIZE: 11x15 PAPER SIZE: 4x36 USE 2X SMALLER SCALE FOR 12x18



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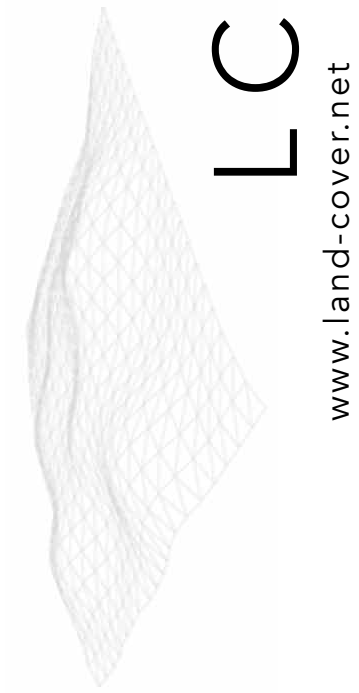
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Existing Building  
Elevations





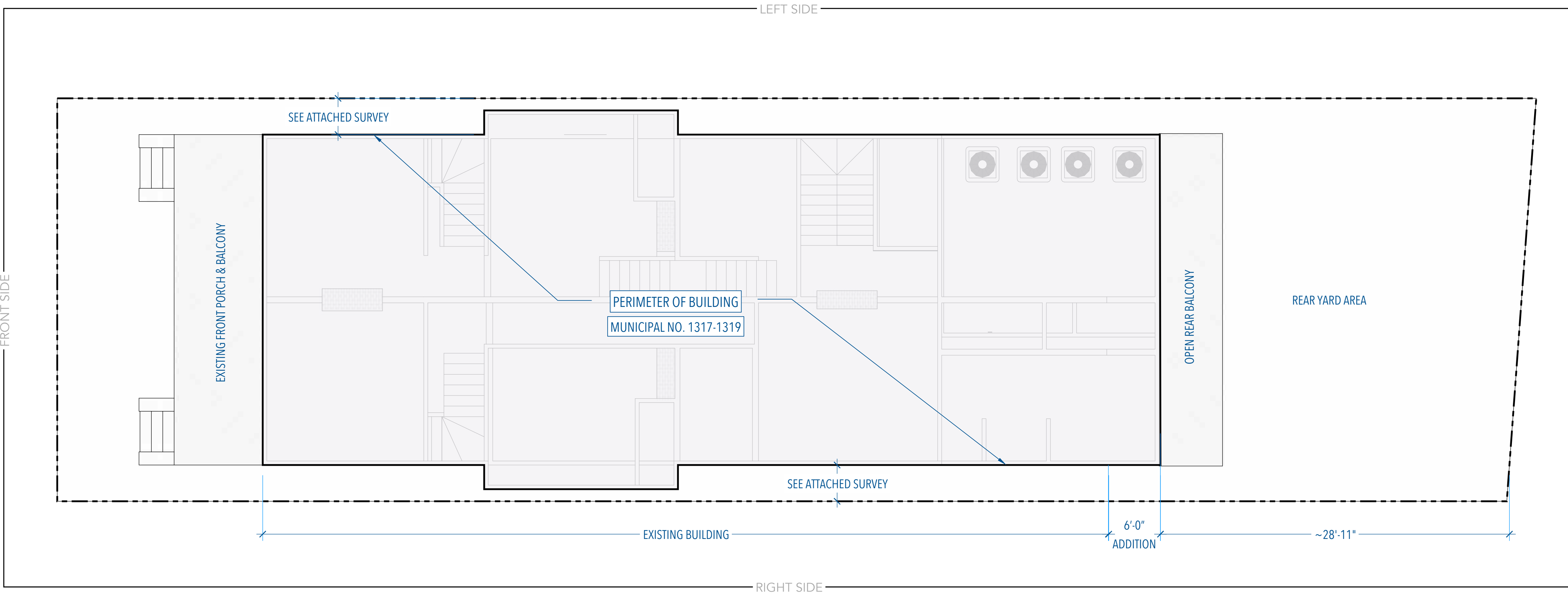
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ZONING INFORMATION:

ZONING/DISTRICT:  
HU-RD2

TOTAL PROPOSED FLOOR AREA:  
4,938ft<sup>2</sup> (+ 328ft<sup>2</sup>)

PROPOSED SETBACKS:  
10'- 1" FRONT SIDE (no change)  
28'-11" REAR SIDE (-6'-0")  
SEE SURVEY LEFT SIDE (no change)  
SEE SURVEY RIGHT SIDE (no change)

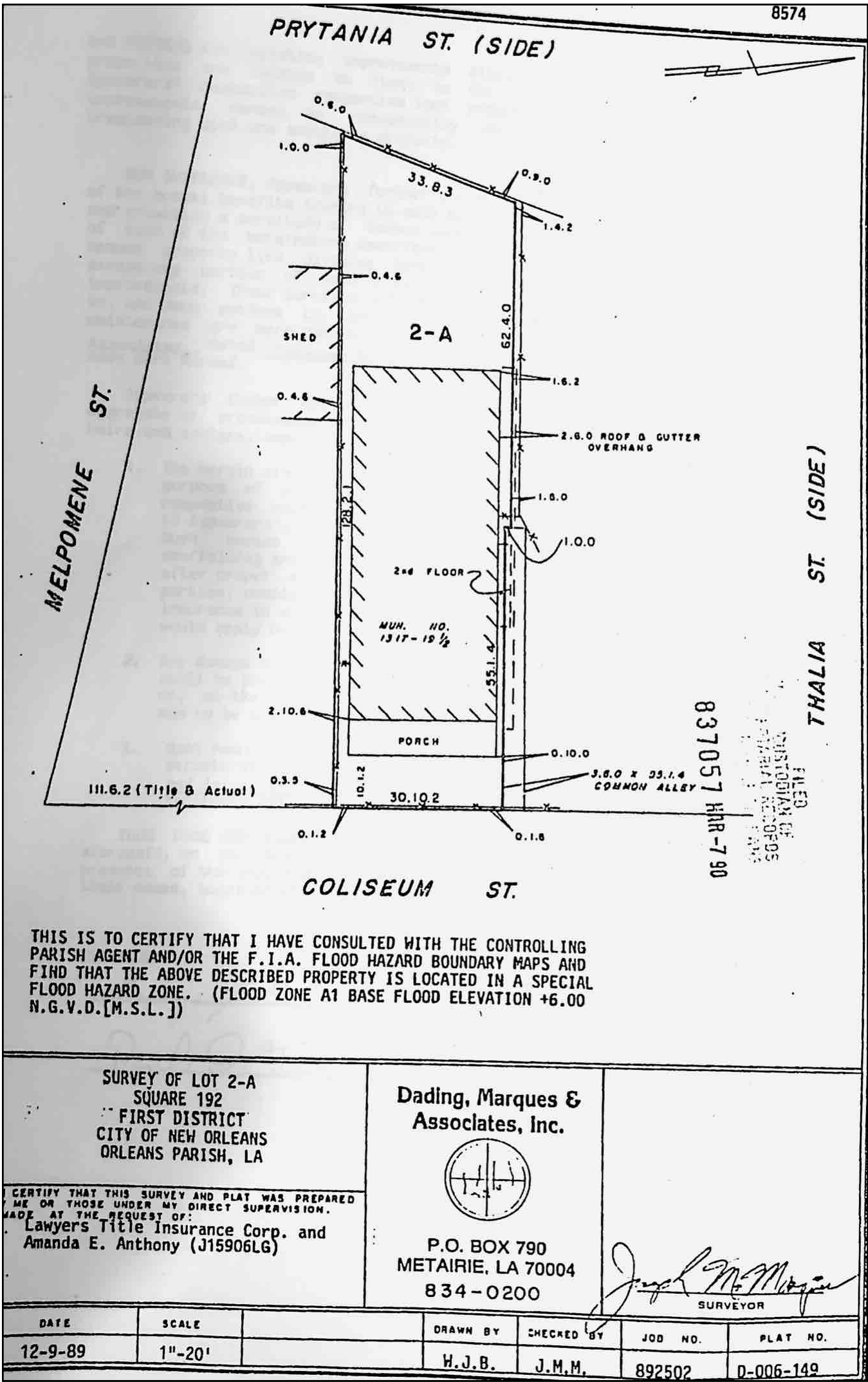
PROPOSED HEIGHT:  
~32'- 0" (no change)

GENERAL NOTES:

OWNER SHALL OBTAIN APPROVAL FROM THE DEPARTMENT OF PROPERTY MANAGEMENT FOR ALL ENCROACHMENTS ON/OVER PUBLIC PROPERTY, WHETHER EXISTING OR NEW.

SITE PLAN INFORMATION TAKEN FROM ATTACHED SURVEY

1 PROPOSED SITE PLAN  
SCALE - 3/16" = 1'0"



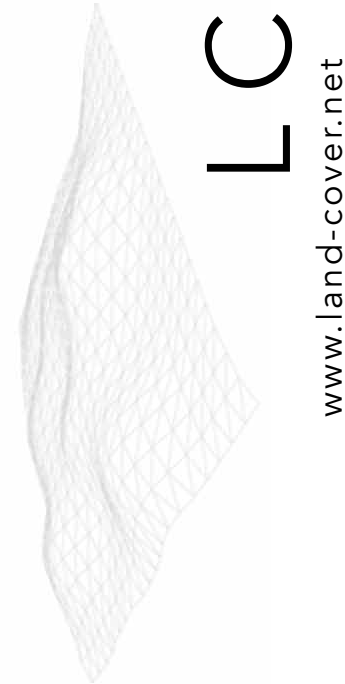
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PROJECT  
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1317A - 1319B Coliseum St.  
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Proposed Site Plan &  
Zoning Info





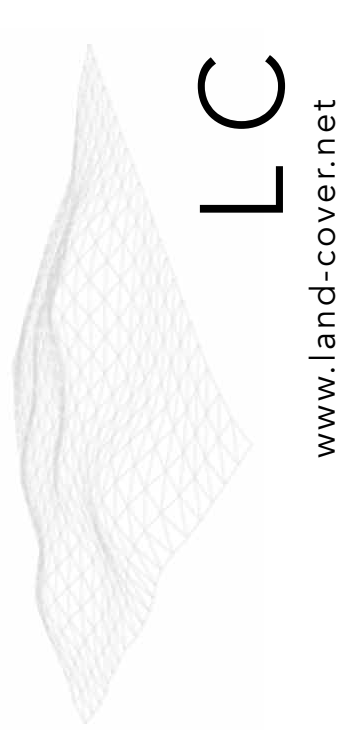
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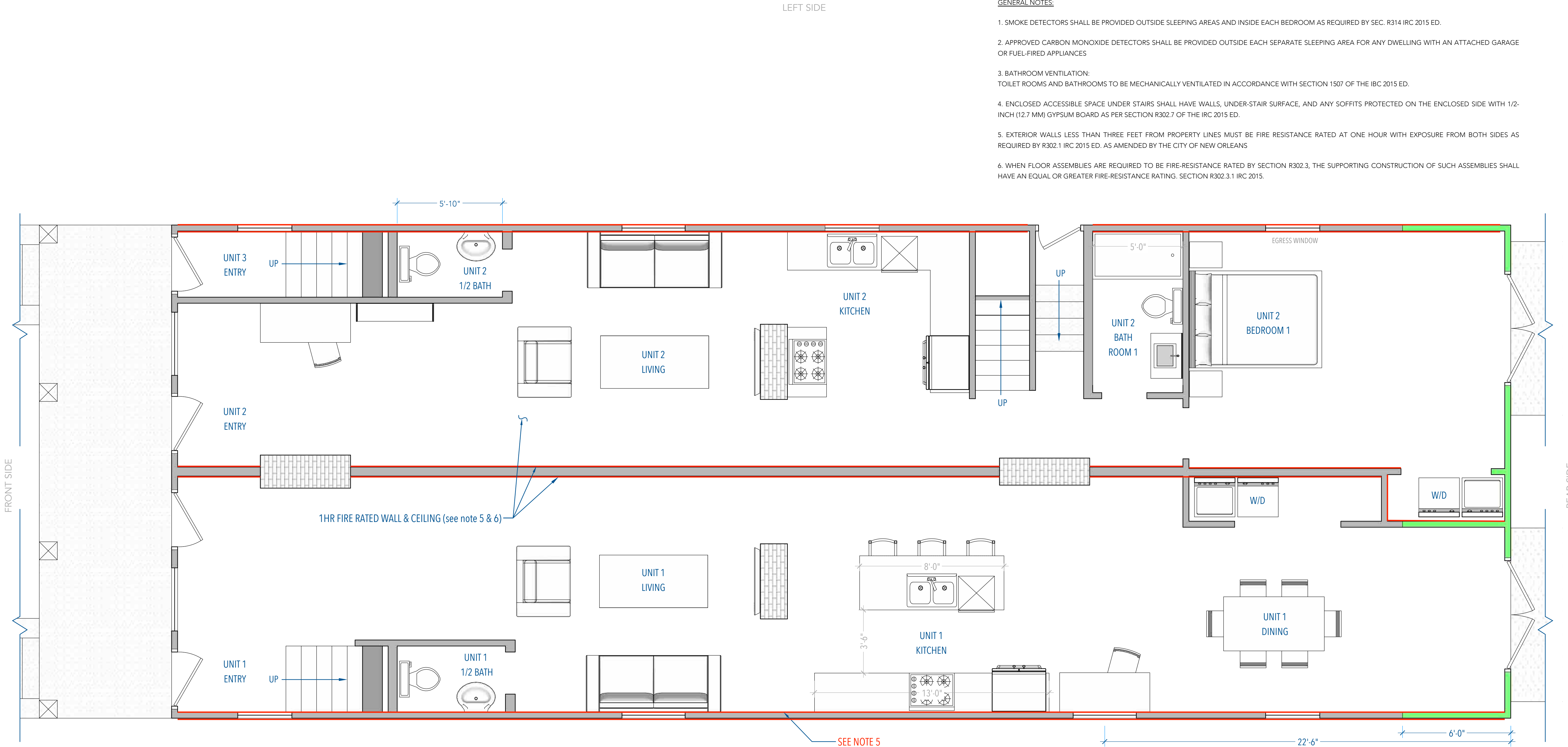
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1 PROPOSED 1ST FLOOR PLAN - 2,028ft²  
SCALE - 1/4" = 1'0"

