

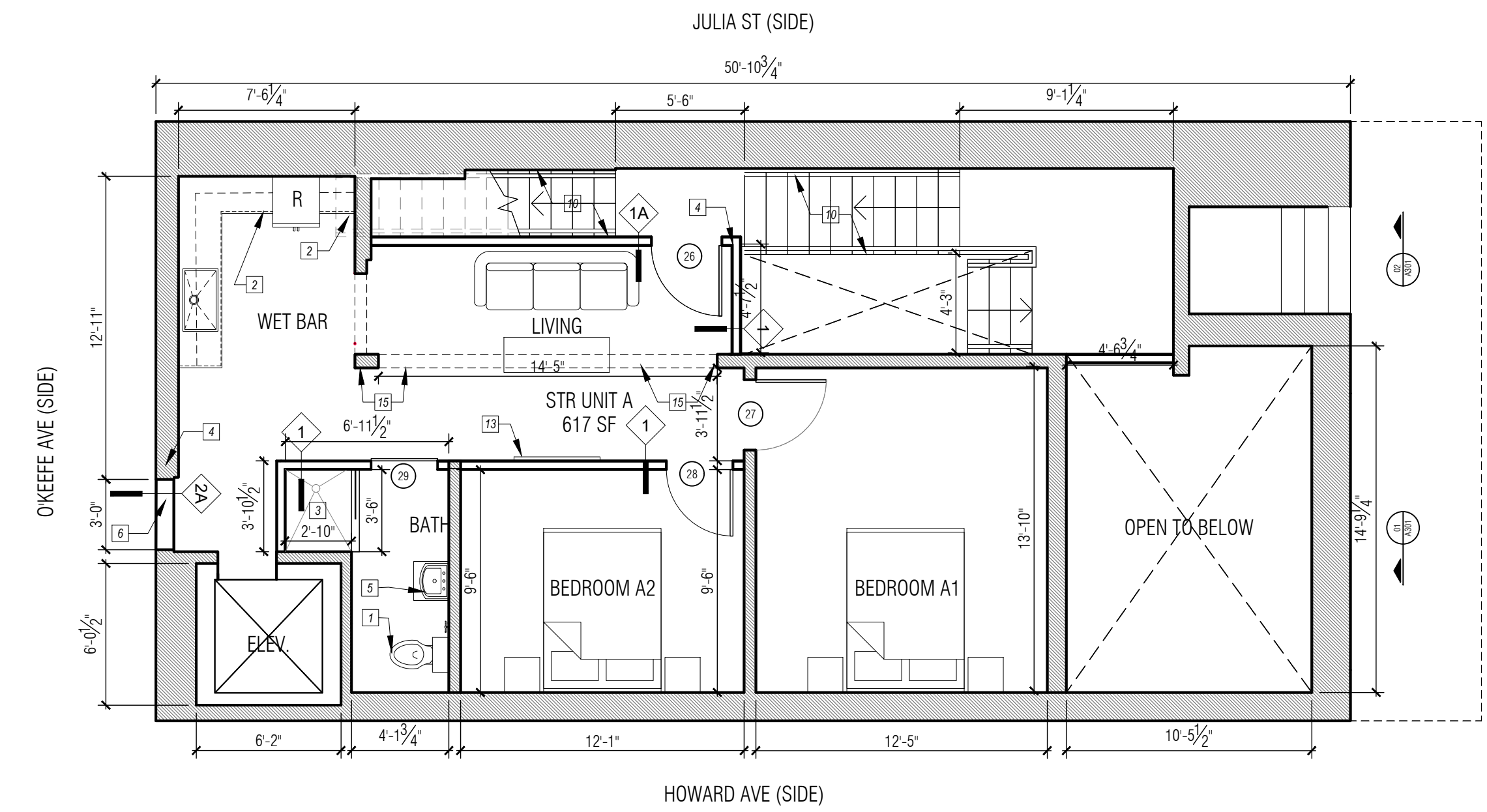
**FLOOR PLAN SPECIFIC KEYED NOTES**

- 1 NEW PLUMBING FIXTURES; REUSE EXISTING PLUMBING LINES IF AVAILABLE
- 2 NEW KITCHEN APPLIANCE; SELECTIONS TO BE APPROVED BY OWNER
- 3 SLOPE TO DRAIN AT SHOWER LOCATION; PROVIDE 4" TILED CURB AT EDGE, NEW GLASS PARTITIONS AT NEW SHOWER
- 4 PROVIDE 2 HOUR FIRE SEPARATION
- 5 NEW VANITY COUNTERTOP AND CASEWORK BELOW
- 6 FILL IN EXISTING OPENING WITH NEW WALL
- 7 FIX DOOR IN PLACE
- 8 EXISTING FIRE PLACE TO REMAIN; REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS
- 9 HISTORIC HANDRAIL TO REMAIN; STABILIZE AS REQ. PAINT TO BE SELECTED BY OWNER/ARCHITECT
- 10 EXISTING WOOD STAIRS AND HANDRAIL TO REMAIN, REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS.
- 11 LEVEL EXISTING BALCONY FRAMING THROUGHOUT WITH TAPERED WD BLOCKING. REFINISH ALL AND REINSTALL EXIST. WD. DECKING, TIE INTO EXISTING MEMBERS; PROVIDE STRUCTURAL SUPPORTS AND BRACING AS NEEDED
