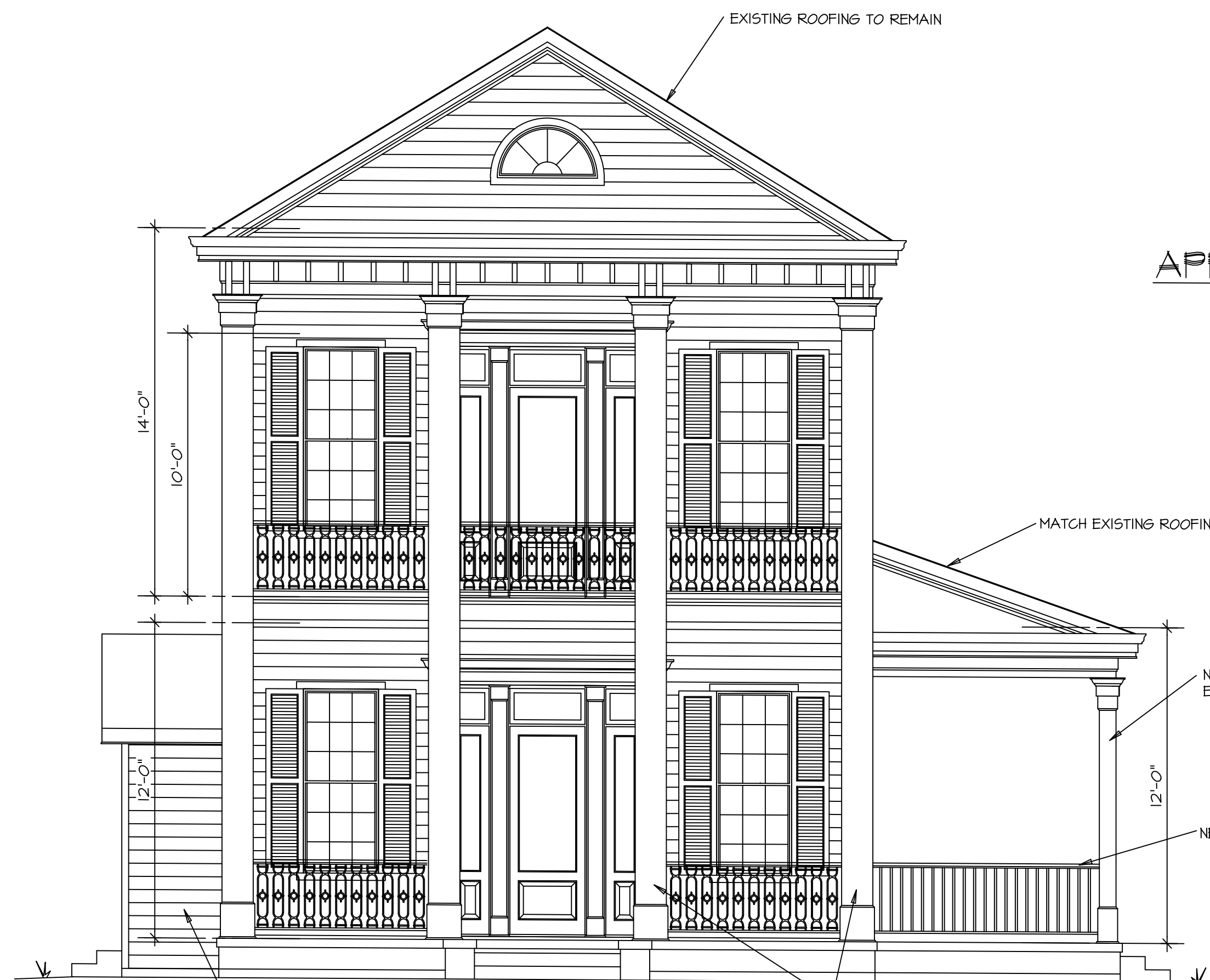




REAR ELEVATION

SCALE : 1/4" = 1'-0"

PROVIDE POWER ROOF VENTS ON REAR SIDE OF ROOF AS REQUIRED BY CODE



FRONT ELEVATION

SCALE : 1/4" = 1'-0"

FLASHING NOTES:

