

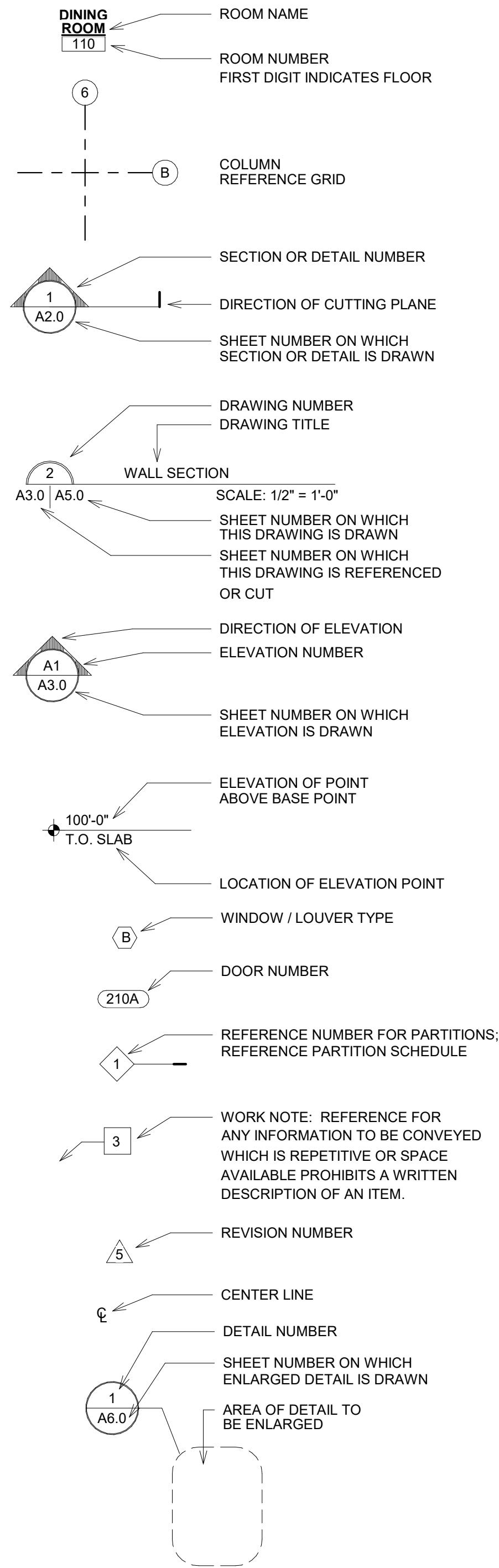
NORTH RAMPART ARTIST STUDIO RENOVATION
1434 NORTH RAMPART STREET
NEW ORLEANS, LOUISIANA

studiokiro

1307 Oretha Castle Haley Blvd.
Suite 303E
New Orleans, LA 70113
504.432.9583

studiokiro.com

GRAPHIC SYMBOLS



GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY, STATE, AND NATIONAL CODES AND STANDARDS ENFORCED BY AUTHORITIES HAVING JURISDICTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FOR ALL TAXES, SUB-PERMIT FEES, AND LICENSES AS A RESULT OF THIS WORK. THE MAIN BUILDING PERMIT FEE SHALL BE PAID FOR BY THE OWNER WHILE ELECTRICAL/MECHANICAL AND OTHER SUB-PERMITTS SHALL BE PAID FOR BY THE CONTRACTOR.
3. THE GENERAL CONTRACTOR, UPON ACCEPTANCE OF DRAWINGS, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND WILL BE EXPECTED TO COMPLY WITH THE INTENT, IN WHICH THEY WERE WRITTEN.
4. VERIFY ALL SITE UTILITIES, DIMENSIONS, AND PROPERTY LINE LOCATIONS PRIOR TO BEGINNING THE WORK. BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
5. THE GENERAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
6. WORK ONLY FROM THE WRITTEN DIMENSION SHOWN. DO NOT SCALE DRAWINGS. WHICH ARE TO CONVEY THE CONCEPT AND/OR INTENT OF THE WORK.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF THEIR SUBCONTRACTORS TO ACHIEVE THE INTENT OF THE DRAWINGS. ANY CONFLICTS WITH EQUIPMENT PLACEMENT ARE TO BE RESOLVED PRIOR TO INSTALLATION.
8. THE CONTRACTOR SHALL PROVIDE SECURITY FOR THE BUILDING AND CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL ERECT TEMPORARY DOORS, GATES, FENCES, AND ENCLOSURES AS REQUIRED TO SECURE THE CONSTRUCTION SITE.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND REMOVAL OF DUST AND DEBRIS ON A DAILY BASIS.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING FOR THEIR OWN TRASH REMOVAL.
11. THE CONTRACTOR SHALL PROTECT ALL ADJOINING PROPERTIES AND THE SCHEDULED CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING, AT THEIR OWN EXPENSE, ANY AND ALL CONSTRUCTION THAT IS DAMAGED BY THEIR WORK. THIS REPAIR OR REPLACEMENT WORK SHALL BE DONE TO THE OWNER'S SATISFACTION, OR THE OWNER SHALL HAVE THE RIGHT TO REPAIR OR REPLACE DAMAGED CONSTRUCTION ON THEIR OWN AT THE CONTRACTOR'S EXPENSE.
13. THE CONTRACTOR SHALL GUARANTEE THEIR WORK AND THE WORK OF THEIR SUB-CONTRACTORS FOR A MINIMUM OF ONE (1) FULL CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED IN WRITING.
14. INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS & CODE REQUIREMENTS
15. CONTRACTOR SHALL ASK FOR CLARIFICATION WHEN UNCERTAIN ABOUT METHODS OF INSTALLATION. LACK OF DETAILS NOT REQUESTED SHALL NOT EXCUSE IMPROPER INSTALLATION, AND CORRECTION SHALL BE MADE THE RESPONSIBILITY OF THE CONTRACTOR.
16. ALL SUBCONTRACTORS SHALL BECOME FAMILIAR WITH ALL SHEETS OF DRAWING SETS AND NOT SIMPLY THEIR OWN WORK IN ORDER TO FULLY UNDERSTAND AND DEVELOP THE CONSTRUCTION.
17. CONTRACTOR SHALL PROVIDE OFF-SITE AND AVOID BLOCKING ACCESS TO ADJACENT SITES AT ALL TIMES. ONLY EQUIPMENT FOR CONSTRUCTION MAY BE PARKED ON SITE.
18. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY DEFECTS AND/OR DAMAGED / DECAYING MATERIALS FOUND IN THE STRUCTURE OR WORK PRIOR TO ENCLOSING SCHEDULED CONSTRUCTION.
19. COUNTER TOPS SHALL BE FABRICATED BASED UPON MEASUREMENTS OF ACTUAL INSTALLED; TAKE MEASUREMENTS AFTER DRYWALL INSTALLATION.
20. CONTRACTOR SHALL COORDINATE ALL SHUT DOWNS OR INTERRUPTIONS IN ANY SERVICE WITH THE OWNER PRIOR TO PROCEEDING WITH WORK.
21. CONTRACTOR SHALL PROVIDE AND INSTALL APPROPRIATE BLOCKING FOR ALL ITEMS TO BE MOUNTED TO WALLS AND / OR CEILINGS, INCLUDING, BUT NOT LIMITED TO PLUMBING FIXTURES, HANDRAILS , CASEWORK (INCLUDING WALL HUNG CABINETS), AND GRAB BARS.
22. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AS WELL AS CONSTRUCTION SCHEDULING.