# Proposed 1st Floor Plan

DRAWING SIZE: 11x17 INCHES. PAPER SIZE: 11x17 INCHES. USE 2X SMALLER SCALE FOR 12x18





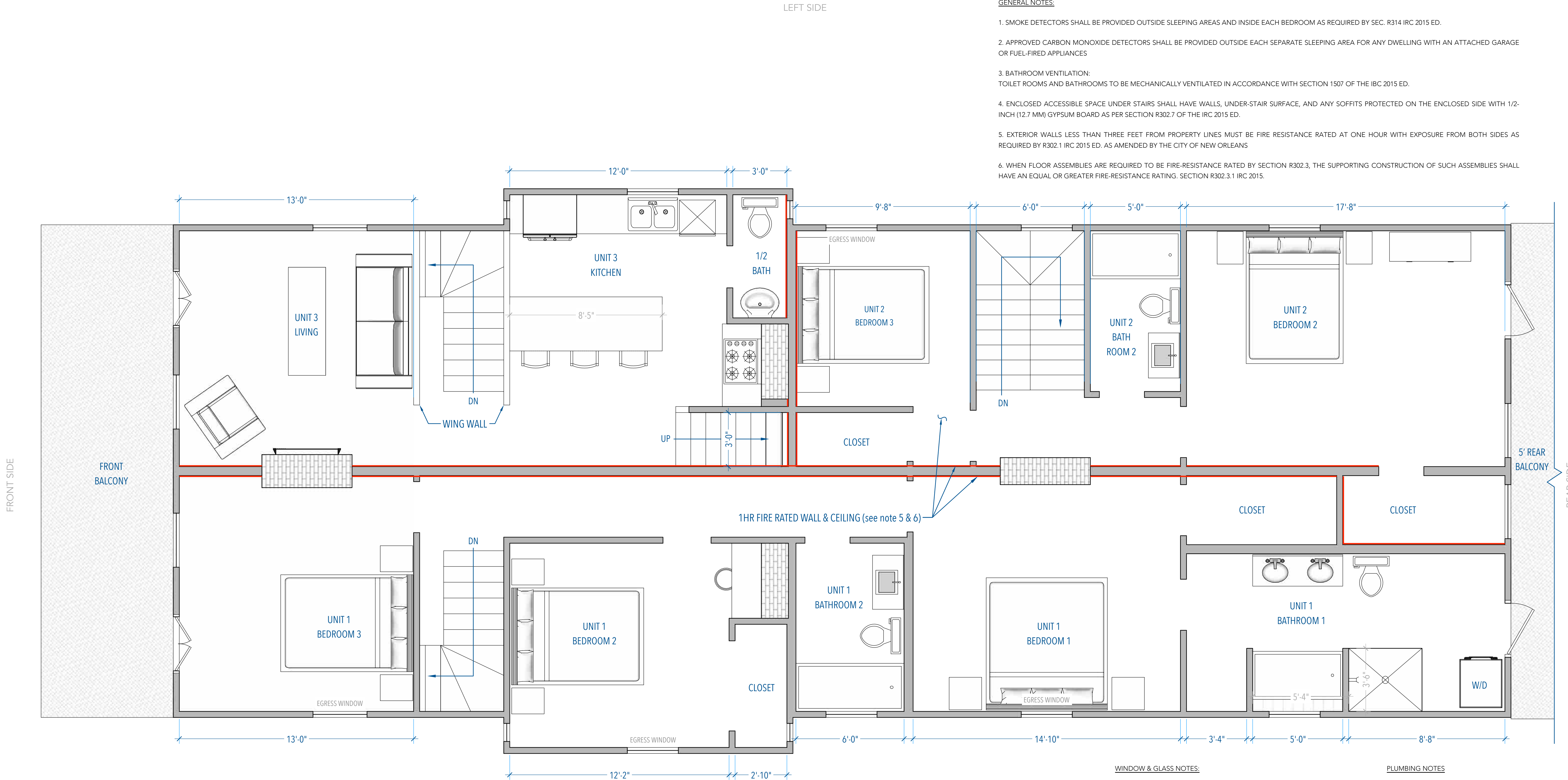
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1 PROPOSED 2ND FLOOR PLAN - 2,092ft<sup>2</sup>  
SCALE - 1/4" = 1'0"

GENERAL NOTES:

1. SMOKE DETECTORS SHALL BE PROVIDED OUTSIDE SLEEPING AREAS AND INSIDE EACH BEDROOM AS REQUIRED BY SEC. R314 IRC 2015 ED.
2. APPROVED CARBON MONOXIDE DETECTORS SHALL BE PROVIDED OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES
3. BATHROOM VENTILATION:  
TOILET ROOMS AND BATHROOMS TO BE MECHANICALLY VENTILATED IN ACCORDANCE WITH SECTION 1507 OF THE IRC 2015 ED.
4. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD AS PER SECTION R302.7 OF THE IRC 2015 ED.
5. EXTERIOR WALLS LESS THAN THREE FEET FROM PROPERTY LINES MUST BE FIRE RESISTANCE RATED AT ONE HOUR WITH EXPOSURE FROM BOTH SIDES AS REQUIRED BY R302.1 IRC 2015 ED. AS AMENDED BY THE CITY OF NEW ORLEANS
6. WHEN FLOOR ASSEMBLIES ARE REQUIRED TO BE FIRE-RESISTANCE RATED BY SECTION R302.3, THE SUPPORTING CONSTRUCTION OF SUCH ASSEMBLIES SHALL HAVE AN EQUAL OR GREATER FIRE-RESISTANCE RATING. SECTION R302.3.1 IRC 2015.

WINDOW & GLASS NOTES:

1. ALL WINDOW SIZES ARE APPROXIMATE AND/OR SELECTED BY OWNER. VERIFY WITH WINDOW MANUFACTURER FOR AVAILABLE SELECTIONS AND SIZING.
2. ALL GLASS IN EXTERIOR DOORS AND WINDOWS TO BE DOUBLE GLAZED.
3. WINDOWS IN BUILDINGS LOCATED IN WIND BORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND BORNE DEBRIS. WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 1/2" AND MAX SPAN OF 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT PROVIDED.
4. IMPACT RESISTANT GLASS TO MEET ASTM E-1886 AND E-1996/WMDA HALLMARK PROGRAM.
5. MINIMUM OPENING AREA OF EGRESS WINDOW TO BE 5.7 SQUARE FEET. BOTTOM OF EGRESS WINDOW NOT TO EXCEED 44" FROM THE FINISHED FLOOR. MINIMUM EGRESS WINDOW OPENING SIZE IS 24" HIGH & 20" WIDE.
6. WINDOWS INSTALLED IN BATHTUB ENCLOSURES, LESS THAN 60" FROM THE FLOOR, REQUIRE SAFETY GLAZING IN ACCORDANCE WITH SECTION R308.4.5 OF THE IRC 2015 ED.
7. NEW WINDOWS INSTALLED IN STAIR ENCLOSURES AND WITHIN 5 FT. OF BOTTOM OF STAIRS REQUIRE SAFETY GLAZING PER R308.4.6, IRC 2015 ED.

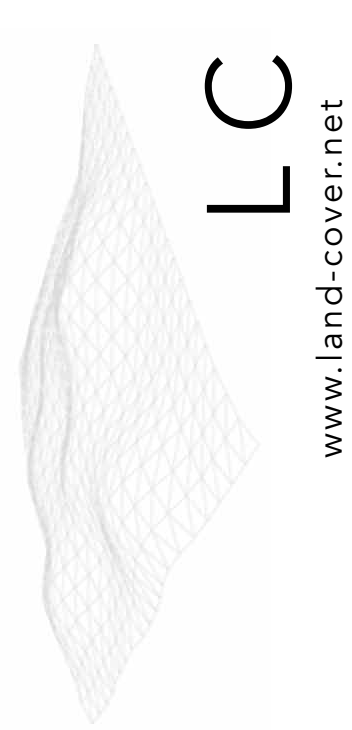
PLUMBING NOTES

1. GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING DESIGN/BUILD PLUMBING SERVICES FOR PROJECT.
2. WORK TO COMPLY WITH ALL APPLICABLE CODES. WORK TO BE COORDINATED AND REVIEWED FOR COMPLIANCE WITH DESIGN REQUIREMENTS PRIOR TO INSTALL.
3. ALL WORK SHALL BE PERFORMED BY INDIVIDUALS LICENSED TO PERFORM THEIR SAID WORK, AS OUTLINED BY LAW.
4. SEE FLOOR PLAN FOR BASIC PLUMBING FIXTURES. NOT ALL EQUIPMENT AND FIXTURES ARE SHOWN OR NOTED, PLUMBING CONTRACTOR TO PROVIDE ALL NECESSARY PARTS AND EQUIPMENT FOR COMPLETE INSTALLATION.
5. HOT WATER AND DRAIN PIPES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
6. ALL WET WALLS TO USE 2x6 FRAMING TO ACCOMMODATE DRAIN, VENT & WATER LINES.

DRAWING SIZE: 11x17 1/2" (4x36) PAPER SIZE: USE 2X SMALLER SCALE FOR 12x18



RIGHT SIDE



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PROJECT	ISSUE	ENGINEER	CLIENT
Structural Renovation 1317A - 1319B Coliseum St. New Orleans, LA 70130	10.21.21 DRAWN BY Land Cover	Thomas M. Smith P.E Civil Engineer 6516 Boutall St, Metairie, LA 504-887-3882/504-247-6294	Azzam Massassati Address New Orleans, LA 70

Proposed 2nd Floor  
Plan



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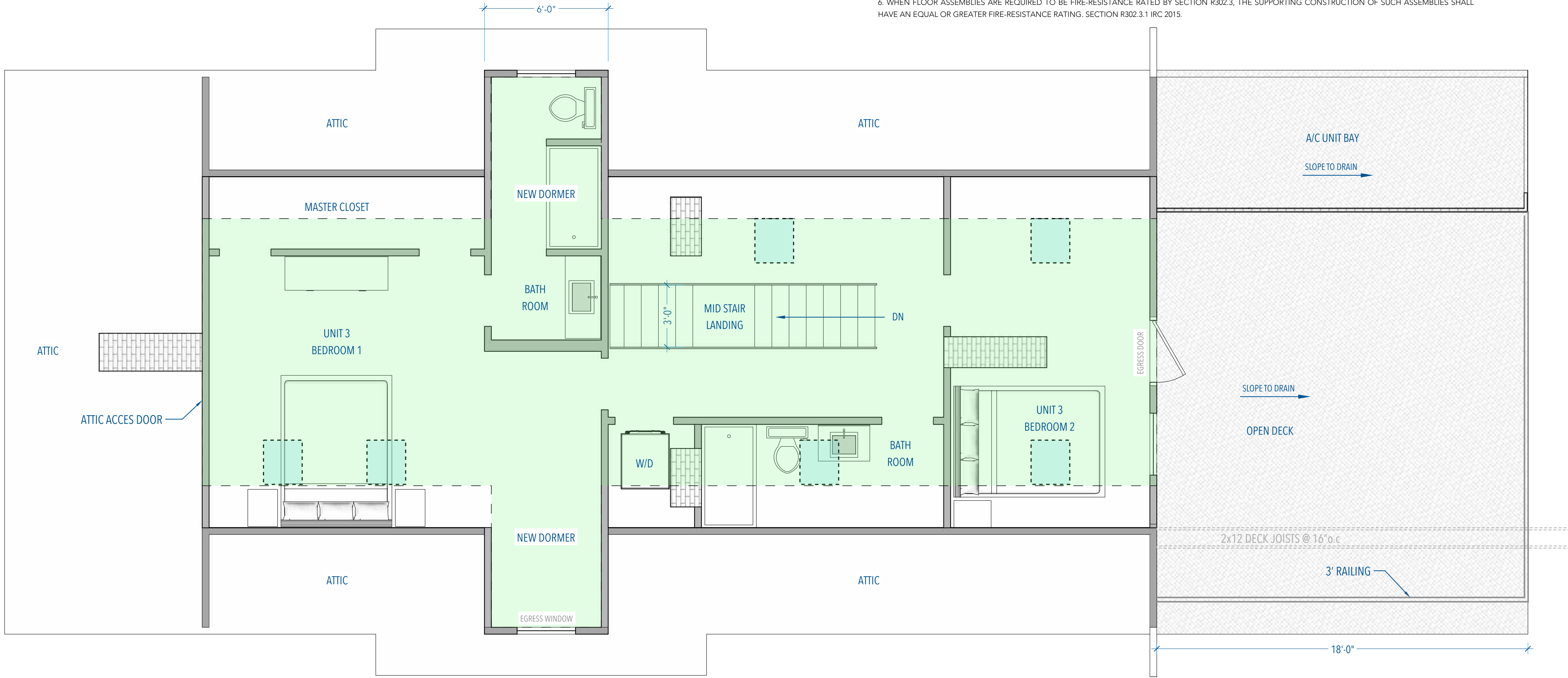
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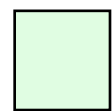
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FRONT SIDE



1 PROPOSED 3RD FLOOR PLAN - 600ft²  
SCALE - 1/4" = 1'0"

LEGEND:



6' - 8" MIN. CEILING HEIGHT



SKYLIGHT

WINDOW & GLASS NOTES:

1. ALL WINDOW SIZES ARE APPROXIMATE AND/OR SELECTED BY OWNER. VERIFY WITH WINDOW MANUFACTURER FOR AVAILABLE SELECTIONS AND SIZING.
2. ALL GLASS IN EXTERIOR DOORS AND WINDOWS TO BE DOUBLE GLAZED.
3. WINDOWS IN BUILDINGS LOCATED IN WIND BORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND BORNE DEBRIS. WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 1/2" AND MAX SPAN OF 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT PROVIDED.
4. IMPACT RESISTANT GLASS TO MEET ASTM E-1886 AND E-1996/WMMA HALLMARK PROGRAM.
5. MINIMUM OPENING AREA OF EGRESS WINDOW TO BE 5.7 SQUARE FEET. BOTTOM OF EGRESS WINDOW NOT TO EXCEED 44" FROM THE FINISHED FLOOR. MINIMUM EGRESS WINDOW OPENING SIZE IS 24" HIGH & 20" WIDE.
6. WINDOWS INSTALLED IN BATHTUB ENCLOSURES, LESS THAN 60" FROM THE FLOOR, REQUIRE SAFETY GLAZING IN ACCORDANCE WITH SECTION R308.4.5 OF THE IRC 2015 ED.
7. NEW WINDOWS INSTALLED IN STAIR ENCLOSURES AND WITHIN 5 FT. OF BOTTOM OF STAIRS REQUIRE SAFETY GLAZING PER R308.4.6, IRC 2015 ED.