1. SHEET METAL : ALL SHEET METAL WORK SHALL COMPLY THE DESIGN AND INSTALLATION DETAILS AS PUBLISHED BY SHACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.). WORK TO INCLUDE, BUT NOT LIMITED TO GUTTERS, DOWN SPOUTS, EAVE FLASHING, VALLEY FLASHING, HIP AND RIDGE FLASHING, PARAPET WALL COPINGS, PARAPET WALL COVERINGS, ROOF PENETRATIONS, CHIMNEY, LEDGE AND WALL FLASHINGS.
2. FLASHING : APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. FLASHING AND WEEPHOLES AT BRICK SHALL COMPLY WITH SECTIONS R103.8.5 AND R103.8.6. WALL FLASHINGS SHALL COMPLY WITH SECTIONS R103.8. ROOF FLASHING SHALL COMPLY WITH SECTION R405.2.8. IRC 2015.

GLAZED OPENING PROTECTION

ALL WINDOWS WITHOUT OPERABLE SHUTTERS SHALL BE PROVIDED WITH A MINIMUM THICKNESS OF 1/8" WOOD STRUCTURAL PANELS FOR PROTECTION OF WINDBORNE DEBRIS, AS PER SECTION 301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. THE PANELS ARE TO BE PRECUT TO COVER THE GLAZED OPENINGS, WITH A MAXIMUM SPAN OF 8' AND PROVIDED WITH ATTACHMENT HARDWARE. ATTACHMENT SHALL COMPLY WITH TABLE R301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. PANELS ARE TO BE ON THE JOB SITE AT COMPLETION OF CONSTRUCTION.

BUILDING CONSTRUCTION

THE HURRICANE RESISTANCE CONSTRUCTION FOR THIS RESIDENCE WAS DESIGNED TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE, SECTION R301.2.1.

I HAVE RESEARCHED THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE DRAWINGS.

THE CONSTRUCTION OF THIS STRUCTURE IS TO CONFORM TO THE WIND AND FLOOD MITIGATION REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE, ASCE 7 WIND LOADS. BUILDINGS LOCATED IN WHOLE OR IN PART IN IDENTIFIED FLOODWAYS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ASCE 24-14 AND FEMA REQUIREMENTS.

