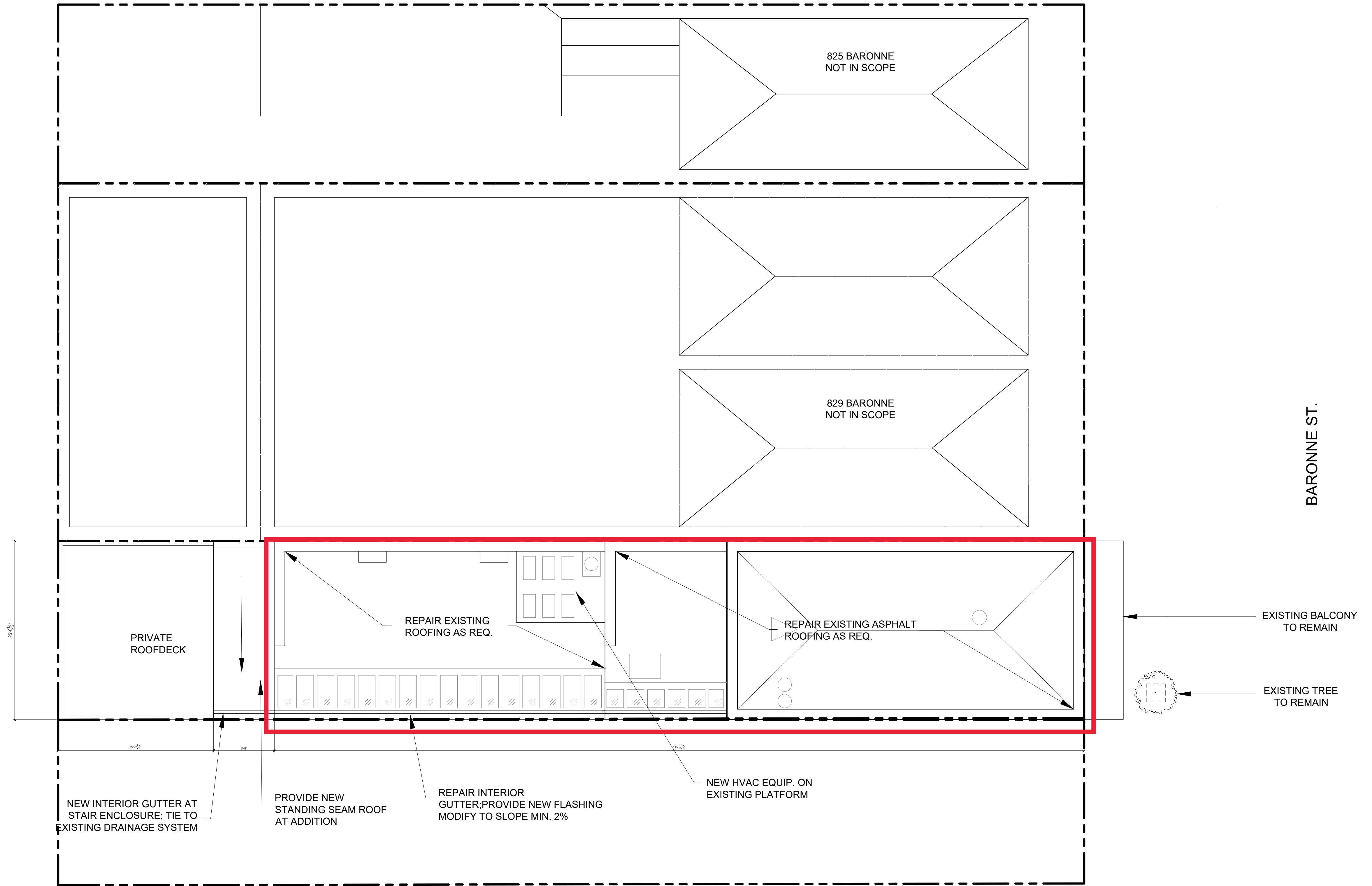


JULIA ST (SIDE)

O'KEFFE AVE (SIDE)