- 12 PROVIDE NEW BASE CABINETS AND UPPER CABINETS PER INTERIOR ELEVATIONS DRAWINGS
- 13 NEW WALL HUNG TV; PROVIDE POWER AND DATA 56" A.F.F
- 14 PROVIDE NEW WOOD DECKING TO MATCH ORIGINAL CONDITIONS AT EXTERIOR BALCONY; PAINT, OWNER/ARCHITECT TO SELECT COLOR
- 15 PROVIDE STRUCTURAL COLUMNS TO SUPPORT LOAD; PROVIDE HEADER SUPPORT ABOVE
- 16 INSTALL FREE STANDING TUB
- 17 PROVIDE SHELVING AT CLOSET

- 18 FROST EXISTING GLASS WITH APPLIED FILM
- 19 FIX EXISTING DOOR IN PLACE - FILL IN WALL BEHIND DOOR FLUSH WITH EXISTING WALL
- 20 PROVIDE NEW 42" HIGH METAL GUARDRAIL WITH 36" HIGH HANDRAIL
- 21 PROVIDE GRAB BARS IN ACCORDANCE WITH 2010 ADA STANDARDS
- 22 PROVIDE ACCESSIBLE SHOWER WITH FOLDING SEAT PER ADA 2010 STANDARDS
- 23 PROVIDE ACCESSIBLE VANITY PER ADA 2010 STANDARDS
- 24 INSTALL NEW W/D
- 25 NEW TALL STORAGE CABINETS
- 26 NEW WOOD STAIR, MAX RISE 7", MAX RUN 11"
- 27 PROVIDE BUILT-IN WOOD SHELVING
- 28 PROVIDE NEW FLOOR FRAMING