CODE INFORMATION

CODE DATA

OCCUPANCY CLASSIFICATION: BUSINESS
CONSTRUCTION TYPE: TYPE V-B

ENFORCED CODES

ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE CODE ADOPTED BY THE STATE OF LOUISIANA & ST BENARD PARISH AT THE TIME THIS PERMIT IS FILED, OR THE LIST OF CODES BELOW, WHICHEVER IS MORE RESTRICTIVE:

INTERNATIONAL BUILDING CODE (2015)
NFPA 101: LIFE SAFETY (2015)
ADAAG 2010

PROJECT DIRECTORY

PROPERTY:
1434 NORTH RAMPART STREET
NEW ORLEANS, LA 70116

OWNER :
MANTUA LLC
2118 DUBLIN ST
NEW ORLEANS, LA 70118
CONTACT: ROBERT ABDALIAN
504.234.9351
ROBERTA121@ICLOUD.COM

ARCHITECT OF RECORD:
STUDIO KIRO
1307 ORETHA CASTLE HALEY BLVD, SUITE 303E
NEW ORLEANS, LA 70113
504.432.9583
CONTACT: MIWAKO HATTORI, AIA
MIWAKO@STUDIOKIRO.COM

SCOPE OF WORK

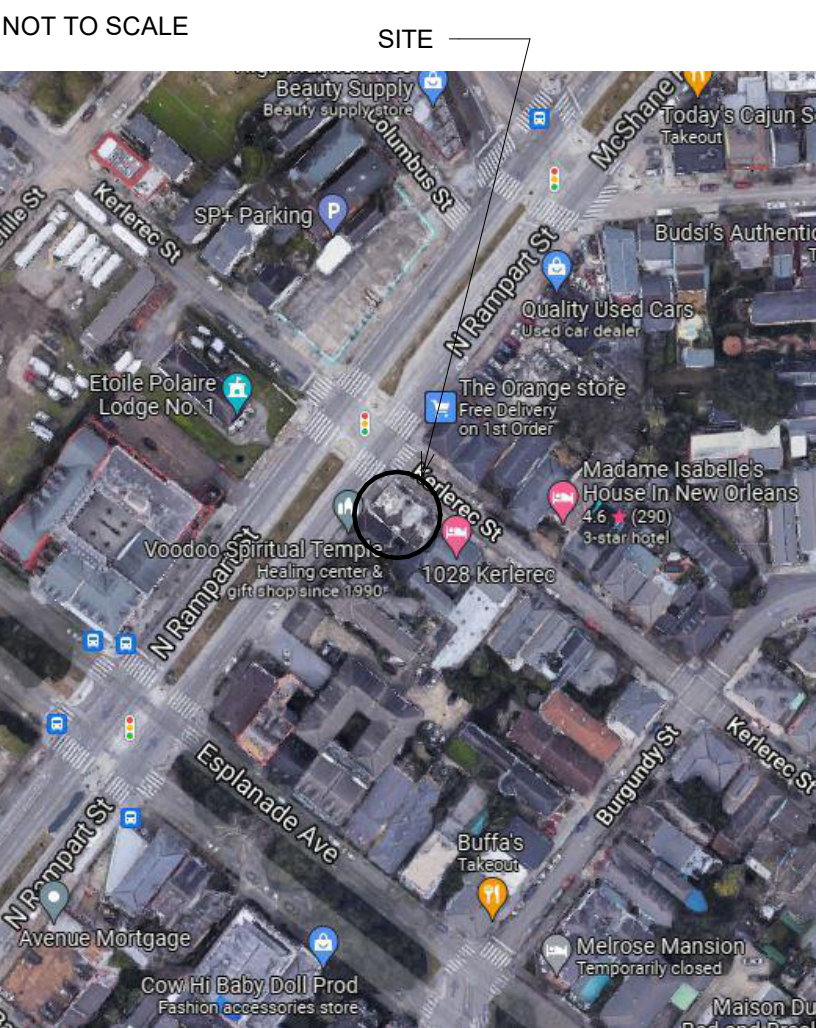
NON-STRUCTURAL RENOVATION TO EXISTING STRUCTURE WITH CONSTRUCTION OF NEW WALLS , DOORS, NEW BATHROOM & PAINT & REFURBISHING EXISTING FINISHES.

AREA ANALYSIS

PRE RENOVATION		AREA TO BE RENOVATED	
FIRST FLOOR	1783 GSF	FIRST FLOOR	1783 GSF
SECOND FLOOR	1783 GSF	SECOND FLOOR	*1783 GSF
GRAND TOTAL	3566 GSF	GRAND TOTAL	3566 GSF