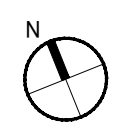
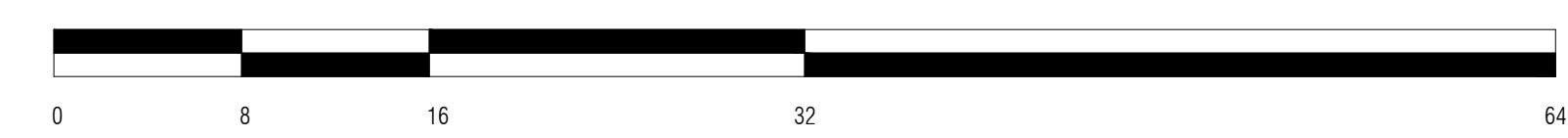
BARONNE ST.



HOWARD AVE (SIDE)

01 SITE PLAN  
A110 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



RENOVATION AT 833 BARONNE  
833 BARONNE ST. NEW ORLEANS, LA 70130

- ISSUE -

No.	Date	Scope
1	11/06/19	PERMIT SET
2	11/25/19	PERMIT SET REV
3	12/31/19	PERMIT SET REV
4	4/10/20	RESUBMISSION
5	10/09/20	A.R.C.
6	11/09/20	PERMIT SET REV
7	12/09/20	SFM REVIEW

DRAWING TITLE:  
SITE PLAN

SCALE: 1/8" = 1'-0"  
JOB No.: 1929.00

DRAWING No.:

A-110

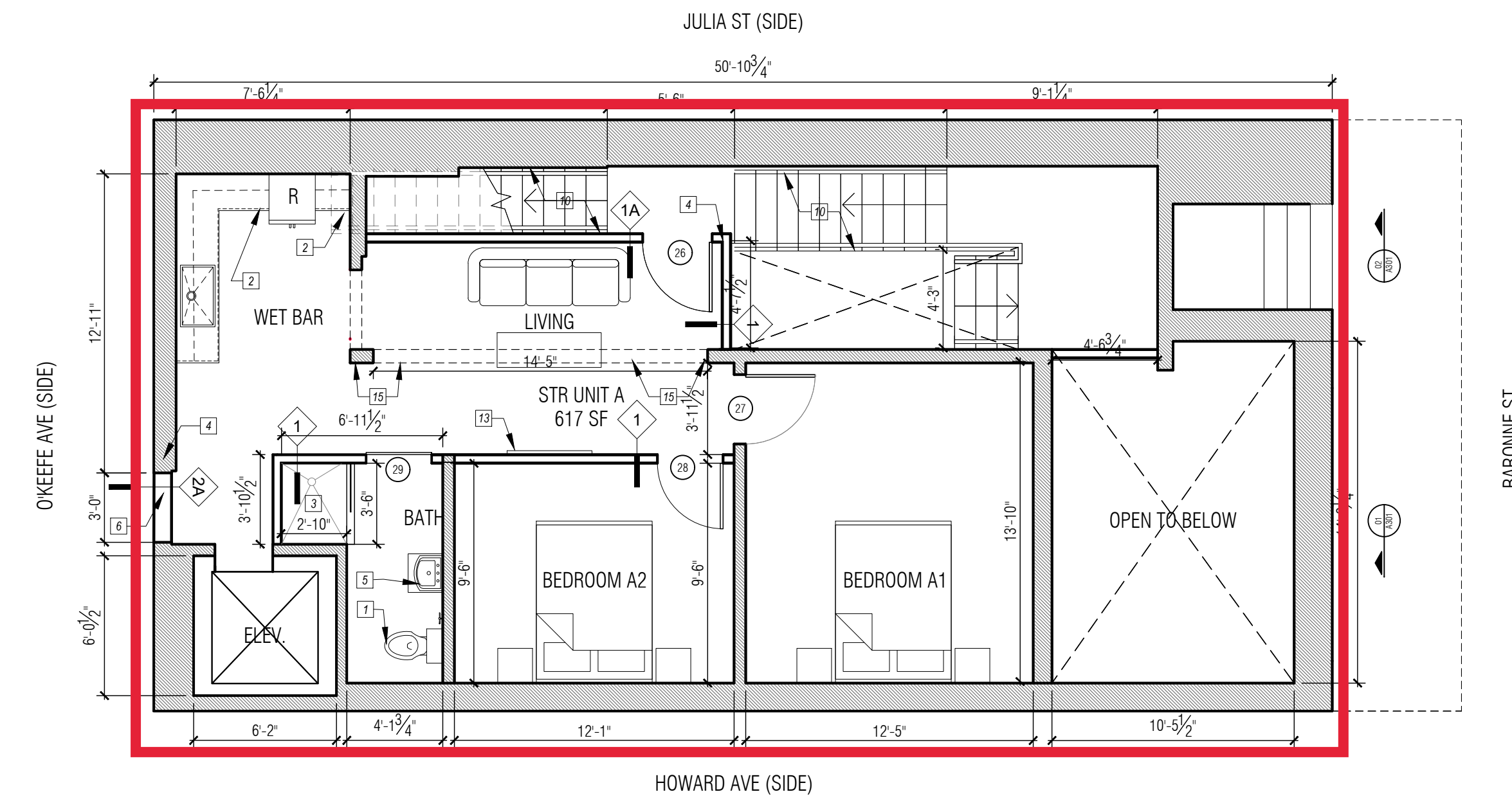
**FLOOR PLAN SPECIFIC KEYED NOTES**

- 1 NEW PLUMBING FIXTURES; REUSE EXISTING PLUMBING LINES IF AVAILABLE
- 2 NEW KITCHEN APPLIANCE; SELECTIONS TO BE APPROVED BY OWNER
- 3 SLOPE TO DRAIN AT SHOWER LOCATION; PROVIDE 4" TILED CURB AT EDGE, NEW GLASS PARTITIONS AT NEW SHOWER
- 4 PROVIDE 2 HOUR FIRE SEPARATION
- 5 NEW VANITY COUNTERTOP AND CASEWORK BELOW
- 6 FILL IN EXISTING OPENING WITH NEW WALL
- 7 FIX DOOR IN PLACE
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- 9 HISTORIC HANDRAIL TO REMAIN; STABILIZE AS REQ. PAINT TO BE SELECTED BY OWNER/ARCHITECT
- 10 EXISTING WOOD STAIRS AND HANDRAIL TO REMAIN, REPAIR AS NECESSARY TO MATCH EXISTING CONDITIONS.
- 11 LEVEL EXISTING BALCONY FRAMING THROUGHOUT WITH TAPERED WD BLOCKING. REFINISH ALL AND REINSTALL EXIST. WD. DECKING, TIE INTO EXISTING MEMBERS; PROVIDE STRUCTURAL SUPPORTS AND BRACING AS NEEDED
- 12 PROVIDE NEW BASE CABINETS AND UPPER CABINETS PER INTERIOR ELEVATIONS DRAWINGS
- 13 NEW WALL HUNG TV; PROVIDE POWER AND DATA 56" A.F.F
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- 15 PROVIDE STRUCTURAL COLUMNS TO SUPPORT LOAD; PROVIDE HEADER SUPPORT ABOVE
- 16 INSTALL FREE STANDING TUB
- 17 PROVIDE SHELVING AT CLOSET