PLUMBING NOTES

1. GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING DESIGN/BUILD PLUMBING SERVICES FOR PROJECT.
2. WORK TO COMPLY WITH ALL APPLICABLE CODES. WORK TO BE COORDINATED AND REVIEWED FOR COMPLIANCE WITH DESIGN REQUIREMENTS PRIOR TO INSTALL.
3. ALL WORK SHALL BE PERFORMED BY INDIVIDUALS LICENSED TO PERFORM THEIR SAID WORK, AS OUTLINED BY LAW.
4. SEE FLOOR PLAN FOR BASIC PLUMBING FIXTURES. NOT ALL EQUIPMENT AND FIXTURES ARE SHOWN OR NOTED, PLUMBING CONTRACTOR TO PROVIDE ALL NECESSARY PARTS AND EQUIPMENT FOR COMPLETE INSTALLATION.
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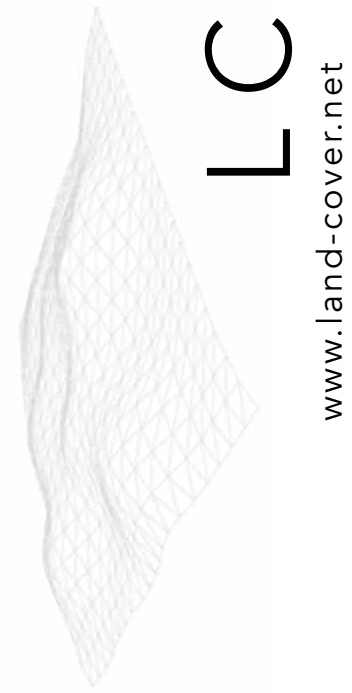
LEFT SIDE

RIGHT SIDE

REAR SIDE

PROJECT	ISSUE	ENGINEER	CLIENT
Structural Renovation 1317A - 1319B Coliseum St. New Orleans, LA 70130	10.21.21 DRAWN BY Land Cover	Thomas M. Smith P.E Civil Engineer 6516 Boutall St, Metairie, LA 504-887-3882/504-247-6294 504-	Azzam Massassati Address New Orleans, LA 70

Proposed 3rd Floor  
Plan





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HDLC NOTES:

1. ALL NEW PLUMBING VENTS TO BE LOCATED OUT OF VIEW FROM PUBLIC RIGHT OF WAY
2. REPAIR OR REPLACE IN KIND DETERIORATED OR MISSING PORCH DECKING
3. REPAIR OR REPLACE IN KIND DETERIORATED OR MISSING PORCH RAILINGS
4. REPAIR OR REPLACE IN KIND MISSING OR DETERIORATED COLUMNS
5. REPAIR OR REPLACE IN KIND MISSING GLAZING IN WINDOWS
6. REPAIR OR REPLACE IN KIND MISSING OR DETERIORATED WEATHERBOARDS

7. REPAIR OR REPLACE IN KIND MISSING OR DETERIORATED GUTTERS AND/OR DOWNSPOUTS.
8. REPAIR OR REPLACE IN KIND DETERIORATED SOFFIT AND FASCIA

DRAWING SIZE: 11x17 1/2" (4x36) PAPER SIZE: USE 2X SMALLER SCALE FOR 12x18



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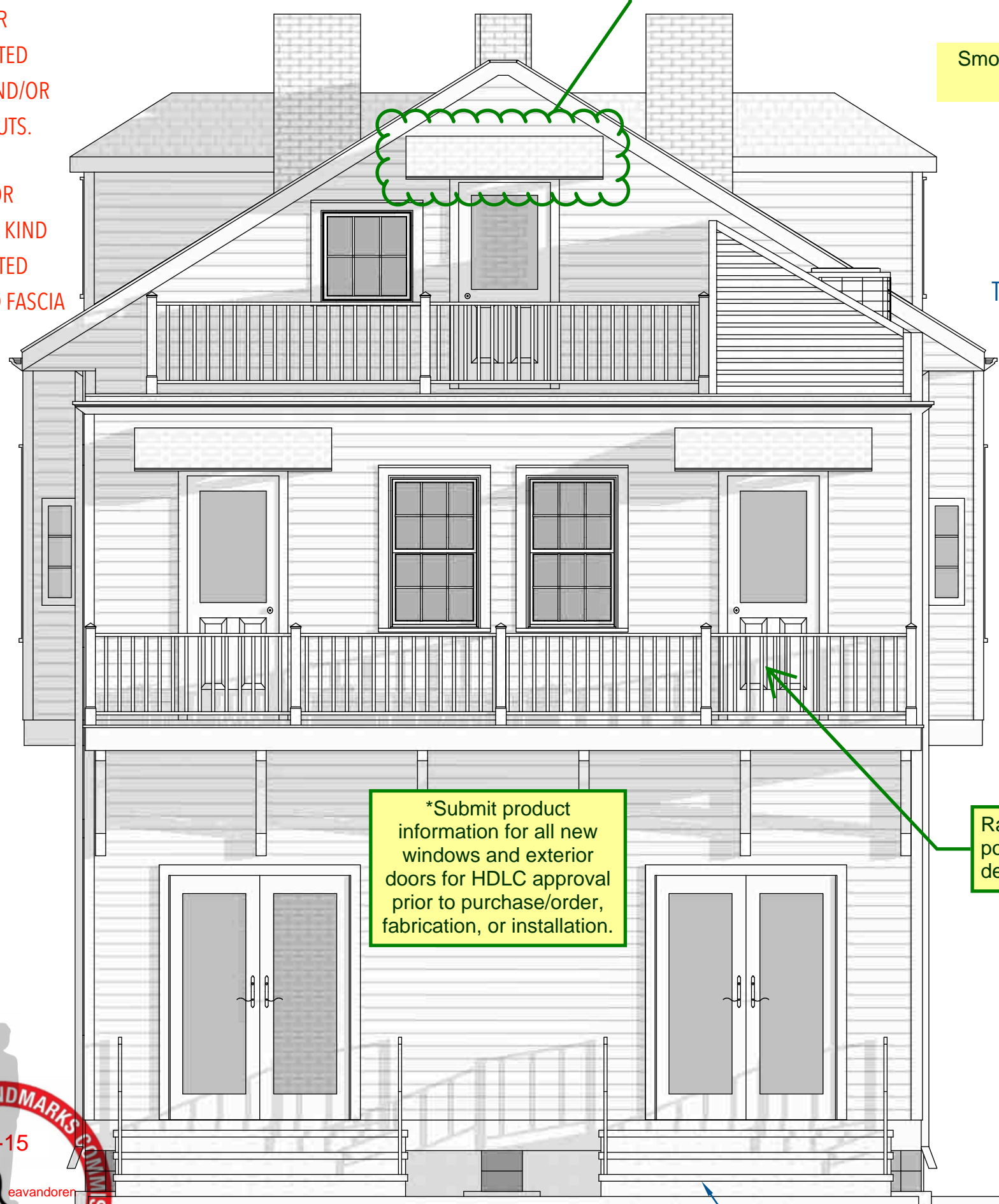
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1 FRONT ELEVATION  
SCALE - 1/4" = 1'0"



2 RIGHT SIDE ELEVATION  
SCALE - 1/4" = 1'0"



3 REAR ELEVATION  
SCALE - 1/4" = 1'0"

PAINTED TREATED 2x4 & BRACKET AWNING W/ SHINGLES TO MATCH ROOF (TYP.)

A/C BAY PRIVACY/SOUND WALL  
Smooth-finish Hardie panel backing. Seams between boards to be equally-spaced.

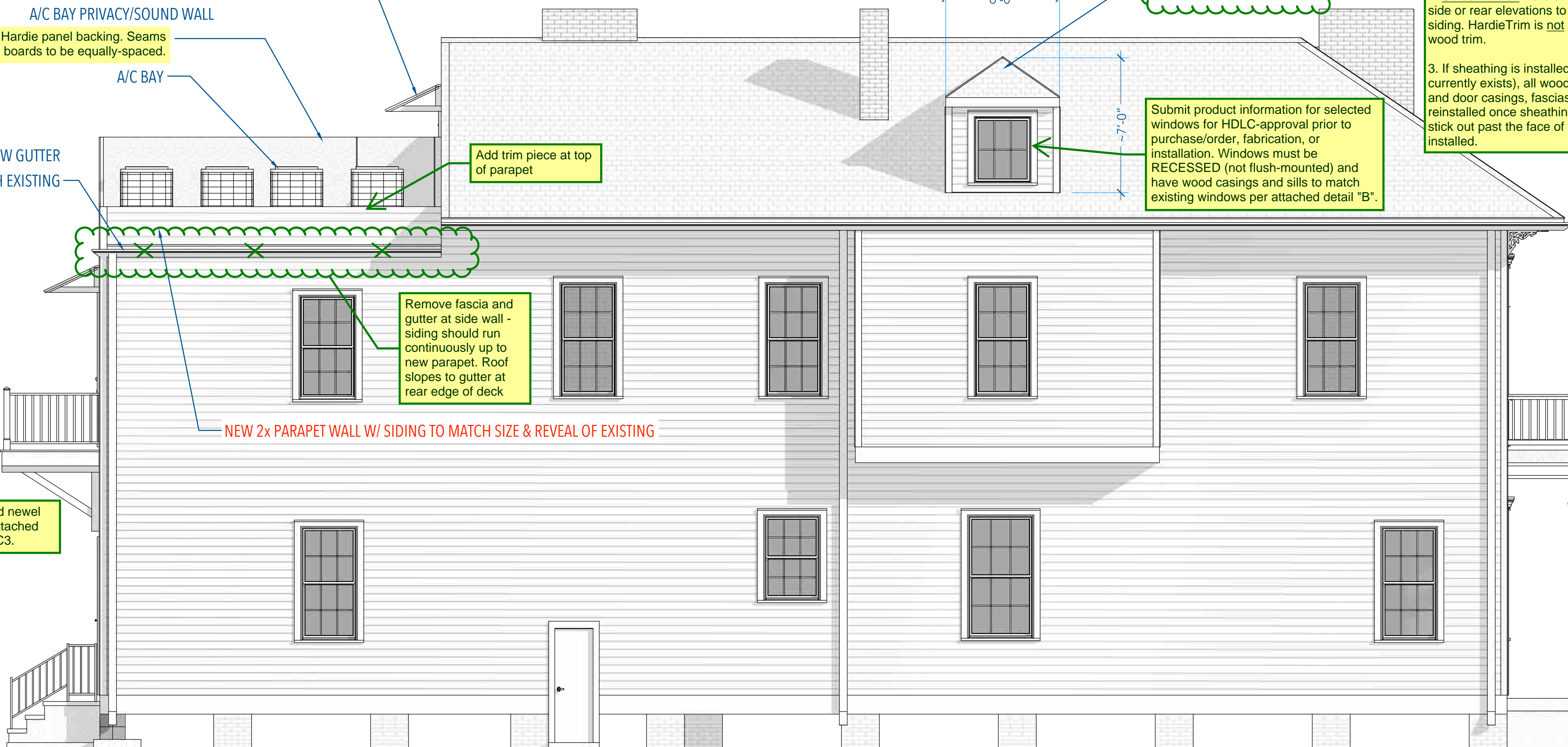
NEW GUTTER TO MATCH EXISTING

A/C BAY

Add trim piece at top of parapet

Remove fascia and gutter at side wall - siding should run continuously up to new parapet. Roof slopes to gutter at rear edge of deck

NEW 2x PARAPET WALL W/ SIDING TO MATCH SIZE & REVEAL OF EXISTING



4 LEFT SIDE ELEVATION  
SCALE - 1/4" = 1'0"

**HDLC Notes:**  
1. All repair/replace work listed at left to match existing condition in material, dimension, configuration, texture, profile, relief, and detail.  
2. Smooth-finish HardiePlank siding may be used at side or rear elevations to match exposure of existing siding. HardieTrim is not permitted for replacement of wood trim.  
3. If sheathing is installed under siding (where none currently exists), all wood trim (cornerboards, window and door casings, fascias, etc.) must be removed and reinstalled once sheathing is in place. The trim must stick out past the face of the siding after sheathing is installed.

**Revised**  
11/15/2021  
www.landcoverllc.com

**CLIENT**  
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**ENGINEER**  
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Civil Engineer  
6516 Boutall St, Metairie, LA  
504-887-3882/504-247-6294 504-

**ISSUE**  
11.11.21

**DRAWN BY**  
Land Cover

**PROJECT**  
Structural Renovation  
1317A - 1319B Coliseum St.  
New Orleans, LA 70130

Proposed Building  
Elevations



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1 RIGHT SIDE SECTION  
SCALE - N.T.S

DRAWING SIZE: 11x15 4x36 PAPER SIZE: USE 2X SMALLER SCALE FOR 12x18



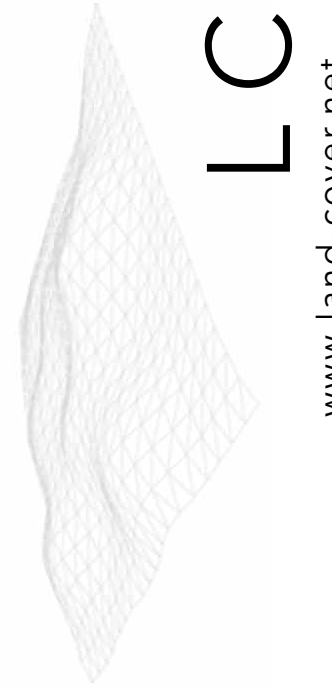
**PROJECT**  
Structural Renovation  
1317A - 1319B Coliseum St.  
New Orleans, LA 70130

**ISSUE**  
10.21.21

**DRAWN BY**  
Land Cover

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Address  
New Orleans, LA 70150