*SECOND FLOOR WILL BE WHITE BOX RENOVATED ONLY FOR FUTURE TENANT BUILD OUT

VICINITY MAP



1434 N RAMPART
ARTIST STUDIO

1434 N RAMPART ST

NEW ORLEANS,
LOUISIANA

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COVER

A0.0

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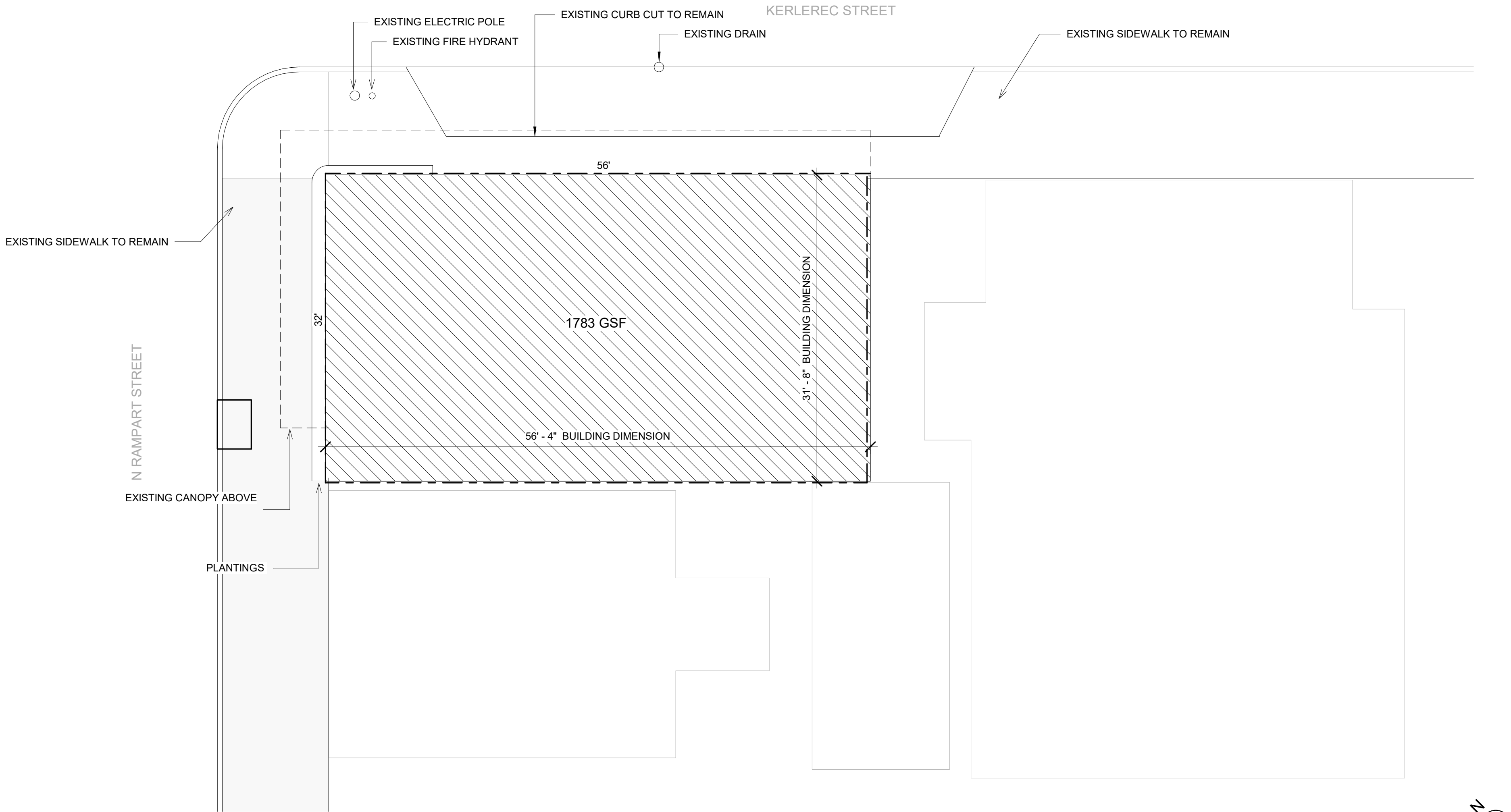
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SITE PLAN