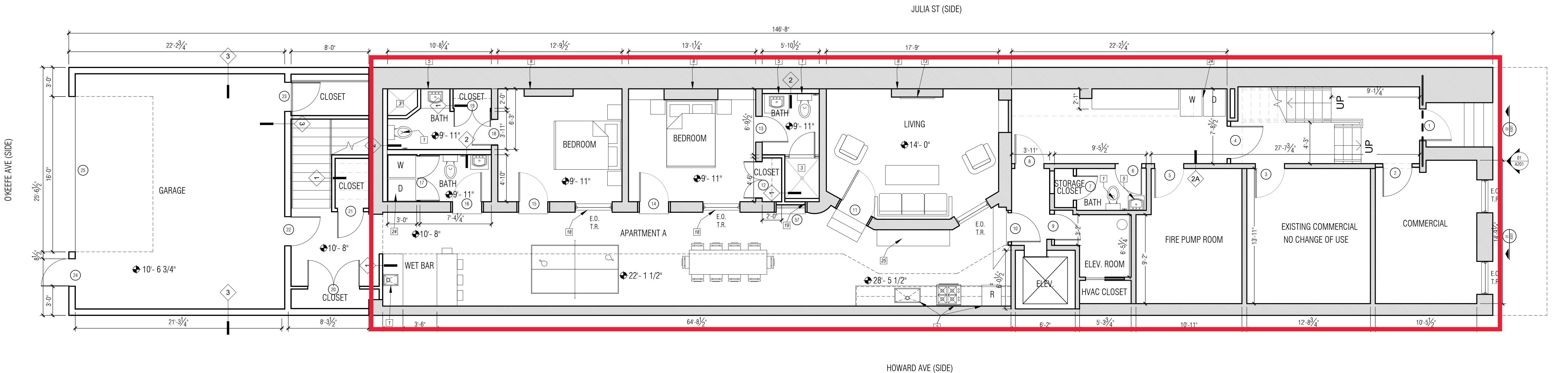
- 18 FROST EXISTING GLASS WITH APPLIED FILM
- 19 FIX EXISTING DOOR IN PLACE - FILL IN WALL BEHIND DOOR FLUSH WITH EXISTING WALL
- 20 PROVIDE NEW 42" HIGH METAL GUARDRAIL WITH 36" HIGH HANDRAIL
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- 28 PROVIDE NEW FLOOR FRAMING