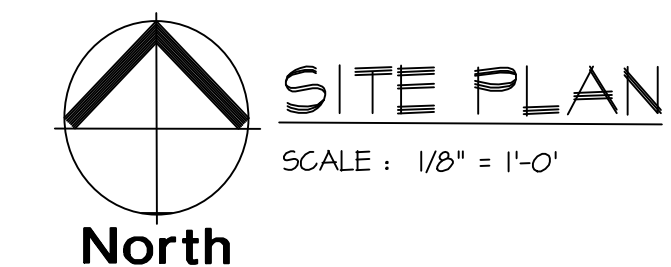
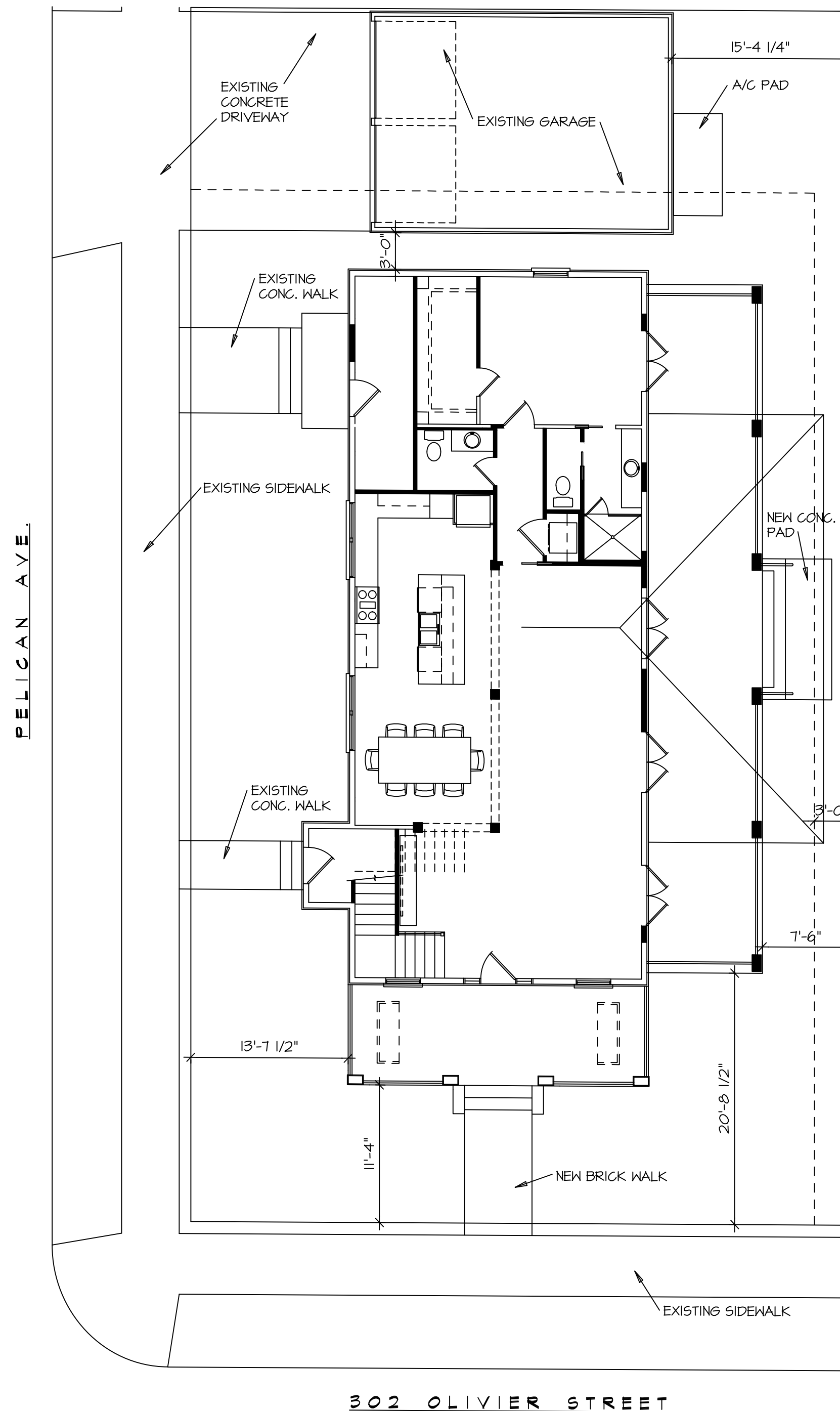
HURRICANE RESISTANCE CONSTRUCTION HAS BEEN DESIGNED USING THE PRESCRIPTIVE REQUIREMENTS OF THE WOOD FRAME CONSTRUCTION MANUAL, LATEST EDITION.

THE STRUCTURE HAS BEEN DESIGNED FOR : THREE SECOND WIND GUST OF 130 MPH - BASED ON EXPOSURE B.

UPLIFT RESISTANCE IS REQUIRED AND SHALL BE CONTINUOUS FROM THE ROOF TO THE FOUNDATION.