**FLOOR PLAN GENERAL NOTES**

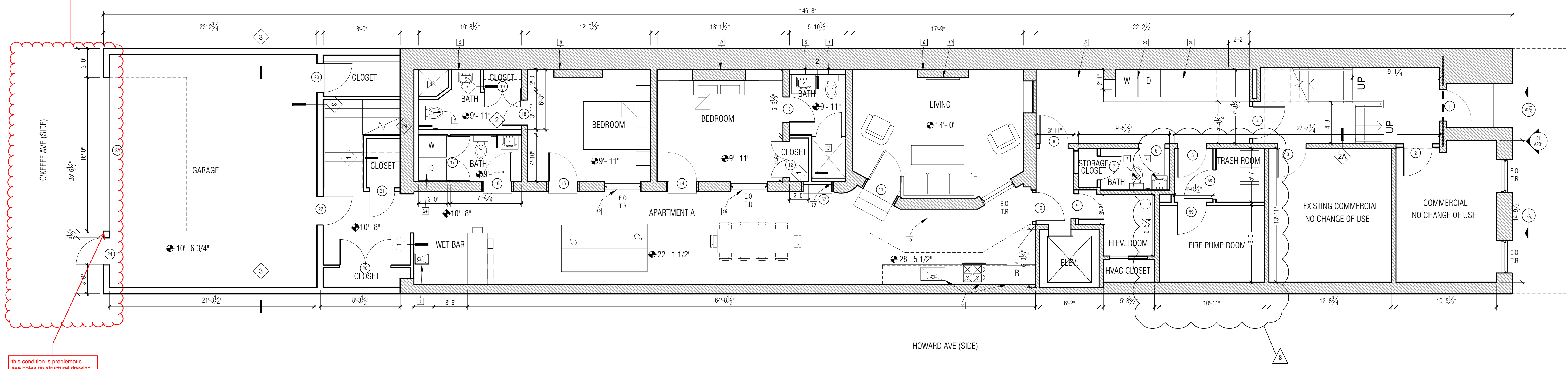
- 1. ALL PLUMBING FIXTURES ARE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.
- 2. ALL MEP EQUIPMENT SHALL BE LOCATED ABOVE THE BASE FLOOR ELEVATION. PROVIDE PRESSURE TREATED WOOD PLATFORM W/ FOUNDATION IF REQD.
- 3. BATHROOMS ARE MECHANICALLY VENTILATED.
- 4. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- 5. ALL DIMENSIONS ARE PROVIDED TO FINISH FACE UNLESS SPECIFICALLY NOTED OTHERWISE.
- 6. ALL STRUCTURAL COMPONENTS ARE TO REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE.
- 7. PROVIDE MOISTURE RESISTANT GYP. BD. AT ALL WET WALL LOCATIONS (EX. KITCHENETTE, BATHROOM ETC.)
- 8. PROVIDE ALL NECESSARY FRAMING REQUIRED @ INSTALLATION OF NEW WINDOWS AND DOORS
- 9. PER SECTION 2304, IBC 2015, CONTRACTOR TO ENSURE THAT THE FOLLOWING PEST CONTROL MEASURES ARE TAKEN:
  - 9.1. SEAL ALL EXTERNAL CRACKS, JOINTS, PENETRATIONS, EDGES AND ENTRY POINTS WITH CAULKING OR GROUT.
  - 9.2. SEPARATE ALL WOOD TO CONCRETE CONNECTIONS WITH METAL OR WATERPROOFING TAPE.
- 10. ALL EXIST. UNFINISHED MATERIAL SHALL BE PAINTED. COORDINATE W/OWNER AND ARCHITECT DURING CONSTRUCTION.
- 11. ALL TOILETS TO BE FLOOR MOUNTED.
- 12. SUBSTITUTIONS TO ALL BASIS OF DESIGN PRODUCTS ARE ACCEPTABLE WITH OWNER APPROVAL.
- 13. REMOVE EXISTING PAINT BY HAND SANDING FOR EXISTING WINDOWS AND DOORS TO REMAIN AS NEEDED.
- 14. WHERE NEW PLUMBING IS REQUIRED AT EXISTING MASONRY WALL FOR WATER CLOSET, FUR OUT WITH NEW 2 x 6 AS NEEDED.
- 15. ALL DOORS WITHIN FIRE RATED ASSEMBLY SHALL BE RATED AND HAVE SELF-CLOSING HARDWARE.
- 16. PROVIDE RESILIENT CHANNEL FOR SOUND BARRIER @ ALL WALLS SEPARATING ADJACENT UNITS AND ALL WALL SEPARATING UNITS FROM COMMON SPACES. SYSTEM SHALL ACHIEVE STC RATING OF 50 OR MORE. ALL NEW WALLS SHALL BE FURRED OUT TO BE FLUSH WITH ADJACENT EXISTING WALLS.
- 17. REMOVE EXISTING CARPET THROUGHOUT
- 18. ALL EXISTING WOOD FLOORS TO BE SANDED AND SEALED.
- 19. ALL EXISTING CONCRETE FLOORS ARE TO BE POLISHED AND SEALED.
- 20. PROVIDE THE FOLLOWING IN ALL BATHROOM LOCATIONS. SELECTIONS BY CONTRACTOR / APPROVED BY OWNER:
  - 20.1. FLOOR MOUNTED TOILET, VANITY WITH BASE CABINETS (OR ADA SINK), TOWEL BAR, PAPER TOWEL HOLDER, VANITY LIGHTS PER RCP
  - 20.2. ADD NEW WD. BASE TO MATCH CHARACTER AND PROFILE OF EXIST WD. BASE AT ALL NEW WALLS