**FLOOR PLAN GENERAL NOTES**

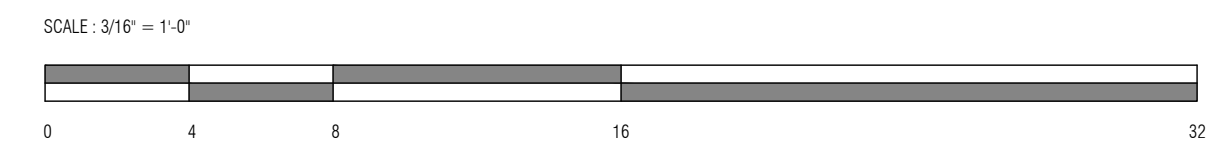
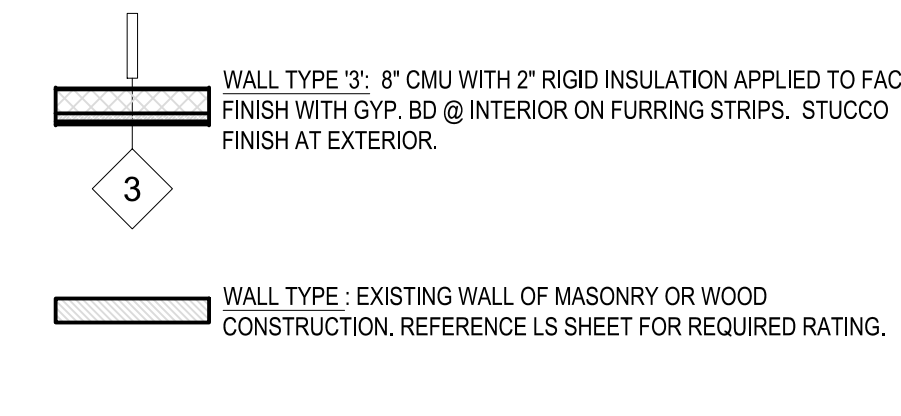
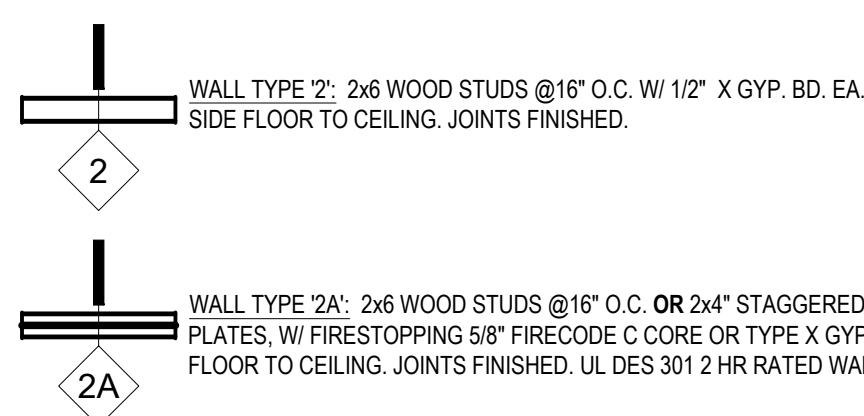
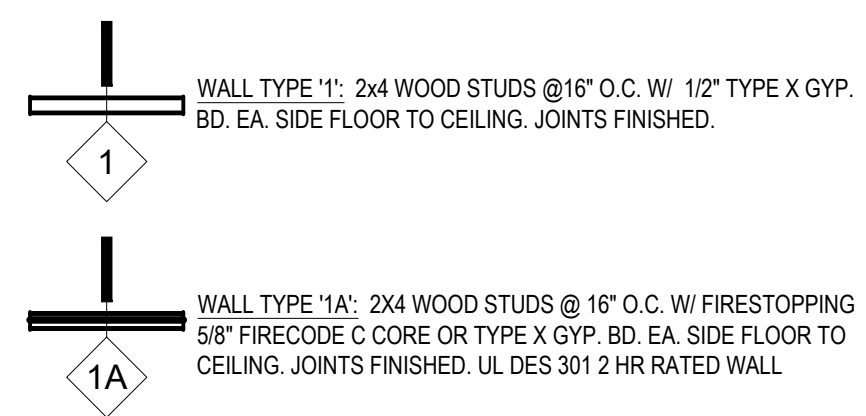
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  - 9.2. SEPARATE ALL WOOD TO CONCRETE CONNECTIONS WITH METAL OR WATERPROOFING TAPE.
10. ALL EXIST. UNFINISHED MATERIAL SHALL BE PAINTED. COORDINATE W/OWNER AND ARCHITECT DURING CONSTRUCTION.
11. ALL TOILETS TO BE FLOOR MOUNTED.
12. SUBSTITUTIONS TO ALL BASIS OF DESIGN PRODUCTS ARE ACCEPTABLE WITH OWNER APPROVAL.
13. REMOVE EXISTING PAINT BY HAND SANDING FOR EXISTING WINDOWS AND DOORS TO REMAIN AS NEEDED.
14. WHERE NEW PLUMBING IS REQUIRED AT EXISTING MASONRY WALL FOR WATER CLOSET; FUR OUT WITH NEW 2 x 6 AS NEEDED.
15. ALL DOORS WITHIN FIRE RATED ASSEMBLY SHALL BE RATED AND HAVE SELF-CLOSING HARDWARE.
16. PROVIDE RESILIENT CHANNEL FOR SOUND BARRIER @ ALL WALLS SEPARATING ADJACENT UNITS AND ALL WALL SEPARATING UNITS FROM COMMON SPACES. SYSTEM SHALL ACHIEVE STC RATING OF 50 OR MORE. ALL NEW WALLS SHALL BE FURRED OUT TO BE FLUSH WITH ADJACENT EXISTING WALLS.
17. REMOVE EXISTING CARPET THROUGHOUT
18. ALL EXISTING WOOD FLOORS TO BE SANDED AND SEALED.
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  - 20.2. ADD NEW WD. BASE TO MATCH CHARACTER AND PROFILE OF EXIST WD. BASE AT ALL NEW WALLS