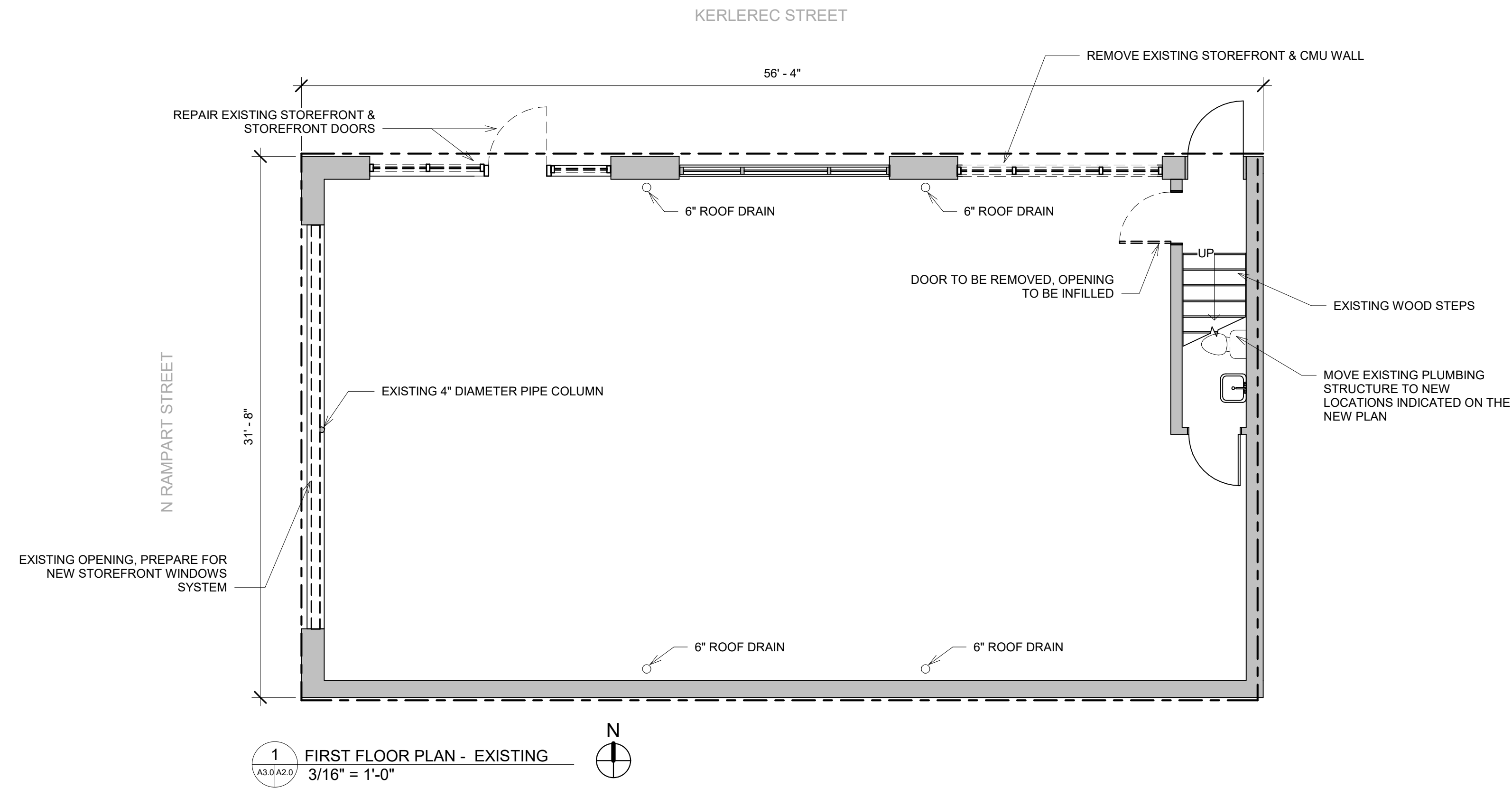
A1.0



GRAPHIC KEY

- PROPERTY LINE
- - - - - OUTLINE OF EXISTING CANOPY ABOVE
- . - . - . 1 HOUR RATING

1 Site
A3.0/A1.0
1/8" = 1'-0"



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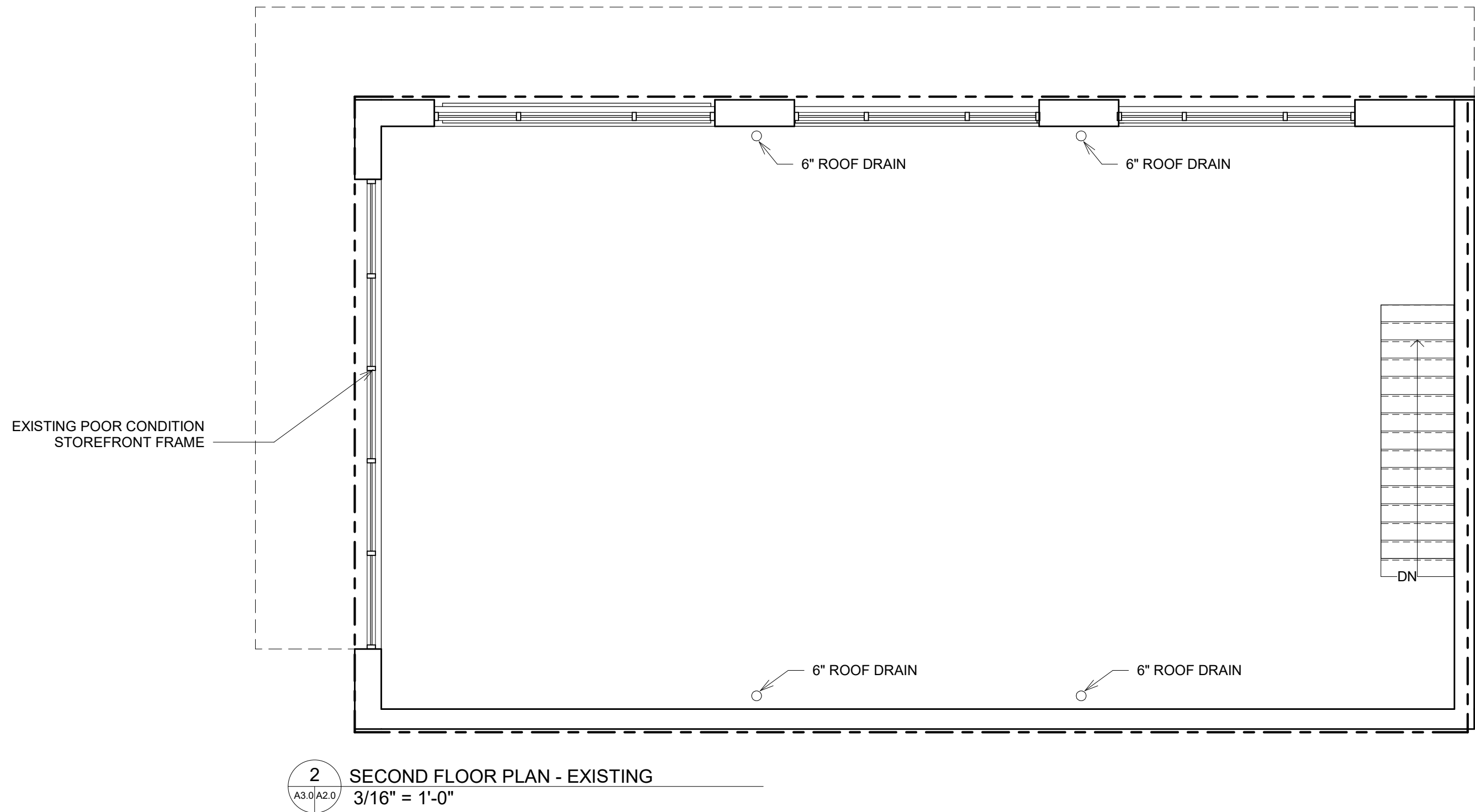
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EXISTING
FLOORPLAN

A2.0



GRAPHIC KEY

---	PROPERTY LINE
- - - - -	OUTLINE OF EXISTING CANOPY ABOVE
- . - . - .	1 HOUR RATING



1. CEILING TO BE 1 HOUR FIRE RATED CONSTRUCTION , MODIFIED UL L549, SIMILAR TO UL L549 WITH 23/32 INCH THICK STRUCTURAL WOOD PANELS(MIN. GRADE "UNDERLAYMENT") WITH 15/32" THICK PLYWOOD FINISH FLOOR PANELS ("UNDERLAYMENT" GRADE) ; EXISTING BARJOIST @ MAX. 48" O.C. WITH 5/8" TYPE "C" GYPSUM BOARD TAPED AND FLOATED HUNG FROM RC-1 CHANNELS PER UL L549 REQUIREMENTS.

 PROPERTY LINE
 OUTLINE OF EXISTING CANOPY ABOVE
 1 HOUR RATING

FINISHED CEILING
 1 5/8" X 3 1/2" 25 GAUGE STEEL TOP PLATE
 SECTION (TOP)
 1-LAYER OF 5/8" TYPE X GYP. BD. ON EACH SIDE
 1 5/8" X 3 1/2" 25 GAUGE STEEL STUDS, @ 24" O.C.
 3" WOOD ROCK INSULATION
 PLAN
 1 5/8" X 3 1/2" 25 GAUGE STEEL SOLE PLATE
 SECTION (BASE)

GYPSUM BOARD: ONE LAYER 5/8" THICK GYPSUM BOARD TYPE X

STEEL STUDS: 3-1/2" 25 GAGE STEEL STUDS, SPACED 24" O.C.