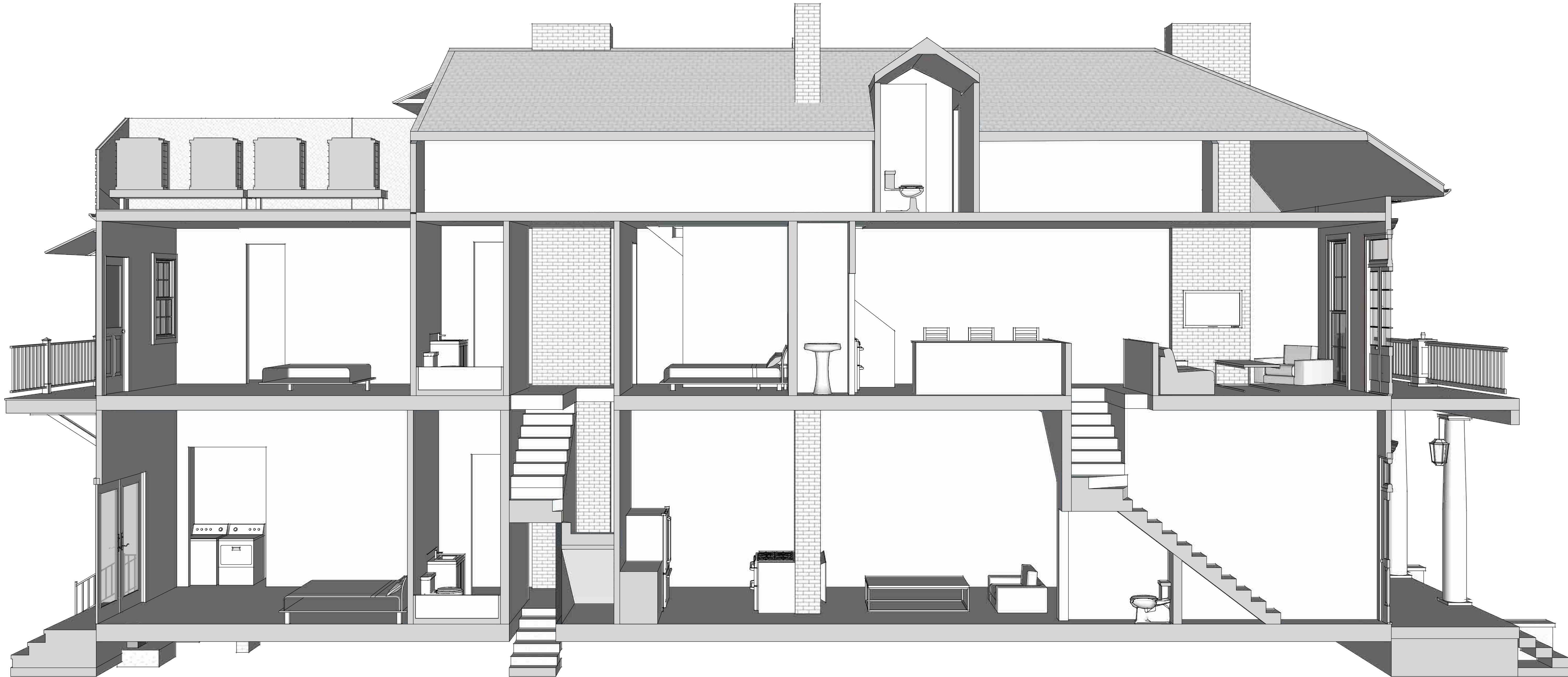
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1 LEFT SIDE SECTION  
SCALE - N.T.S

DRAWING SIZE: 11x17 1/2 (4x36) PAPER SIZE: USE 2X SMALLER SCALE FOR 12x18

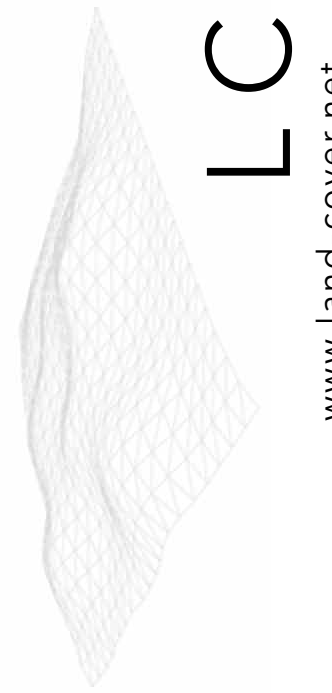


PROJECT	Structural Renovation	ENGINEER	Thomas M. Smith P.E.	CLIENT	Azzam Massassati
	1317A - 1319B Coliseum St. New Orleans, LA 70130		Civil Engineer 6516 Boutall St, Metairie, LA 504-887-3882/504-247-6294 504-		Address New Orleans, LA 70

ISSUE  
10.21.21

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Left Side Section



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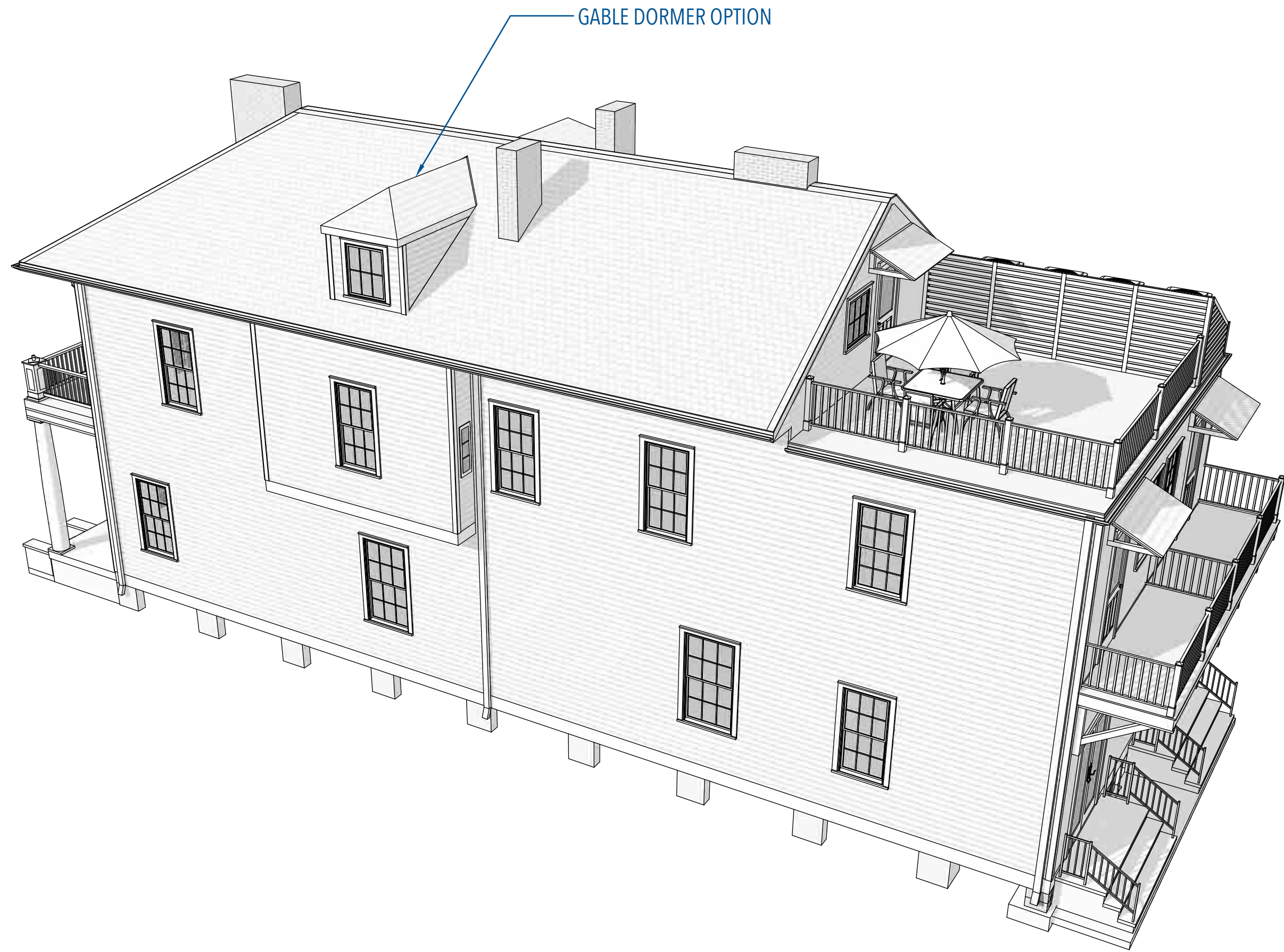
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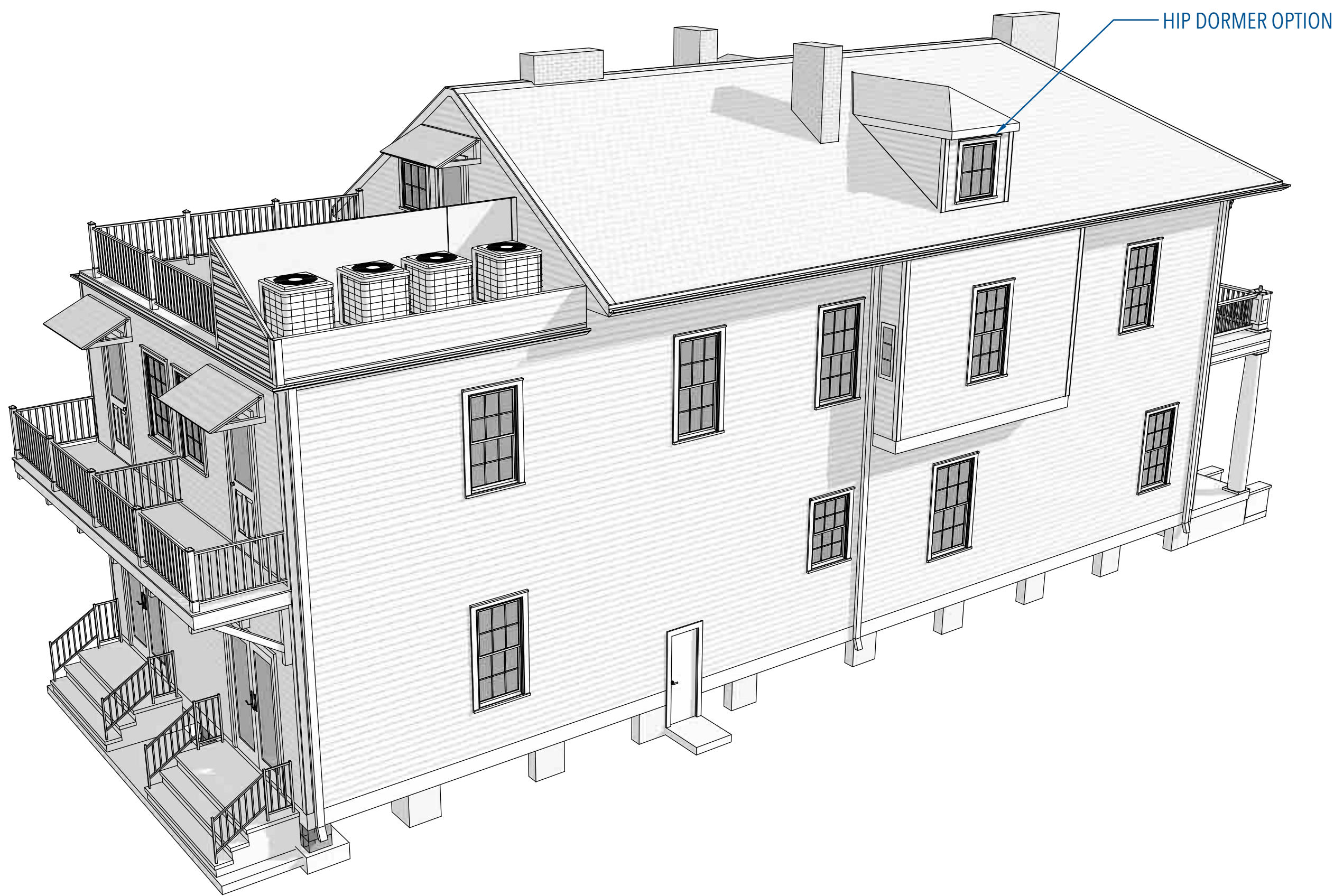
1 FRONT PERSPECTIVE  
SCALE - N.T.S



2 RIGHT SIDE PERSPECTIVE  
SCALE - N.T.S



3 REAR PERSPECTIVE  
SCALE - N.T.S



4 LEFT SIDE PERSPECTIVE  
SCALE - N.T.S

PROJECT  
Structural Renovation  
1317A - 1319B Coliseum St.  
New Orleans, LA 70130

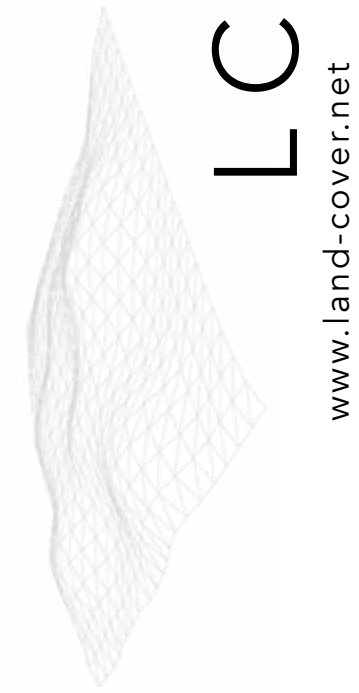
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ENGINEER  
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Civil Engineer  
6516 Boutall St, Metairie, LA  
504-887-3882/504-247-6294