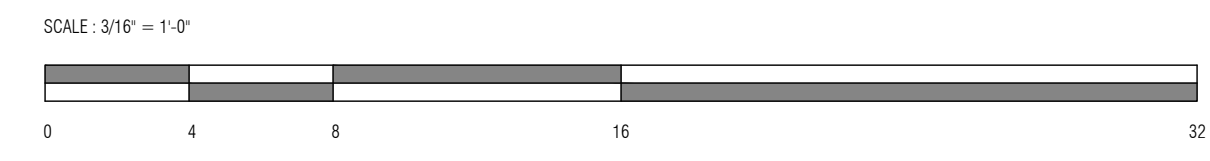
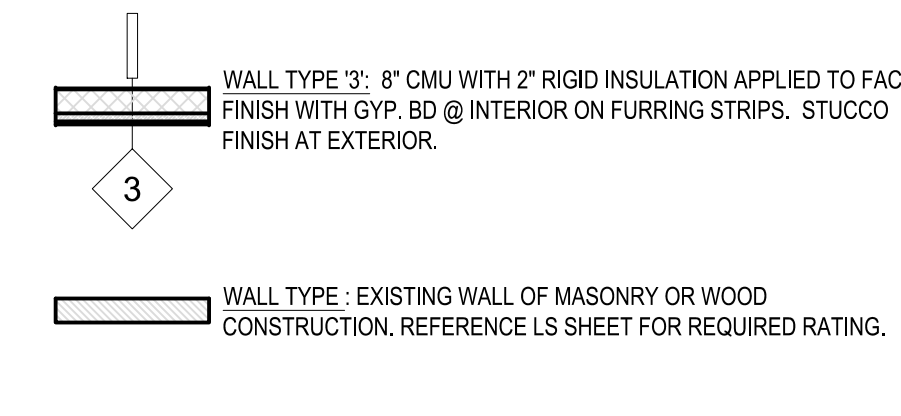
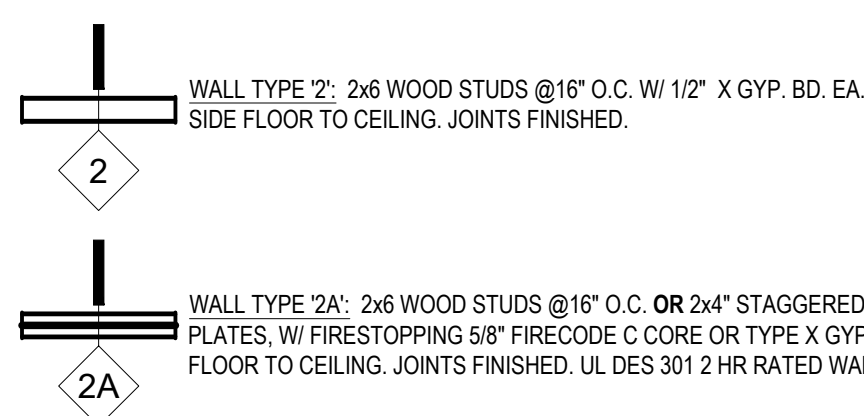
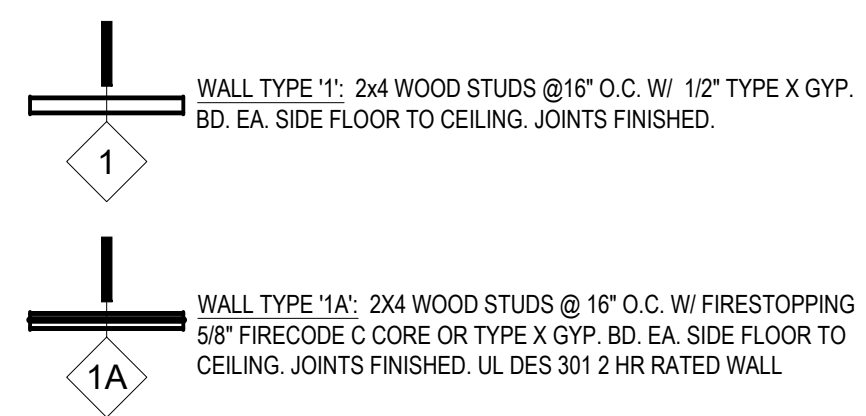
02 SECOND FLOOR PLAN  
A111  
3/16" = 1'-0"

23. GC VERIFY HEIGHT OF EXISTING GRADE RELATIVE TO NEW FINISHED FLOOR ELEVATION PRIOR TO FORMING AND POURING NEW CONCRETE SLAB. GC PROVIDE TRANSITION BETWEEN DIFFERING ELEVATIONS. CONSULT ARCHITECT, STRUCTURAL ENGINEER OF RECORD TO RESOLVE DURING CONSTRUCTION IF ADJUSTMENTS ARE REQUIRED.

how is this transition accomplished between new ground floor level and existing garage located on property line? something to consider in field prior to pouring & forming concrete



01 FIRST FLOOR PLAN  
A111  
3/16" = 1'-0"



RENOVATION AT 833 BARONNE  
833 BARONNE ST. NEW ORLEANS, LA 70130

- ISSUE -

No.	Date	Scope
1	11/06/19	PERMIT SET
2	11/25/19	PERMIT SET REV
3	12/31/19	PERMIT SET REV
4	4/10/20	RESUBMISSION
5	10/09/20	A.R.C.
6	11/09/20	PERMIT SET REV
7	12/09/20	SFM REVIEW
8	1/28/21	PERMIT SET REV