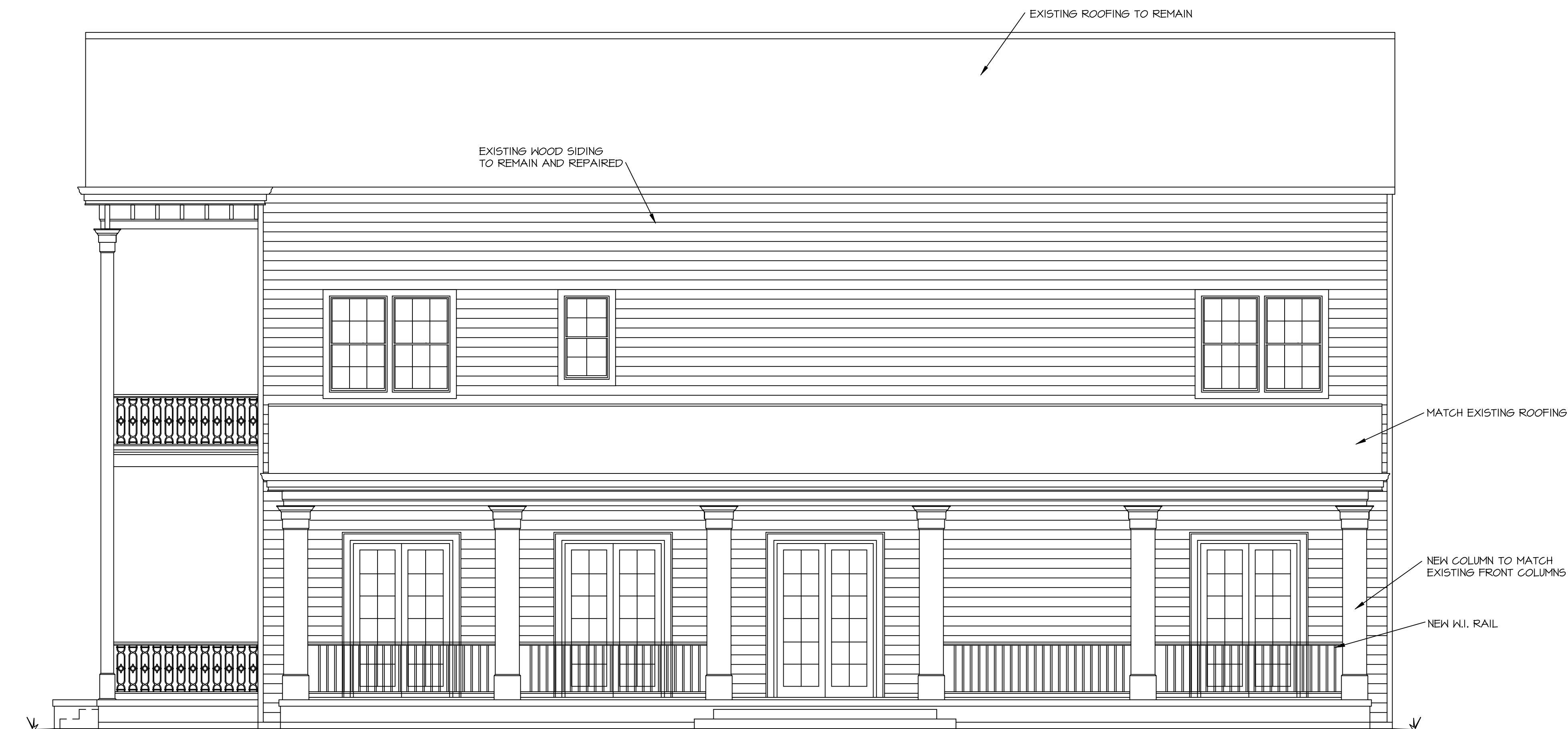
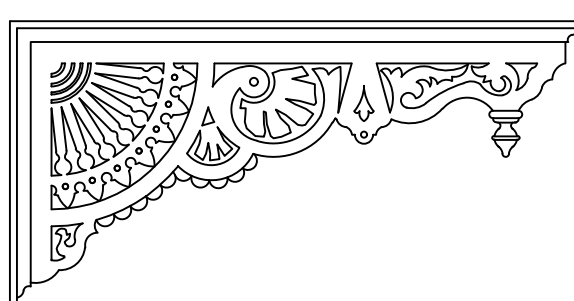
APPROXIMATE SQ. FT.

LIVING AREA	
FIRST FLOOR	1561 S.F.
SECOND FLOOR	1456 S.F.
THIRD FLOOR	518 S.F.
SUBTOTAL:	3535 S.F.
PORCH	214 S.F.
SIDE PORCH	567 S.F.
BALCONY	214 S.F.
GARAGE	474 S.F.
GROSS:	5069 S.F.