CLIENT  
Azzam Massassati  
Address  
New Orleans, LA 70

## Proposed Exterior Perspectives





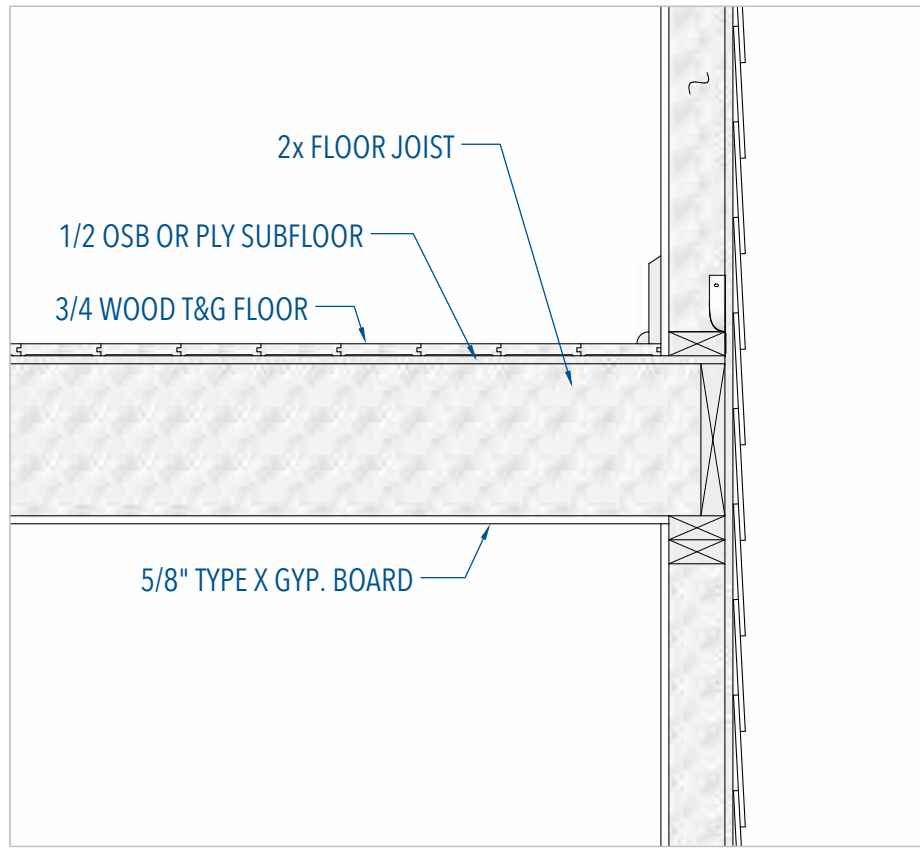
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1HR. FIRE RATED FLOOR/CEILING

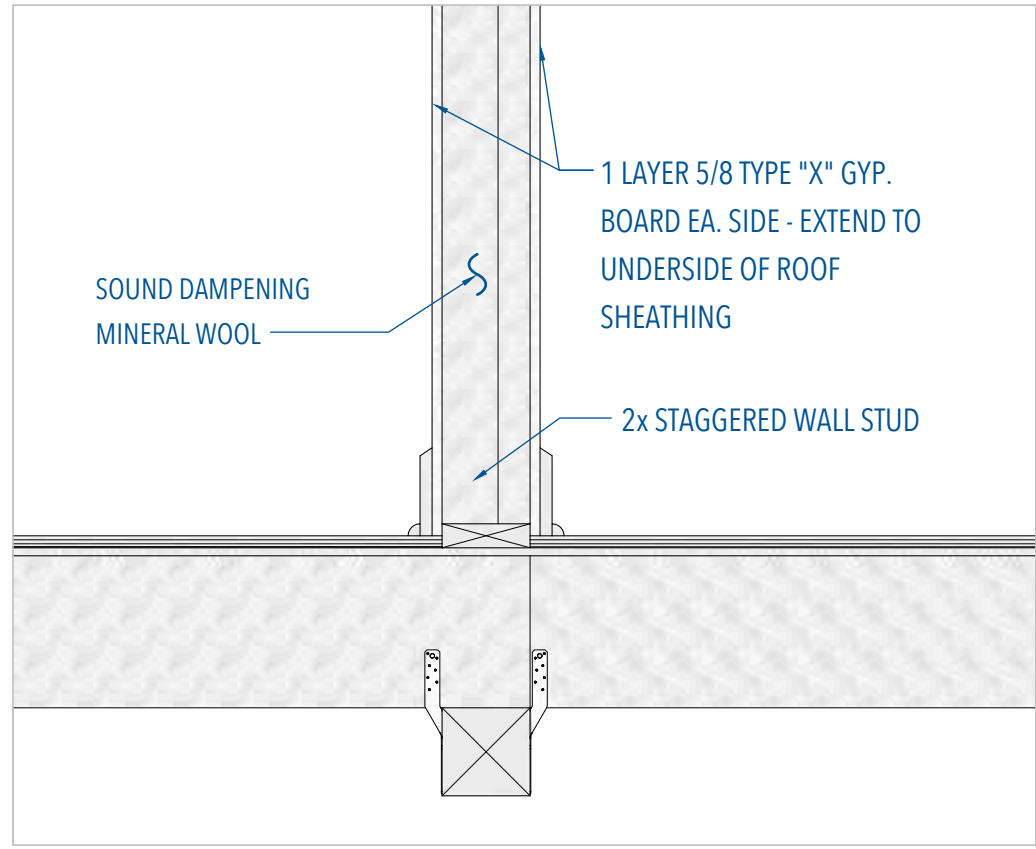
SCALE - 1"=1'-0"

ENVELOPE NOTES:

1. INSTALL TYVEK HOUSE WRAP (OR EQUAL) OVER 1/2" CDX PLYWOOD ON EXTERIOR WALLS WITH FULL COVERAGE FROM SILL TO TOP PLATES. NAILING PATTERN TO BE: 6" O.C. ON EDGES AT 12" O.C. ON INTERIOR. UPLIFT+ SHEAR NAILING PATTERN (4" SECTION ON CORNERS) - DOUBLE ROW OF NAILS AT 6" ON HORIZONTAL EDGES, 6" O.C. ON VERTICAL EDGES AND 12" O.C. INTERIOR OF PANEL. LAP SHEATHING 12" BELOW GABLE ENDS.
2. HARDIE BOARD LAP SIDING AT ALL NEW EXTERIOR WALLS WITH SIDING EXPOSURE, WINDOW AND DOOR TRIM TO MATCH EXISTING.
3. CONTRACTOR TO CAULK AROUND ALL NEW DOORS AND WINDOWS TO ACHIEVE WEATHERTIGHT ENVELOPE PRIOR TO EXTERIOR PAINTING.
4. EXTERIOR WALLS TO HAVE A MIN. OF R-19 INSULATION (FIBERGLASS OR SPRAY FOAM). ALL SPACES WITHIN EXTERIOR FRAMING TO BE FILLED WITH INSULATION (CORNERS, OUTLETS, SWITCHES, PARTITION LEADS AROUND WINDOWS, ETC.) AS REQUIRED BY SECTION 1102 OF IRC 2015 ED.
5. EXTERIOR WALLS LESS THAN THREE FEET FROM PROPERTY LINES MUST BE FIRE RESISTANCE RATED AT ONE HOUR WITH EXPOSURE FROM BOTH SIDES AS REQUIRED BY R302.1 IRC 2015 ED. AS AMENDED BY THE CITY OF NEW ORLEANS

CONCRETE MASONRY UNITS (CMU) NOTES:

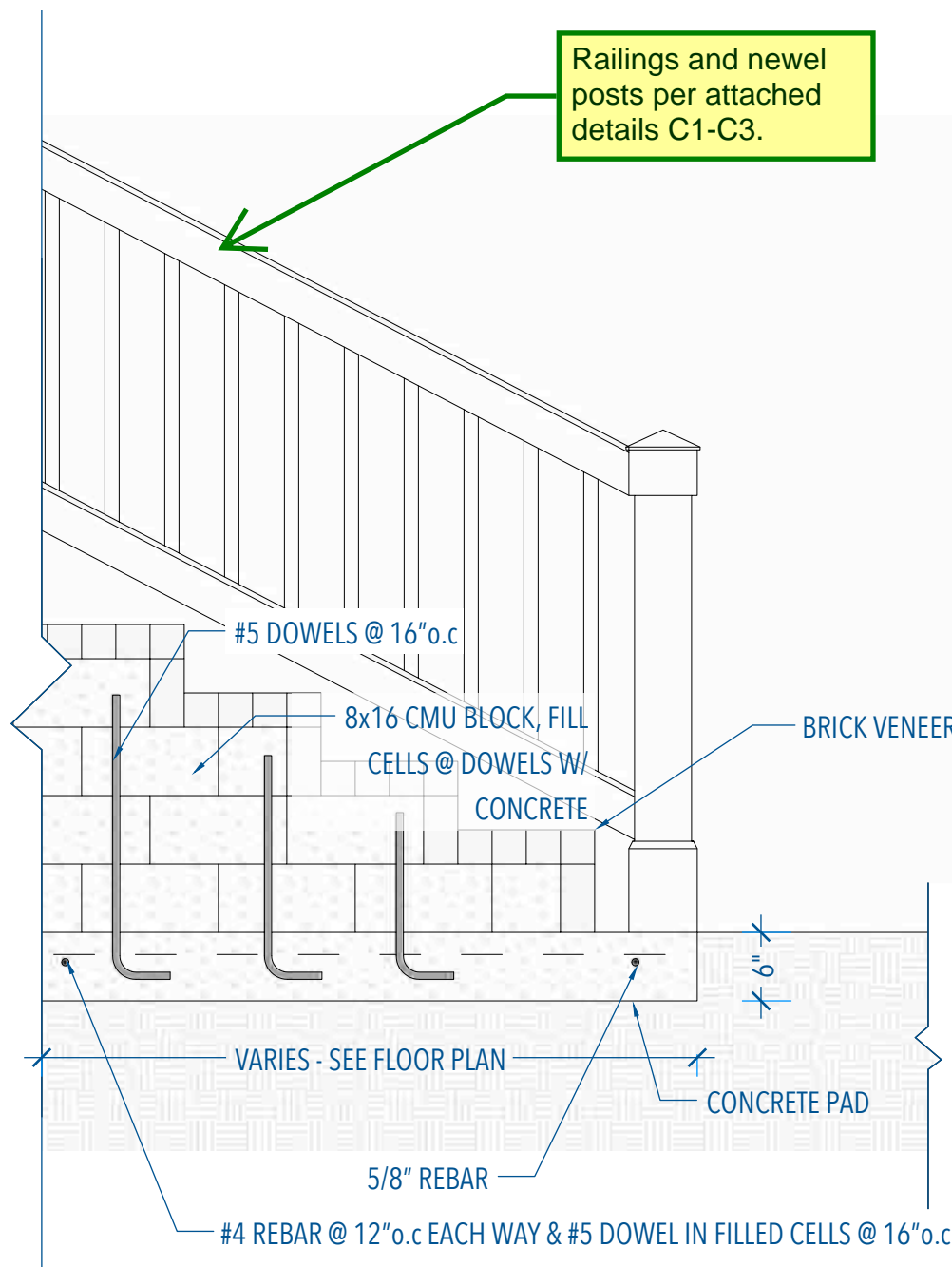
1. CONCRETE MASONRY UNITS: 8" CMU, ASTM C90 HOLLOW LOAD BEARING, TYPE 1, GRADE N-1.
2. MORTAR: ASTM C270, TYPE "M" OR "S"
3. REINFORCING STEEL: ASTM, A615, GRADE 60, LAP- SPLICE FOR #5 BARS EQUALS 24" MINIMUM.
4. GROUT: 3000 PSI MINIMUM COMPRESSIVE STRENGTH, PEA GRAVEL MIX, 5" MINIMUM SLUMP.
5. LAY CMU BLOCK IN RUNNING BOND.



1HR. FIRE RATED PARTITION WALL  
SECTION ELEVATION

SCALE - 1"=1'-0"

Wood siding may be replaced with smooth-finish HardiePlank at side and rear walls only; match exposure of existing



EXTERIOR STAIR SECTION

SCALE - 3/4"=1'-0"