INSULATION: 3" WOOD ROCK INSULATION

GYPSUM BOARD: ONE LAYER 5/8" THICK GYPSUM BOARD TYPE X

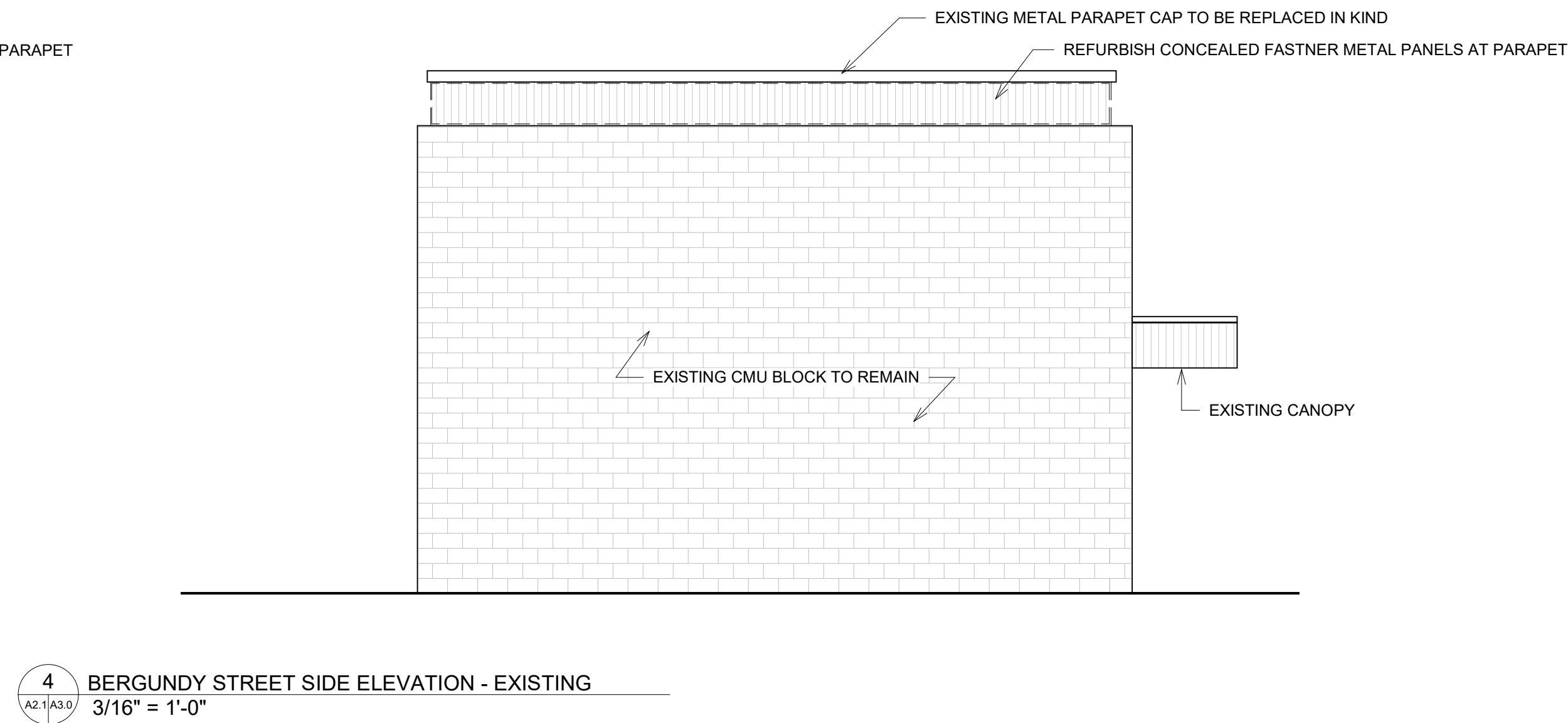
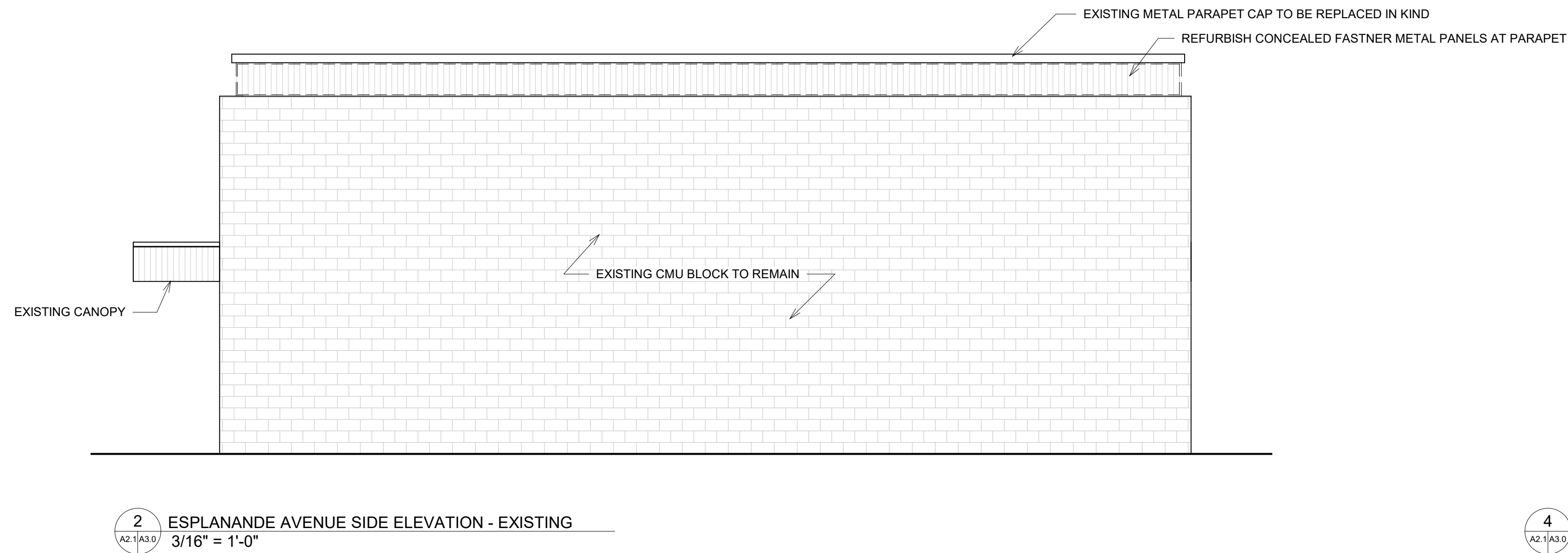