LOT #142
 SQUARE #32
 ALGERS POINT SUBDIVISION
 ORLEANS PARISH, LA

THIS PLAN AND SPECIFICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY CODE REQUIREMENTS. I AM NOT ADMINISTERING THE WORK. REG. NO. 4352
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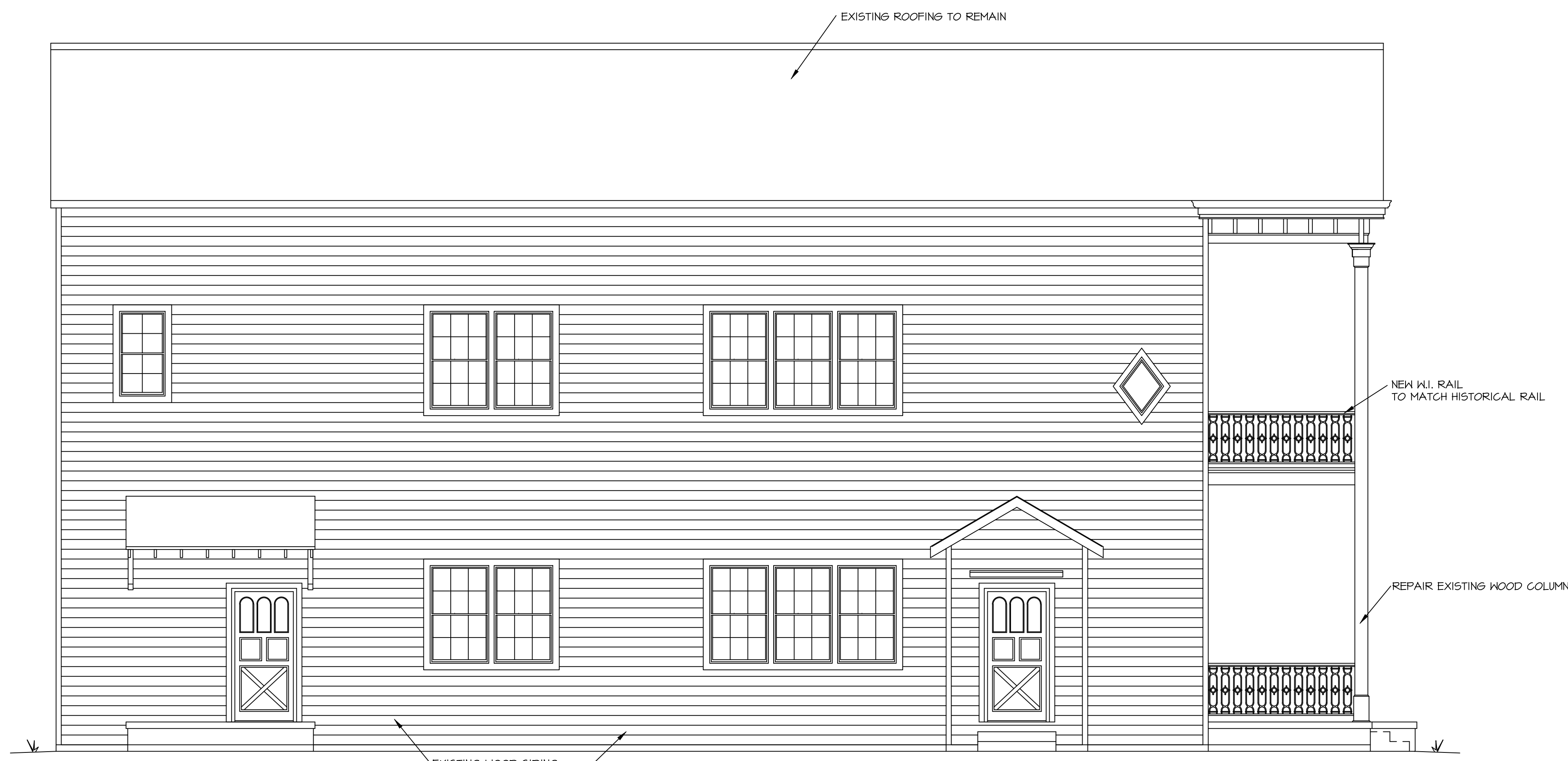
SIDE ELEVATION

SCALE : 1/4" = 1'-0"

ENERGY EFFICIENCY CERTIFICATE :
 A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER. THE CERTIFICATE SHALL LIST THE PREDOMINANT R VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, CRAWLSPACE WALL AND OR FLOOR AND DUCTS OUTSIDE CONDITIONED SPACES; U FACTORS FOR PENETRATION; AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF COMPONENT. WHERE THERE IS MORE THAN ONE VALUE FOR EACH LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.