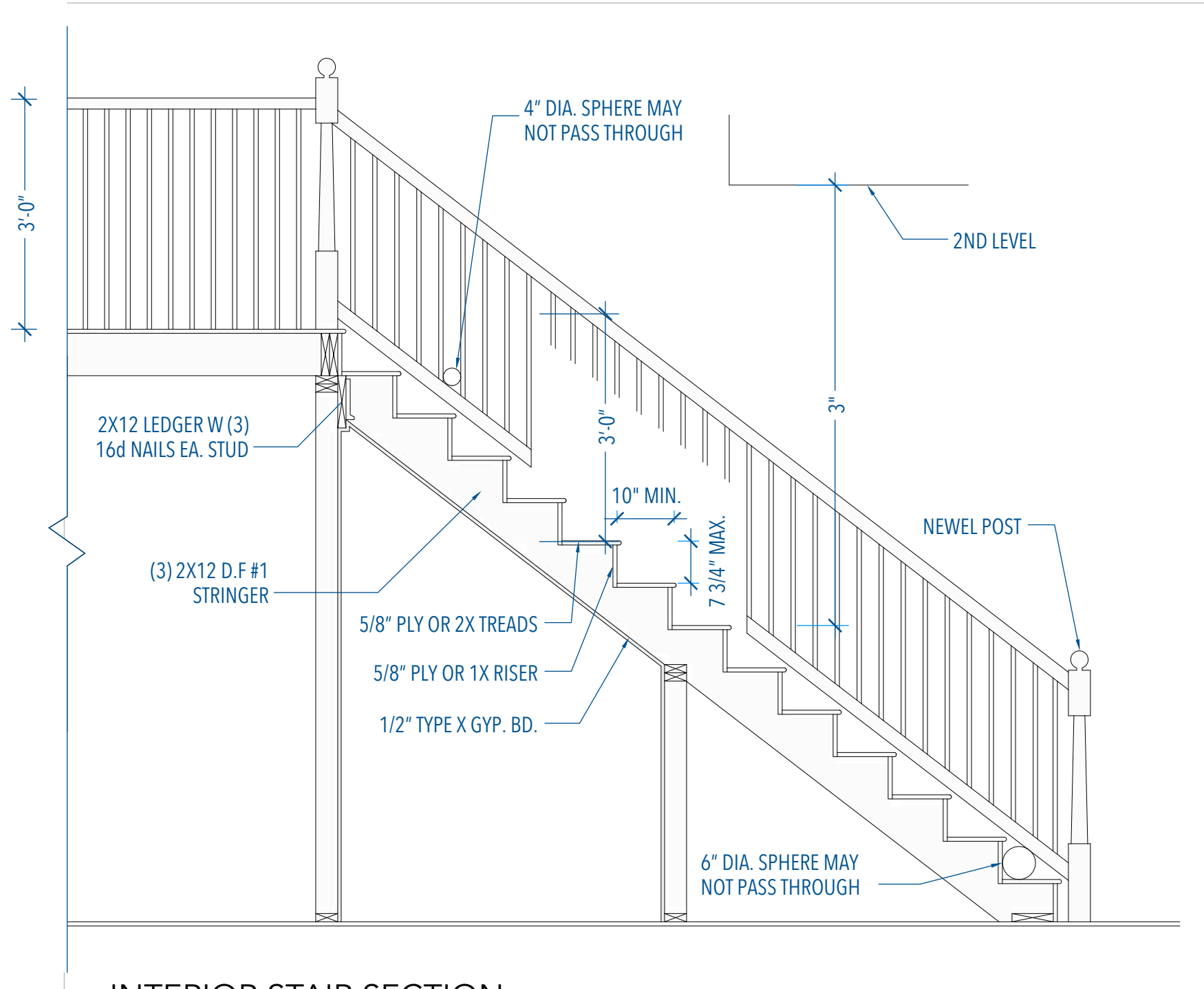
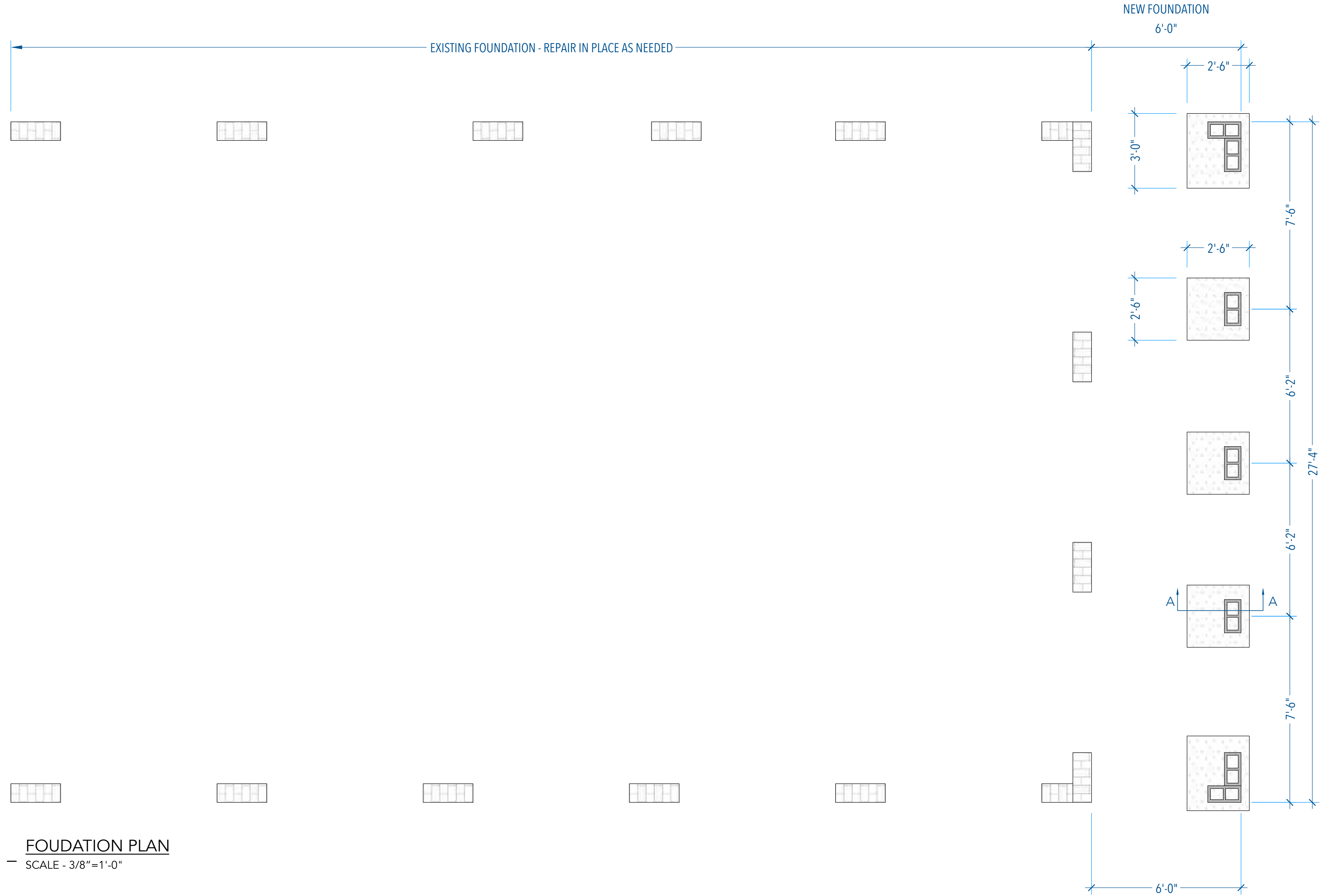
STAIR NOTES: MIN. TREAD WIDTH SHALL BE 10" MEASURED FROM NOSING TO NOSING. MAX RISER HEIGHT SHALL NOT EXCEED 7 3/4"

WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES. SEC.311.7.1 IRC 2012 ED.

RAILING NOTES: ALL FLOOR AREAS GREATER THAN 30" ABOVE GRADE SHALL HAVE GUARDRAILS NOT LESS THAN 36" TALL

FOUDATION PLAN

SCALE - 3/8"=1'-0"



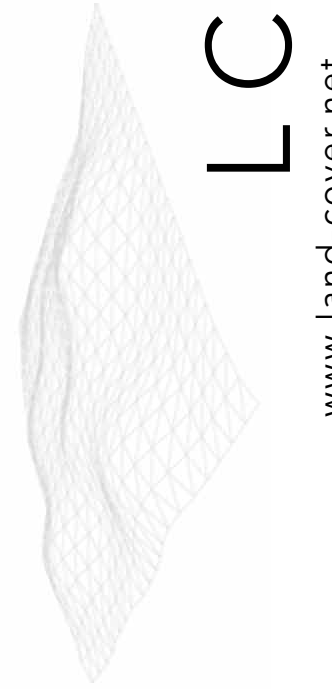
INTERIOR STAIR SECTION

SCALE - 1/2"=1'-0"

DRAWING PREPARED BY DISTRICT LANDMARKS DIVISION



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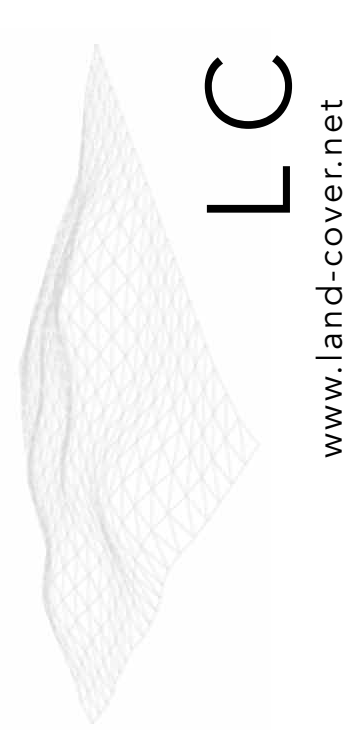
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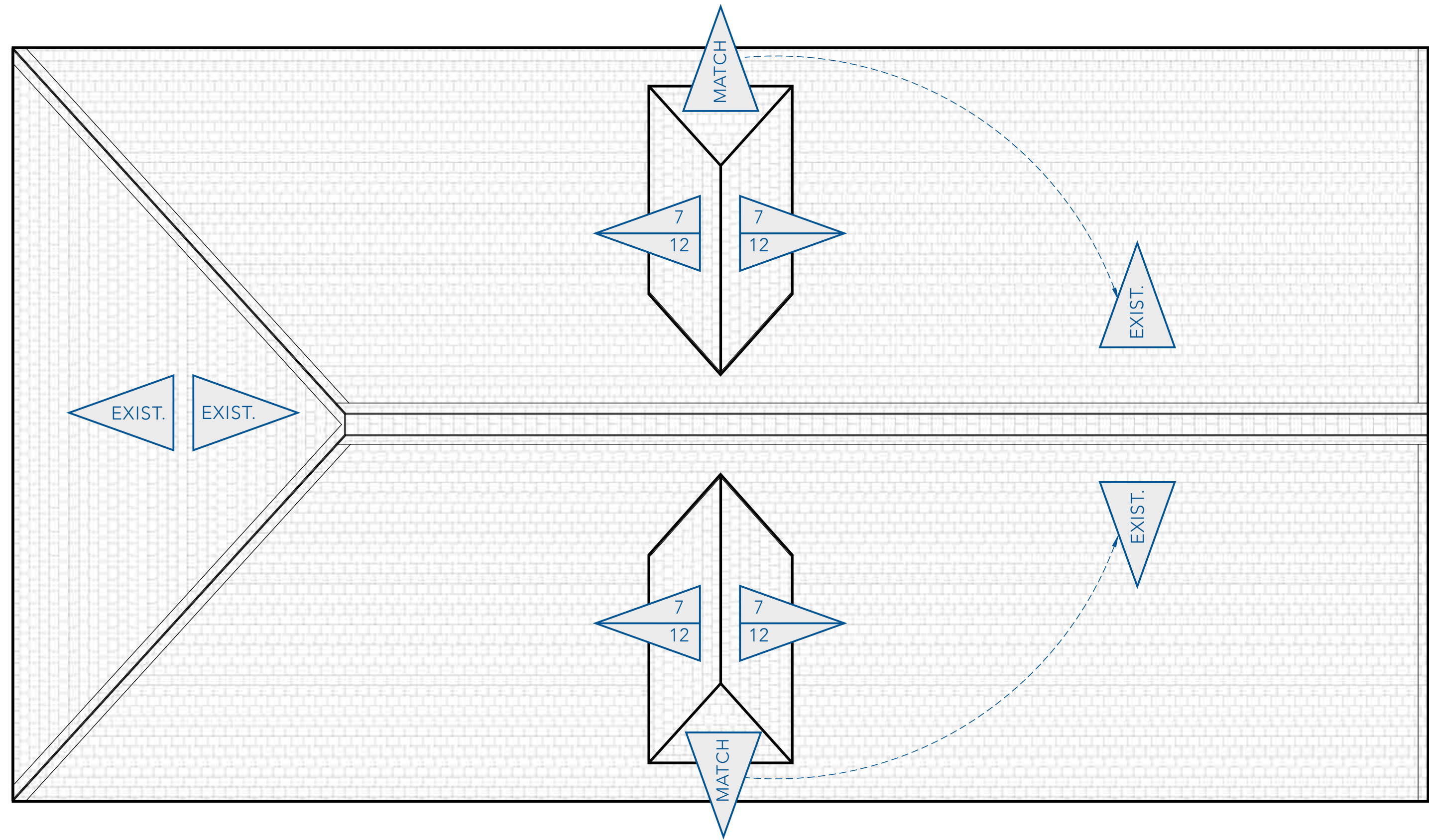
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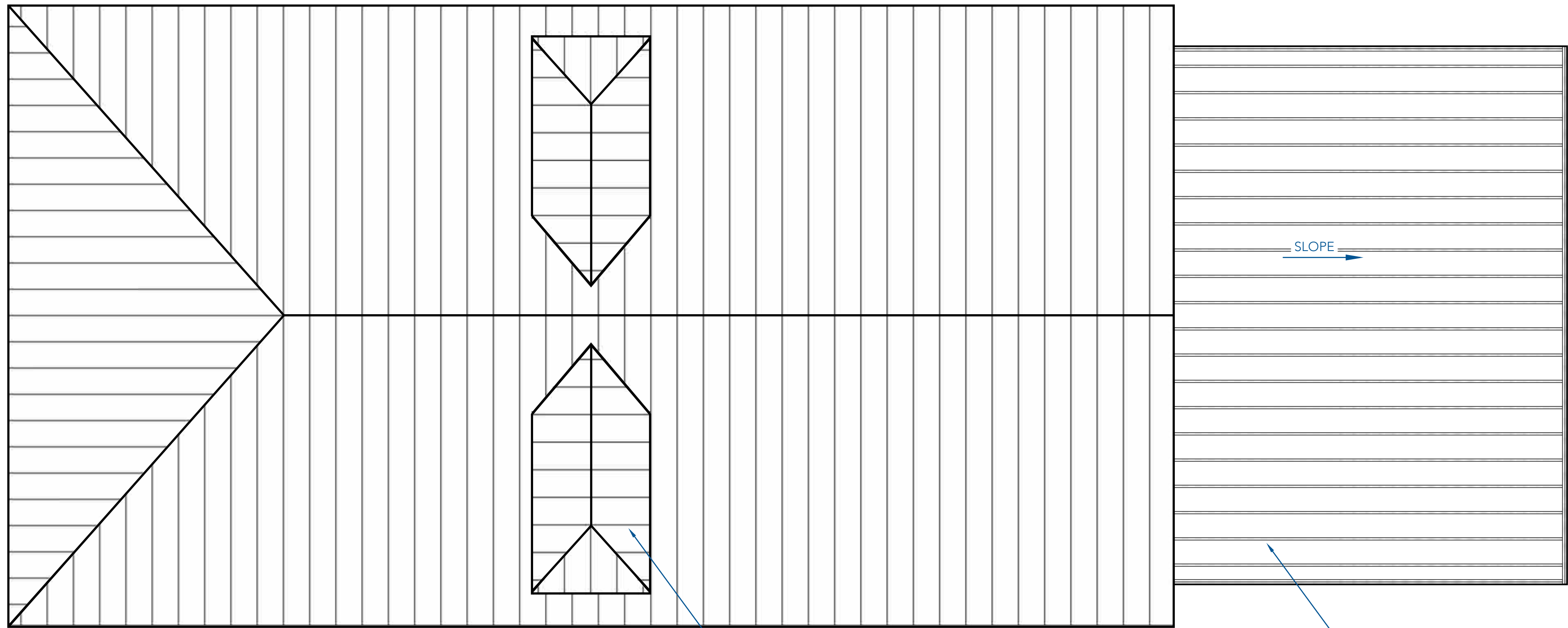
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Structural Renovation  
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# Roof & Roof Framing Plan

Plan



1 ROOF PLAN  
SCALE - 1/4" = 1'0"



2 ROOF FRAMING PLAN  
SCALE - 1/4" = 1'0"

## ROOFING NOTES:

1. PROVIDE ATTIC VENTILATION AS REQUIRED BY SEC. R806 OF THE IRC 2015 ED.
2. PROJECTIONS ( ROOF OVERHANG) EXTENDING INTO THE THREE FOOT FIRE SEPARATION DISTANCE SHALL NOT BE VENTED OR HAVE ANY OPENINGS AND SHALL NOT HAVE LESS THAN ONE-HOUR FIRE RESISTIVE CONSTRUCTION ON THE UNDERSIDE AS REQUIRED BY R302.1 IRC 2015 ED. AS AMENDED BY THE CITY OF NEW ORLEANS.