02 SECOND FLOOR PLAN  
3/16" = 1'-0"



01 FIRST FLOOR PLAN  
3/16" = 1'-0"



RENOVATION AT 833 BARONNE  
833 BARONNE ST. NEW ORLEANS, LA 70130

- ISSUE -

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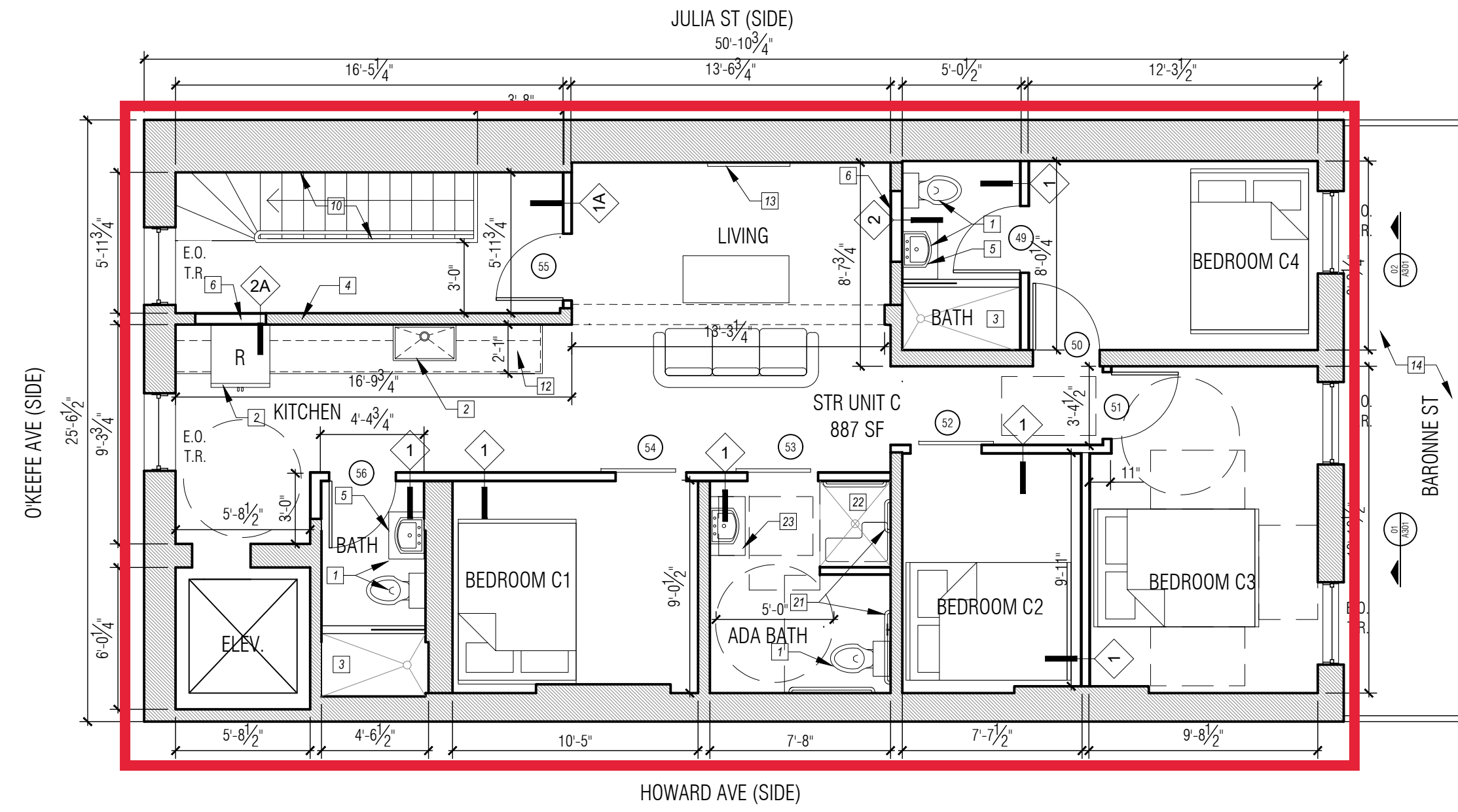
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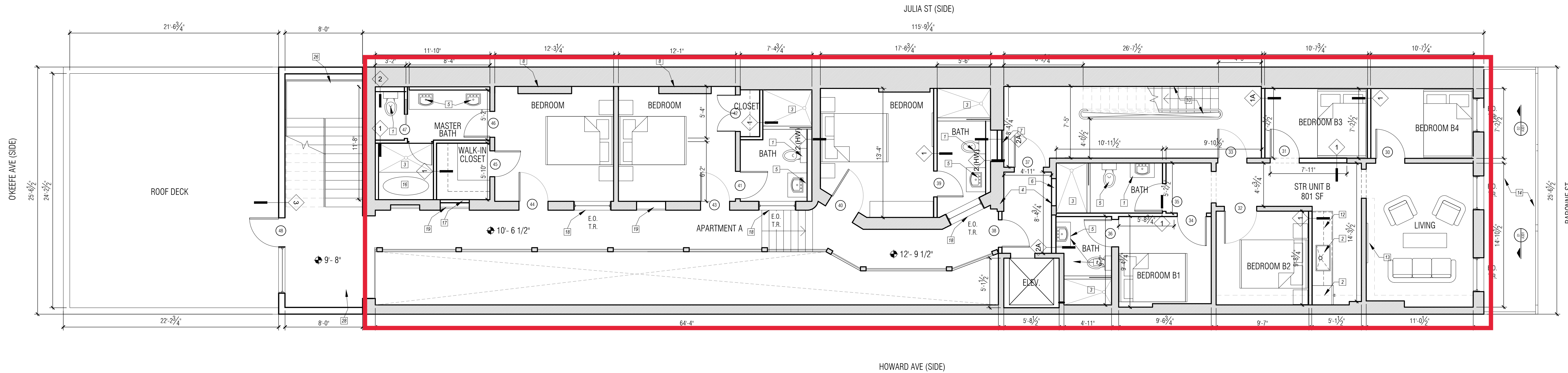
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02 FOURTH FLOOR PLAN  
A112 3/16" = 1'-0"