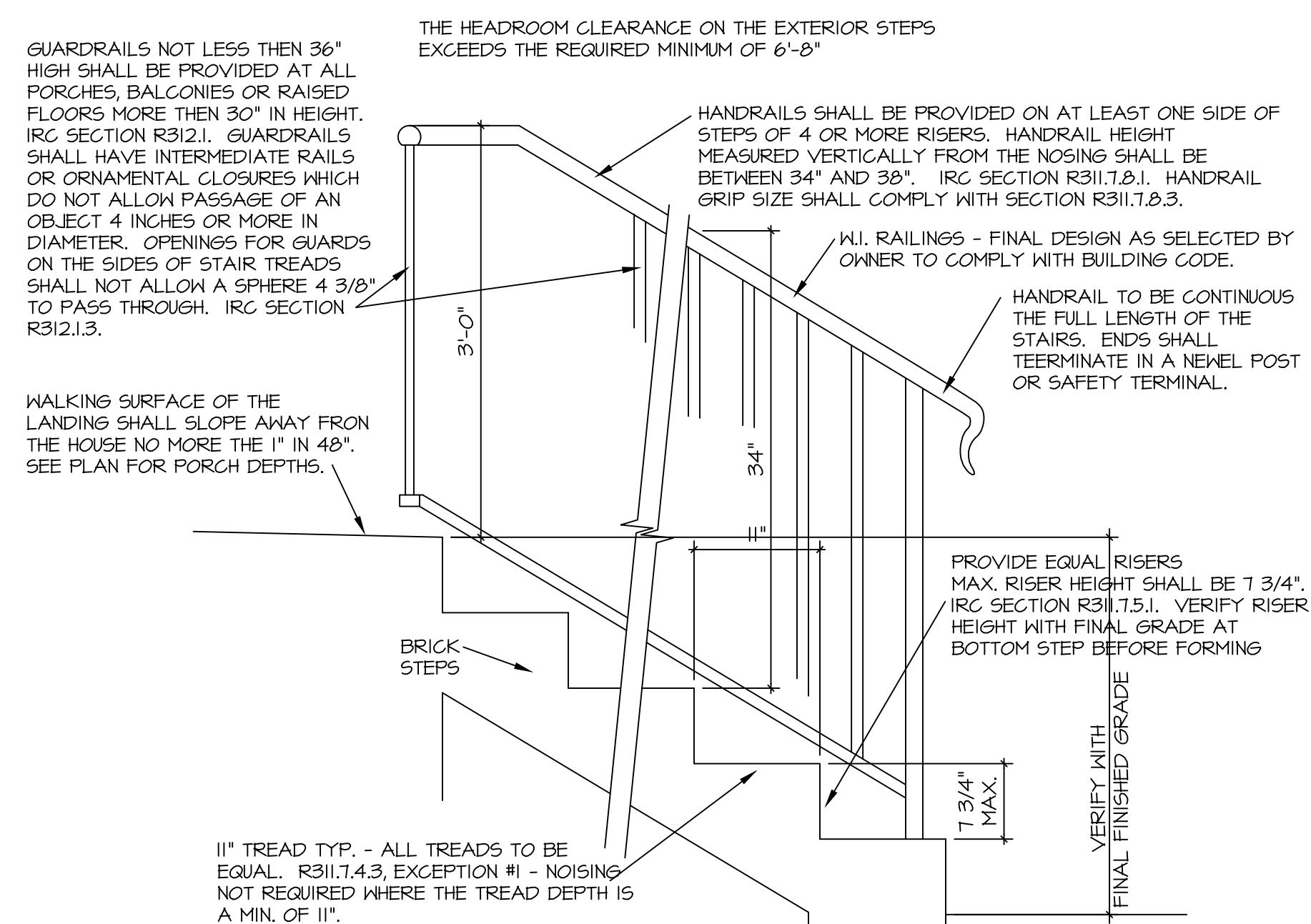
HEATING & COOLING EQUIPMENT :
 HEATING AND COOLING EQUIPMENT SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES.

GLAZING ENERGY EFFICIENCY :
 ALL PENETRATION PRODUCTS (WINDOWS, DOORS & SKYLIGHTS) SHALL BEAR A LABEL FROM THE MANUFACTURER CERTIFYING THE U-FACTOR AND SHGC (SOLAR HEAT GAIN COEFFICIENT) FOR THE GLAZING. IRC N102.1.