## FRAMING NOTES:

1. LUMBER  
ALL LUMBER AND PLYWOOD SHALL BE IDENTIFIED BY OFFICIAL GRADE MARK AND SHALL BE THE FOLLOWING GRADE:  
  
STUDS - #2 FIR OR SYP 245 PLATES, FURRING, JOIST, RAFTER - #2 FIR OR SYP S45  
PLATES IN CONTACT WITH CONCRETE - #2 SYP CELCURE  
  
FRAMING LUMBER SHALL BE THE FOLLOWING NOMINAL SIZES: EXTERIOR WALLS 2X STUDS @ 16" O.C FIR OR SYP  
  
INTERIOR PARTITIONS: 2X4 @16" O.C FIR OR SYP  
BASE PLATES: 2X THICKNESS OF WALL, FIR OR SYP  
  
JOISTS: SEE PLAN FOR SIZES
2. BRIDGING  
SOLID - (SIZE OF JOIST)  
1- ROW SPANS UP TO 10'-0" 2- ROW 10' 0"-20' 0" LONGER SPANS - NOT MORE THAN 8' 0" APART
3. EXTERIOR SHEATHING - 1/2"x4'-0"x8'-0" CDX PLYWOOD APPLIED ON ALL EXTERIOR WALLS
4. ROOF SHEATHING - 5/8"x4'-0"x8'-0" CDX PLYWOOD WITH EXTERIOR GLUE APPLIED OVER ROOF WITH PLY CLIPS
- 5.GYPSUM WALL BOARD - SHALL BE 1/2" THICKNESS UNLESS OTHERWISE INDICATED ON DRAWINGS 48"WIDE AND OF GREATEST POSSIBLE LENGTHS.
6. THE INSTALLATION OF PLYWOOD SHEATHING ON EXTERIOR WALLS SHALL BE INSTALLED IN ORDER TO PROVIDE SHEAR WALL ON EXTERIOR OF RESIDENCE.
7. PROVIDE HURRICANE CLIPS AT ALT. VERTICAL STUDS SECURED TO THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH 802.5.1 IRC 2012 ED.
8. TOP PLATES WILL BE SECURED TO EACH OTHER AT EVER 16" O.C D. PROVIDE HURRICANE CLIPS AT EVERY RAFTER SECURING RAFTERS TO WALL FRAMING.
9. JOISTS - NOTCHES MAY OCCUR IN THE TOP OR BOTTOM, BUT MAY NOT BE LOCATED IN THE CENTER ONE-THIRD OF THE SPAN. A NOTCH MAY NOT EXCEED ONE-SIXTH THE ACTUAL DEPTH OF THE JOIST EXCEPT AT THE VERY ENDS WHERE IT MAY BE ONE-FOURTH. HOLES BORED IN JOISTS MUST NOT BE LARGER THAN ONE-THIRD THE DEPTH OF THE JOIST AND MUST NOT BE WITHIN TWO INCHES OF BOTTOM EDGE.



LEFT SIDE

RIGHT SIDE



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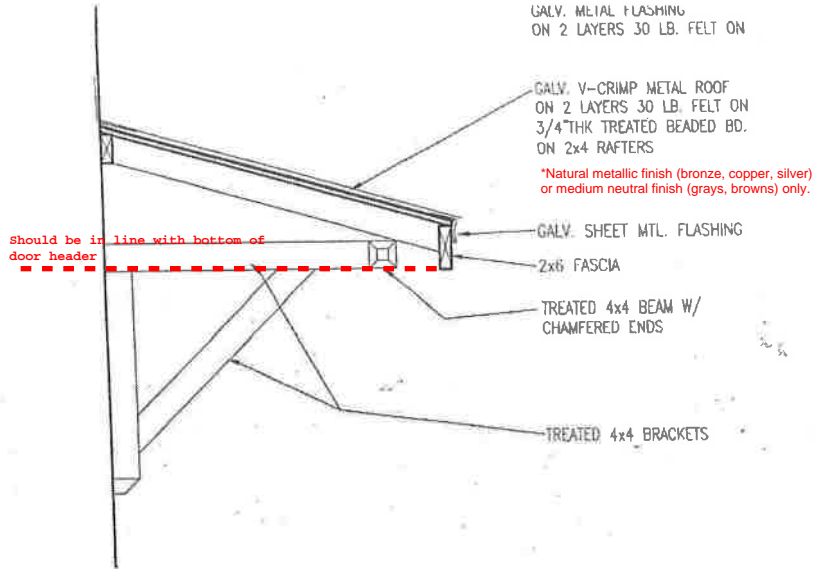


DRAIN VENT

FLOOR PLAN  
SCALE - 1/8" = 1'0"

THIRD FLOOR PLAN  
SCALE - 1/8" = 1'0"

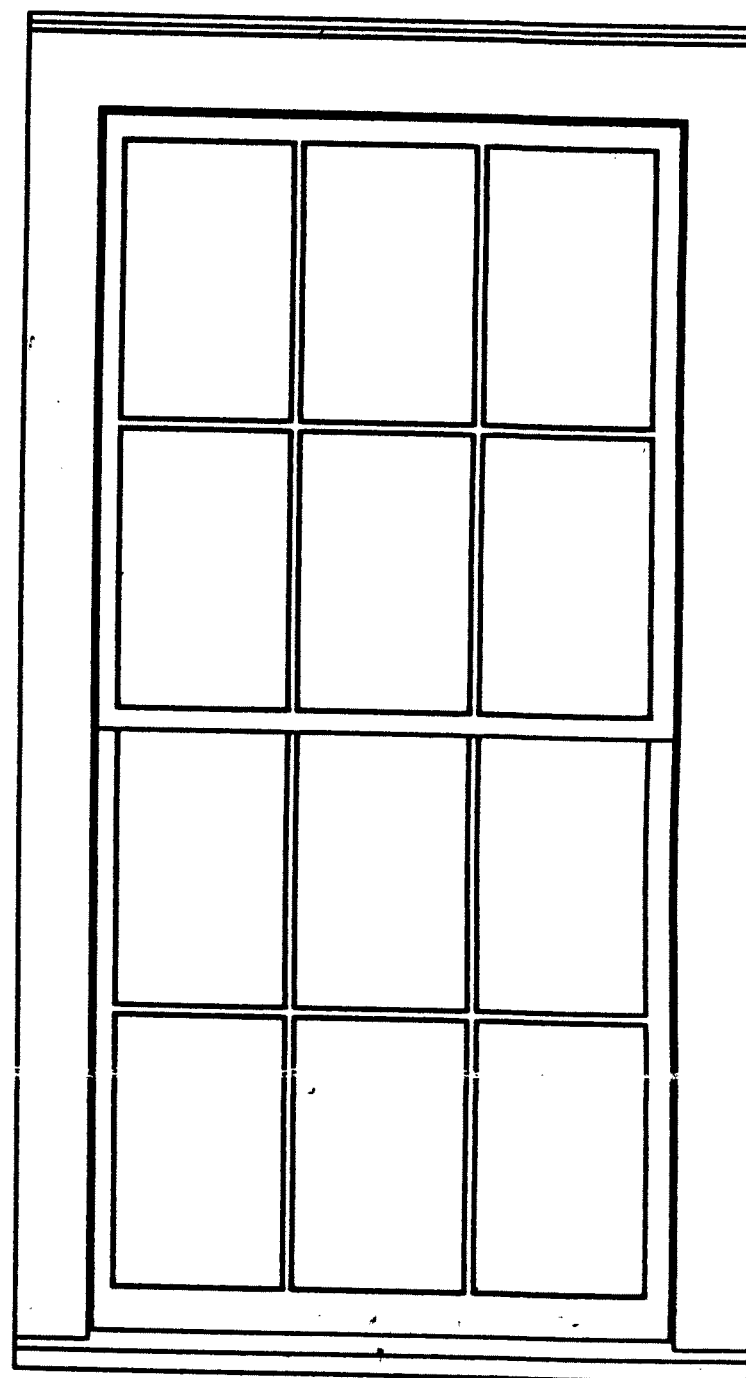
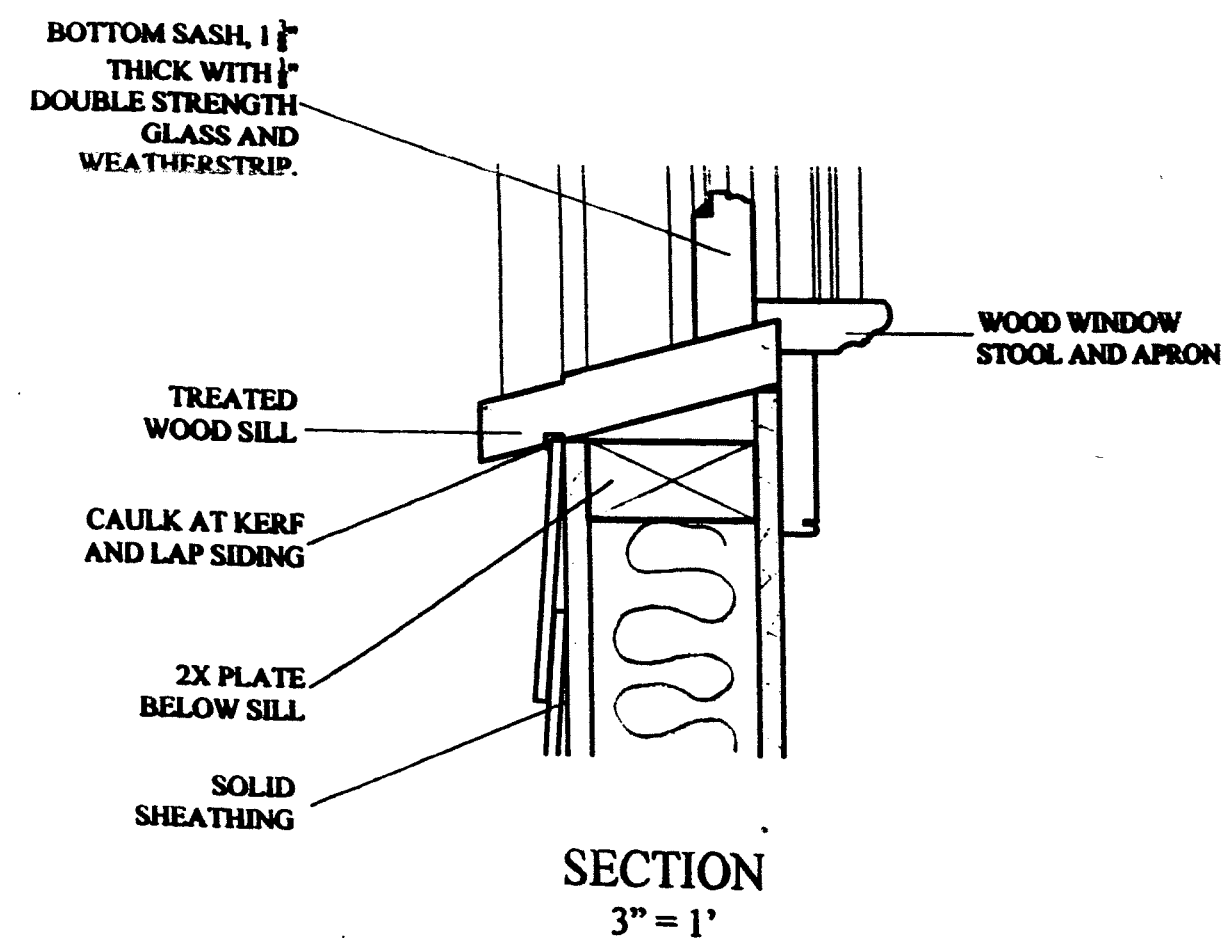
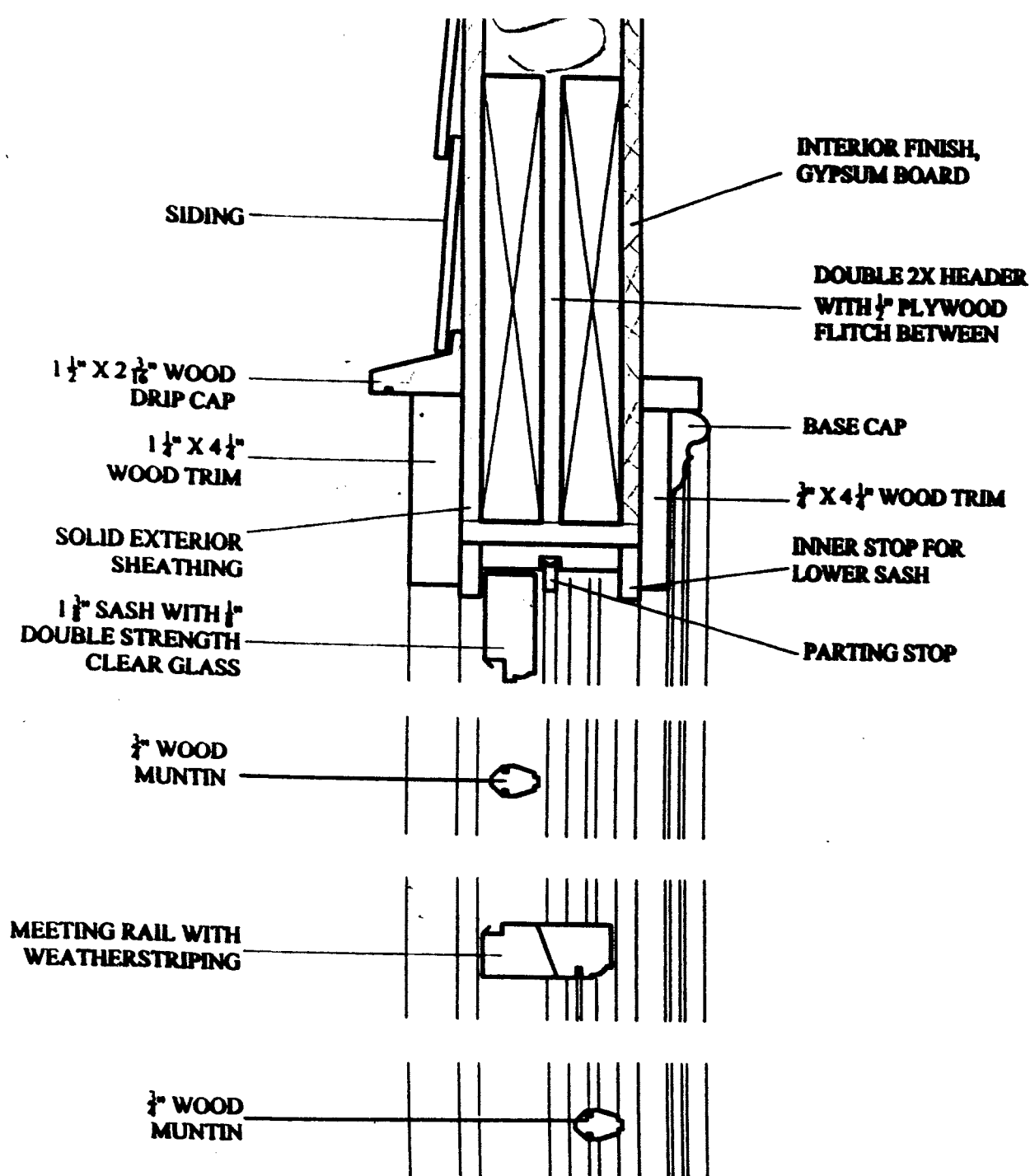