01 THIRD FLOOR PLAN  
A112 3/16" = 1'-0"

1 WALL TYPE '1': 2x4 WOOD STUDS @16" O.C. W/ 1/2" TYPE X GYP. BD. EA. SIDE FLOOR TO CEILING. JOINTS FINISHED.

2 WALL TYPE '2': 2x6 WOOD STUDS @16" O.C. W/ 1/2" X GYP. BD. EA. SIDE FLOOR TO CEILING. JOINTS FINISHED.

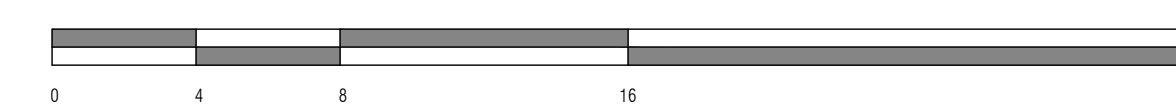
3 WALL TYPE '3': 8" CMU WITH 2" RIGID INSULATION APPLIED TO FACE. FINISH WITH GYP. BD @ INTERIOR ON FURRING STRIPS. STUCCO FINISH AT EXTERIOR.

1A WALL TYPE '1A': 2x4 WOOD STUDS @16" O.C. W/ FIRESTOPPING 5/8" FIRECODE C CORE OR TYPE X GYP. BD. EA. SIDE FLOOR TO CEILING. JOINTS FINISHED. UL DES 301 2 HR RATED WALL

2A WALL TYPE '2A': 2x6 WOOD STUDS @16" O.C. OR 2x4" STAGGERED ON 2x6 WOOD PLATES, W/ FIRESTOPPING 5/8" FIRECODE C CORE OR TYPE X GYP. BD. EA. SIDE FLOOR TO CEILING. JOINTS FINISHED. UL DES 301 2 HR RATED WALL OR GA WP 3910

WALL TYPE : EXISTING WALL OF MASONRY OR WOOD CONSTRUCTION. REFERENCE LS SHEET FOR REQUIRED RATING.

SCALE: 3/16" = 1'-0"



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DRAWING TITLE:  
FLOOR PLANS

SCALE: 3/16" = 1'-0"  
JOB No.: 1929.00

DRAWING No.:

A-112