SIDE ELEVATION

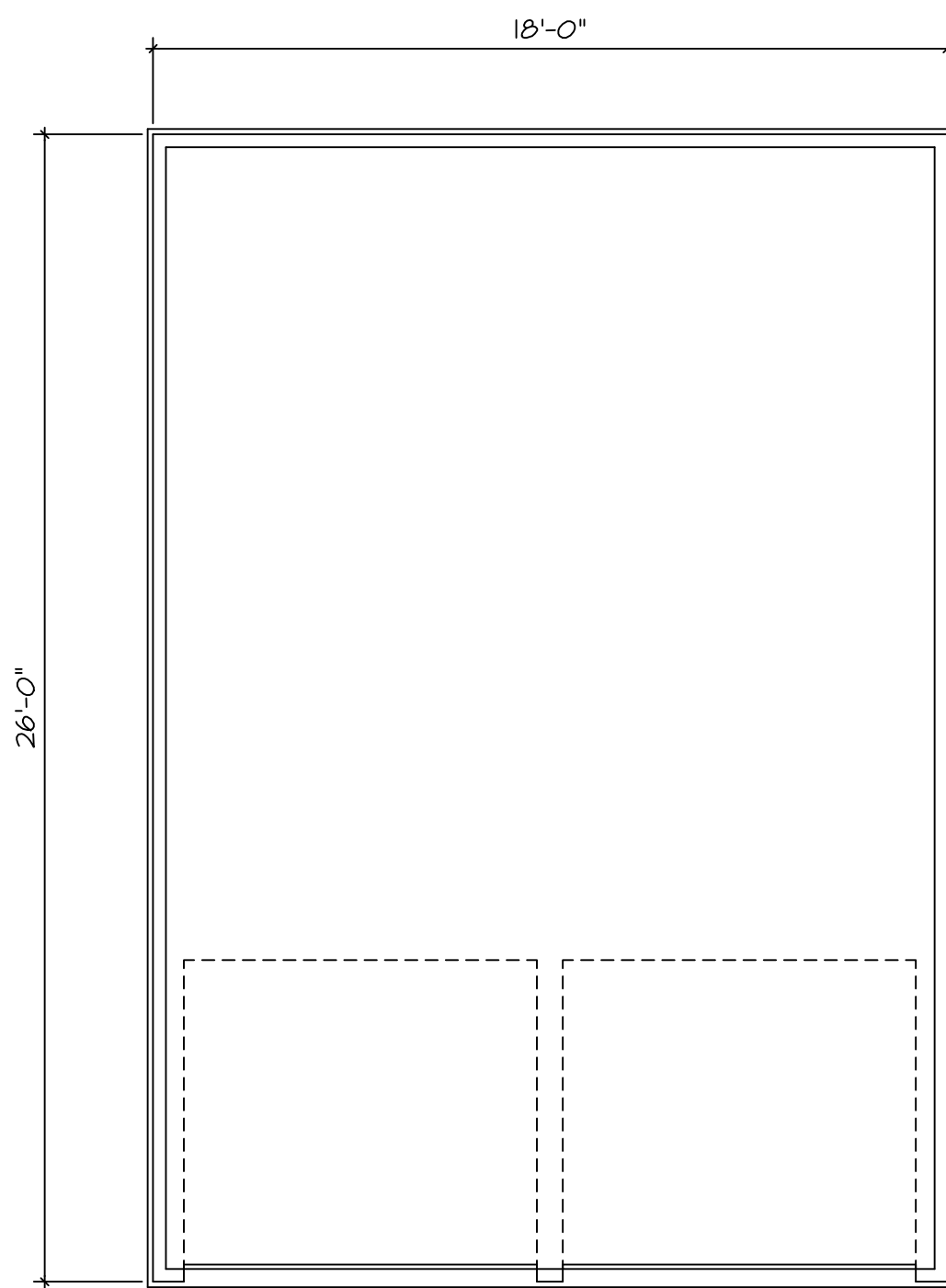
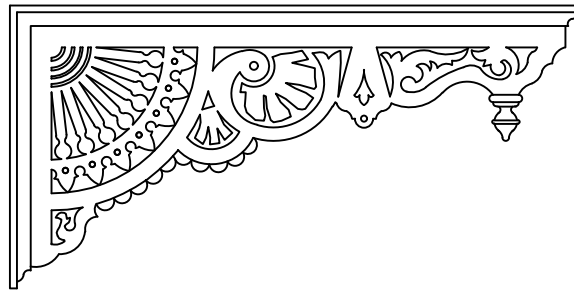
SCALE : 1/4" = 1'-0"