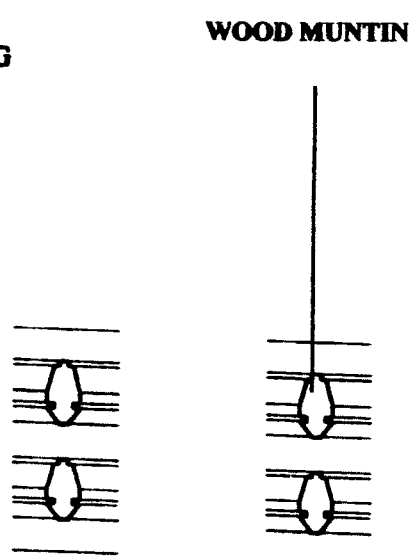
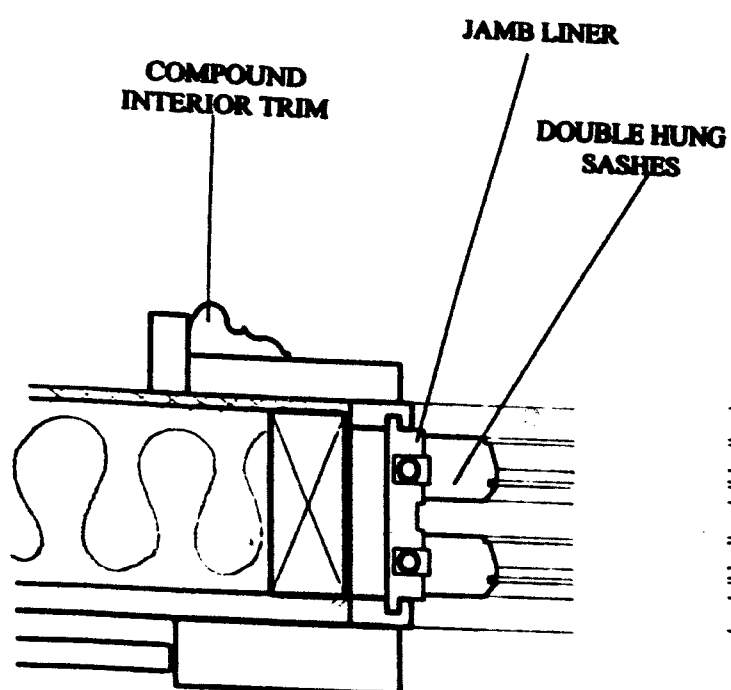
2. REAR CANOPY DETAIL  
SCALE: 3/4" = 1'-0"



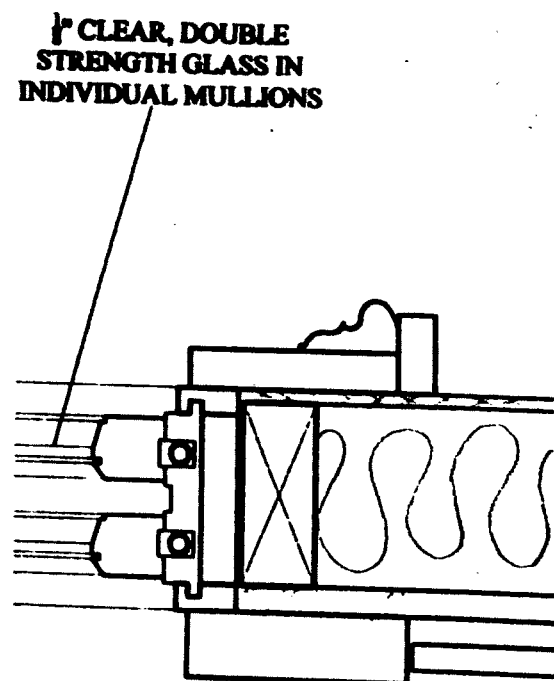
# WINDOW DETAIL



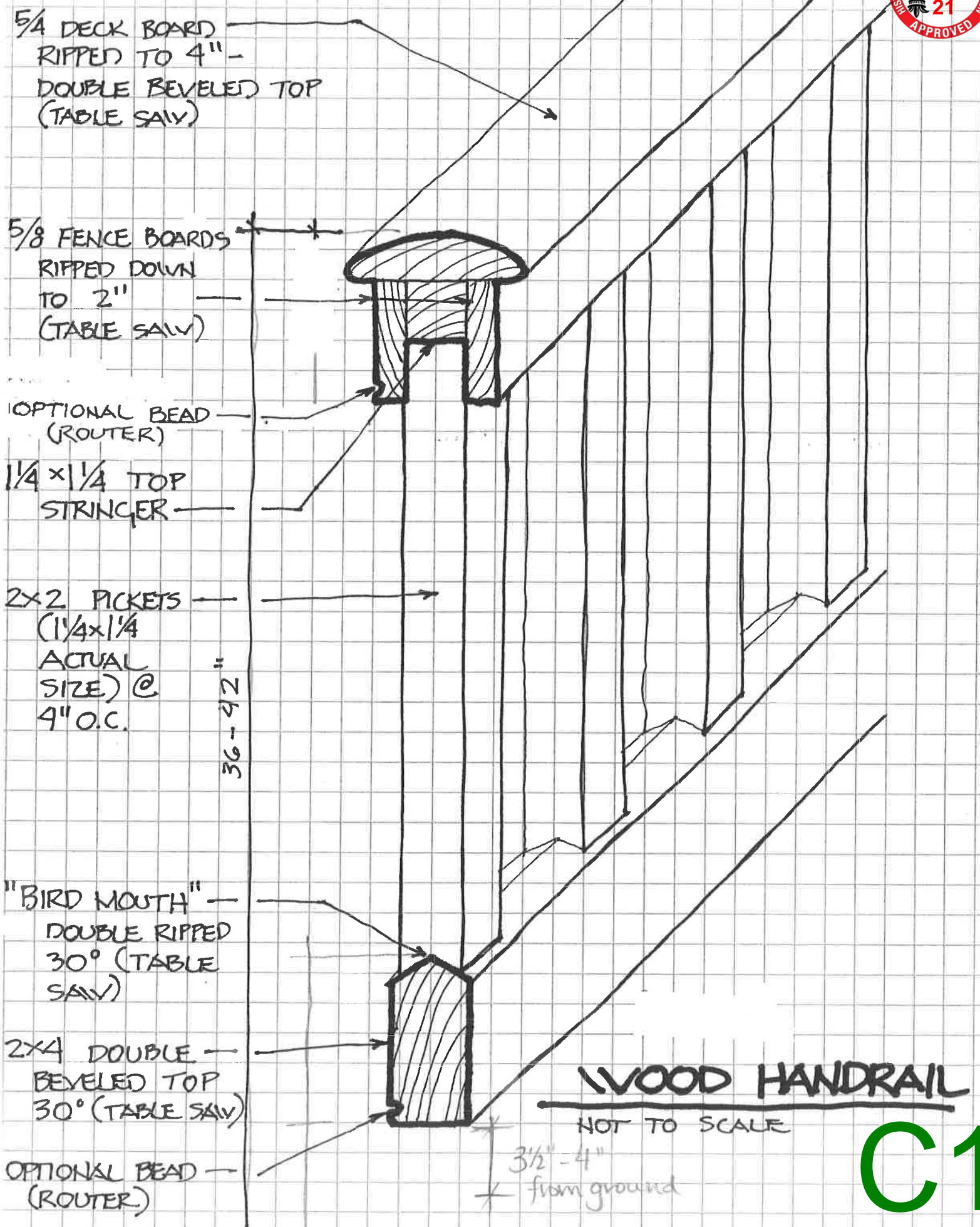
**EXTERIOR ELEVATION**  
1 1/2" = 1'



**PLAN**



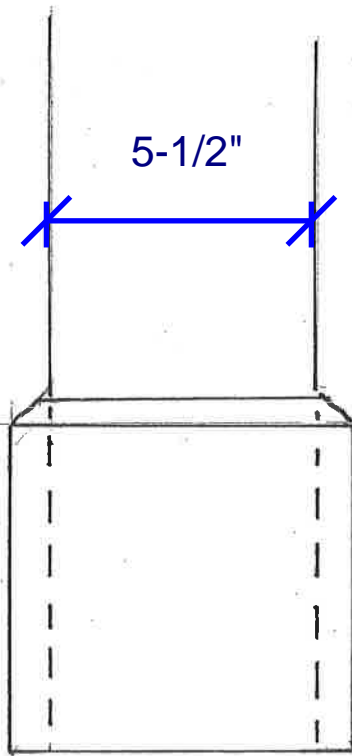
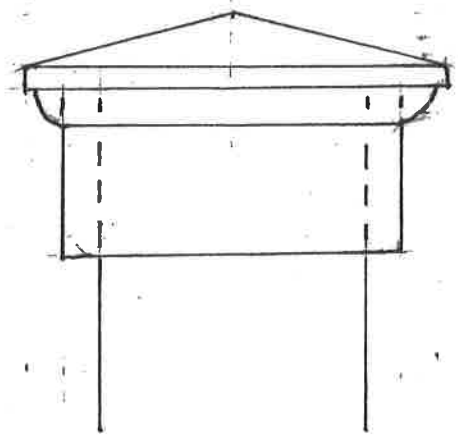
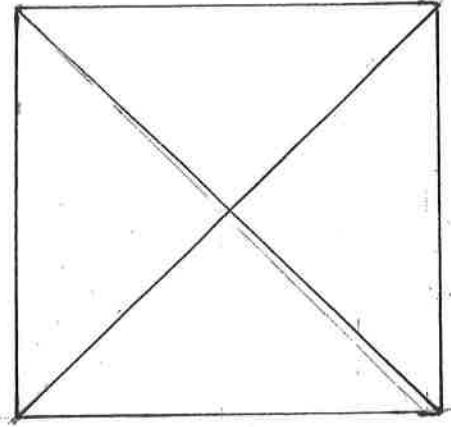




C1

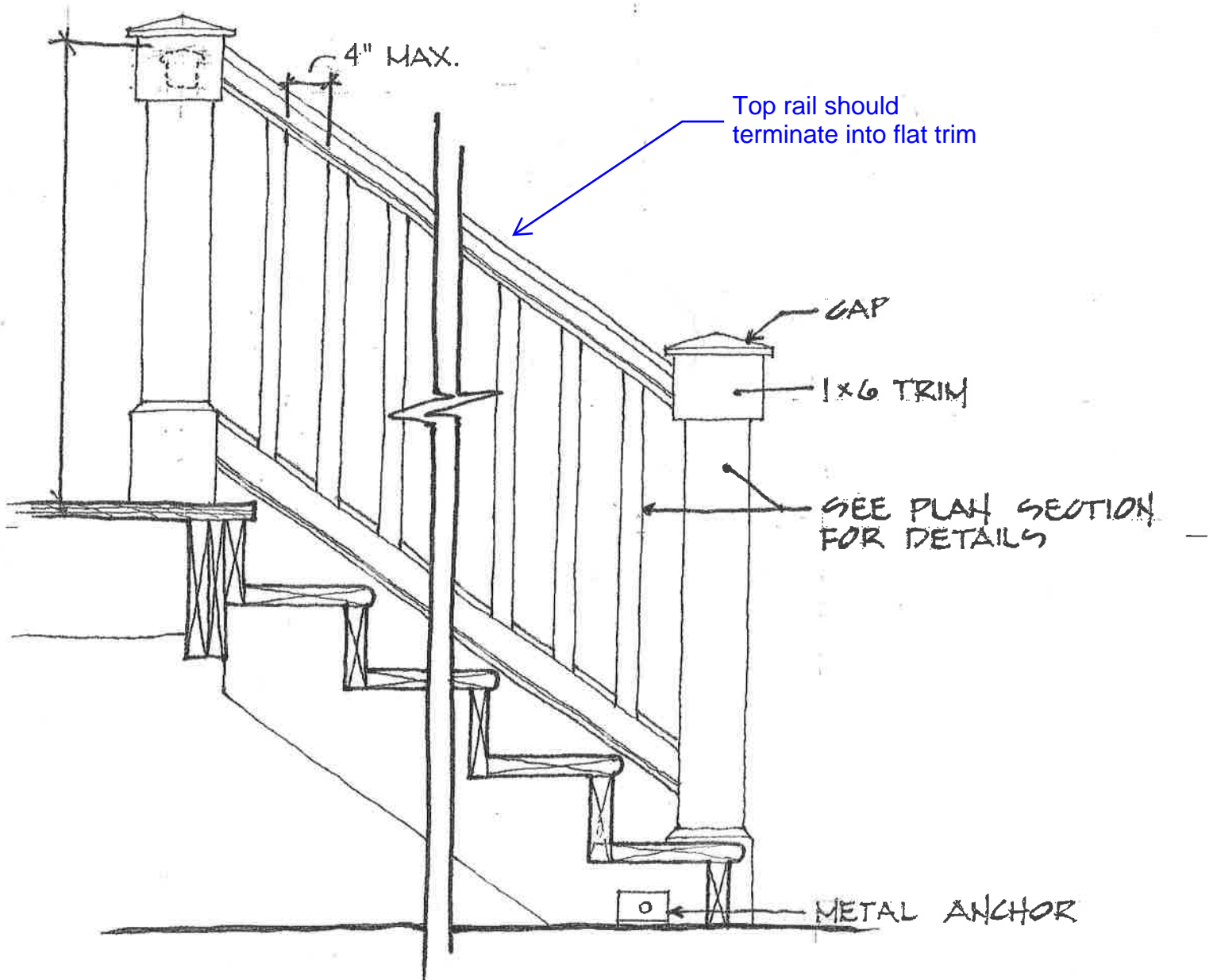


## Newel Post Cap



Newel Post Base





## EXTERIOR STEPS - SECTION

1" = 1' - 0"

C3