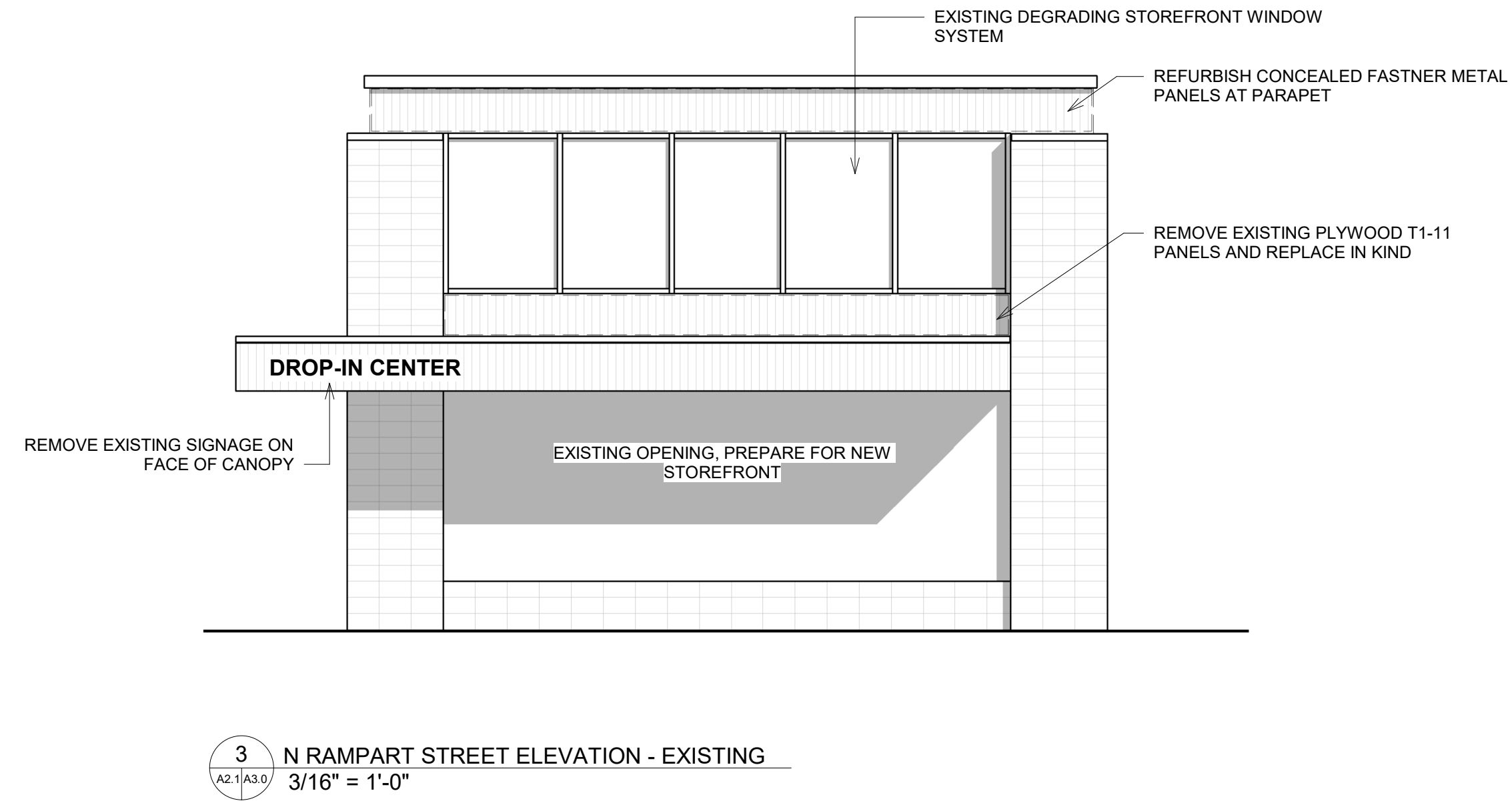
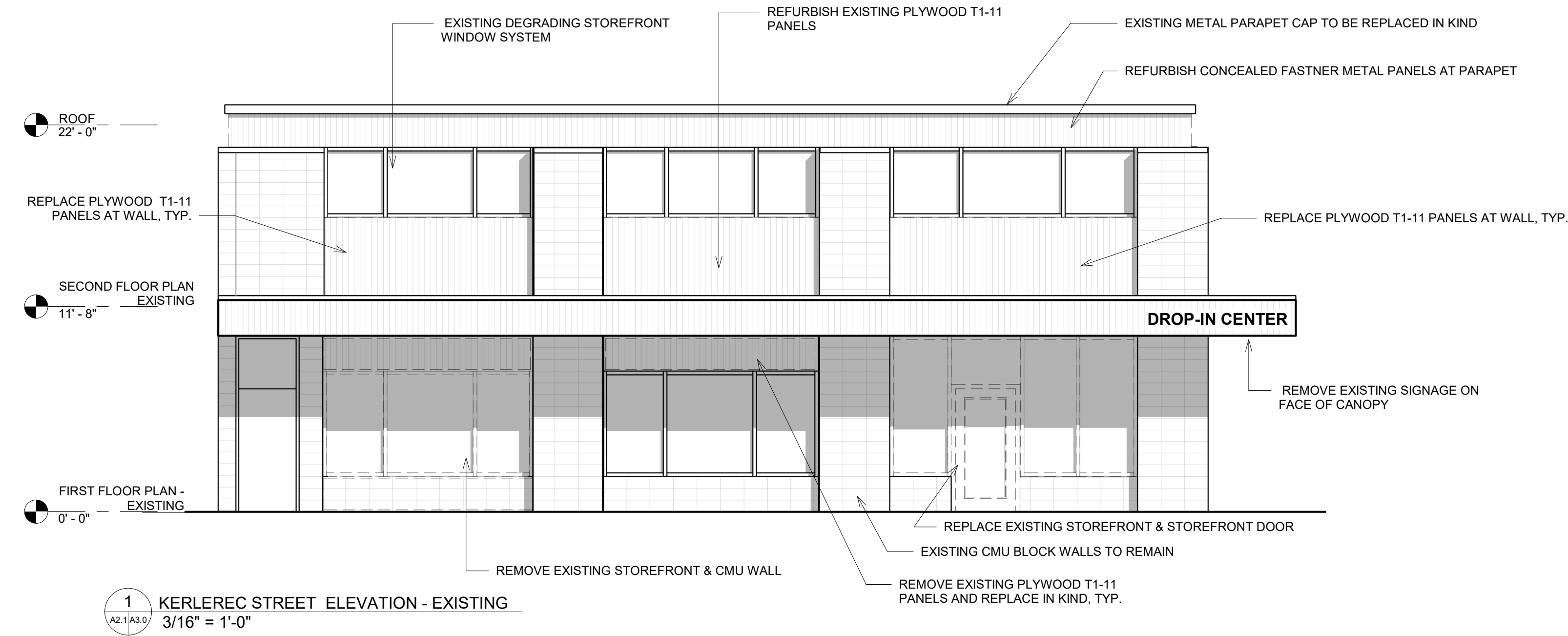
FIRE RATING: 1 Hour
STC: 48
SOUND TEST: USG-180617
SYSTEM THICKNESS: 4 7/8"

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A2.1



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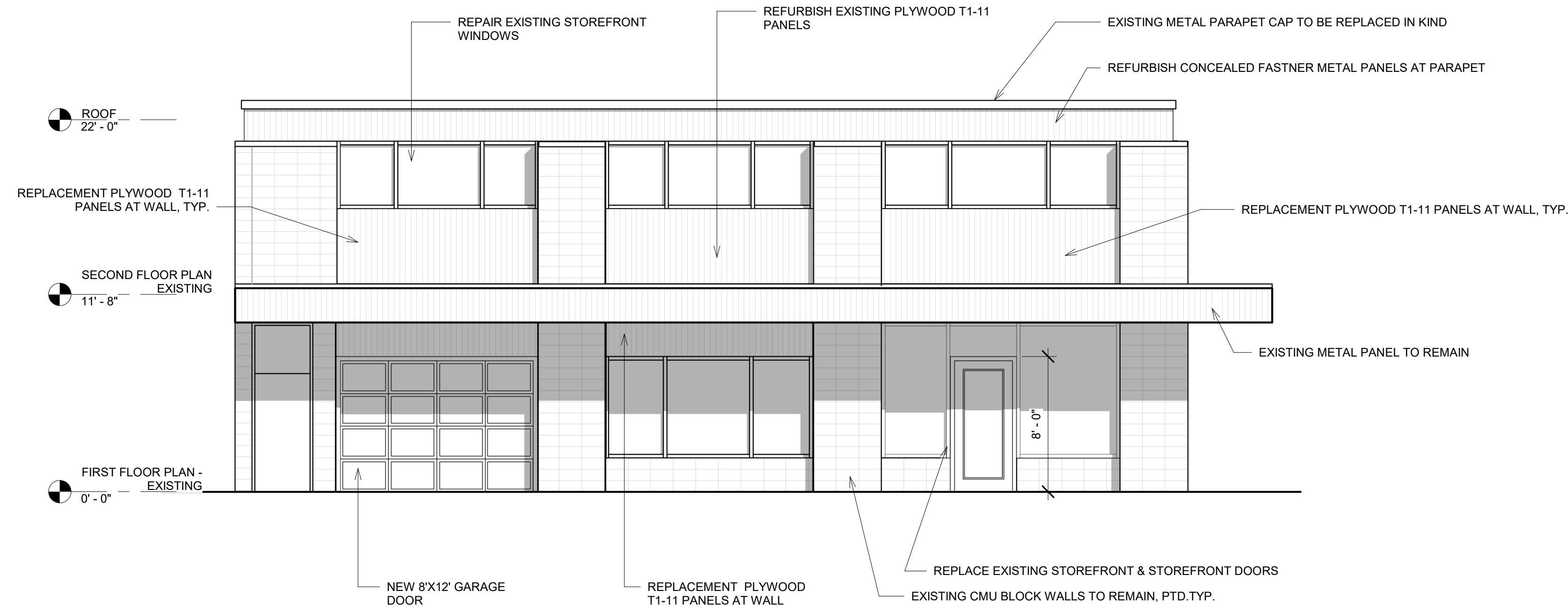
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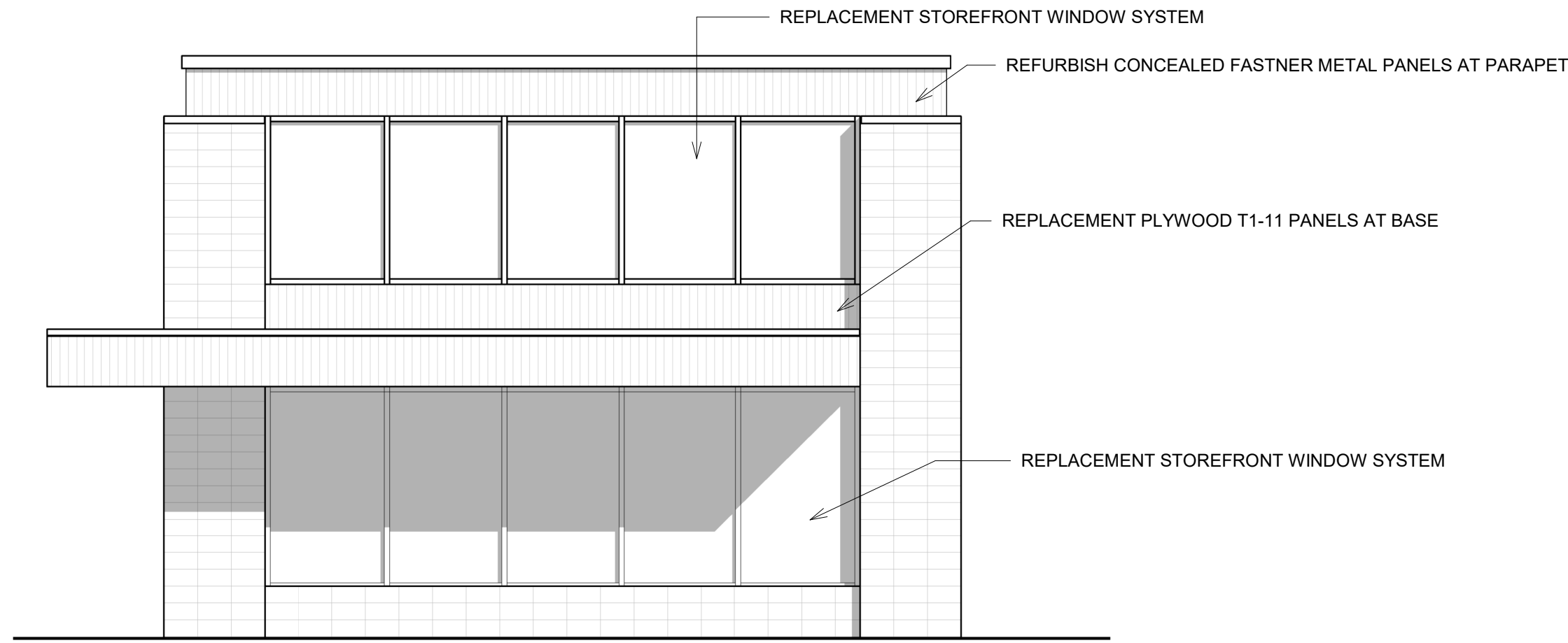
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EXISTING
ELEVATIONS

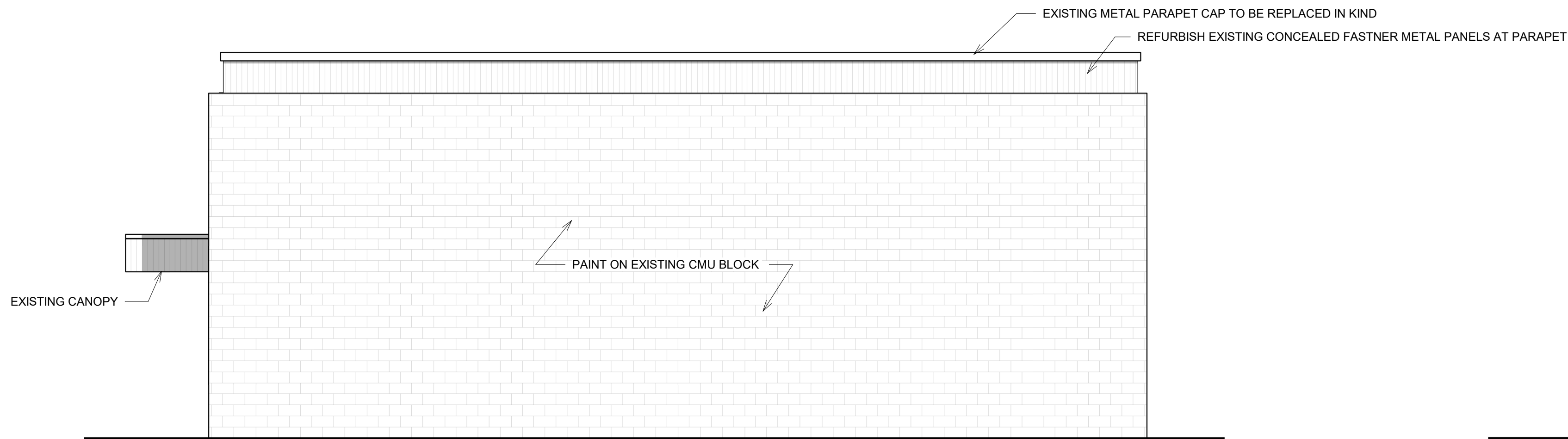
A3.0



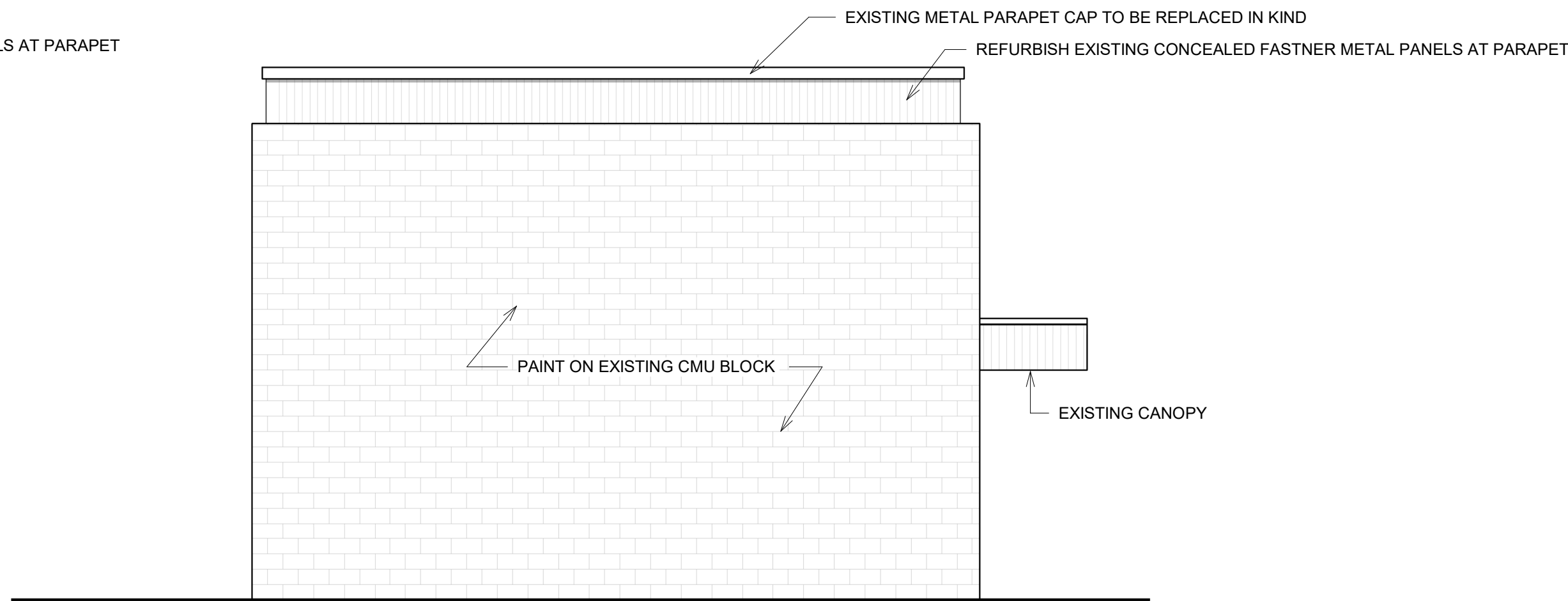
1 KERLEREC STREET ELEVATION - PROPOSED
3/16" = 1'-0"



2 N RAMPART STREET ELEVATION - PROPOSED
3/16" = 1'-0"



3 ESPLANANDE AVENUE SIDE ELEVATION - PROPOSED
3/16" = 1'-0"



4 BERGUNDY STREET SIDE ELEVATION - PROPOSED
3/16" = 1'-0"

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PROPOSED
ELEVATIONS

A3.1