1 EXTERIOR STAIR DETAIL

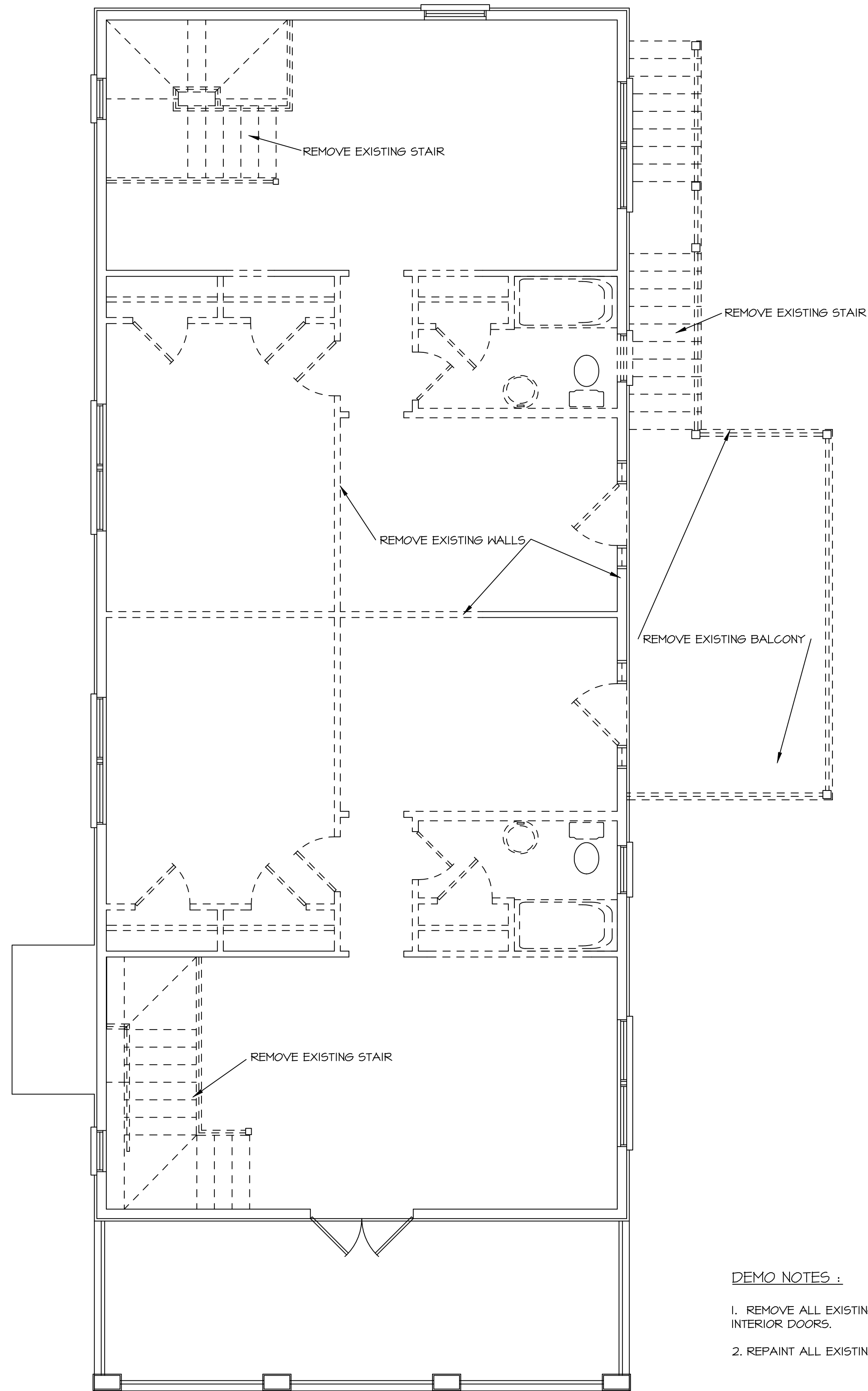
SCALE : 1" = 1'-0"

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GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

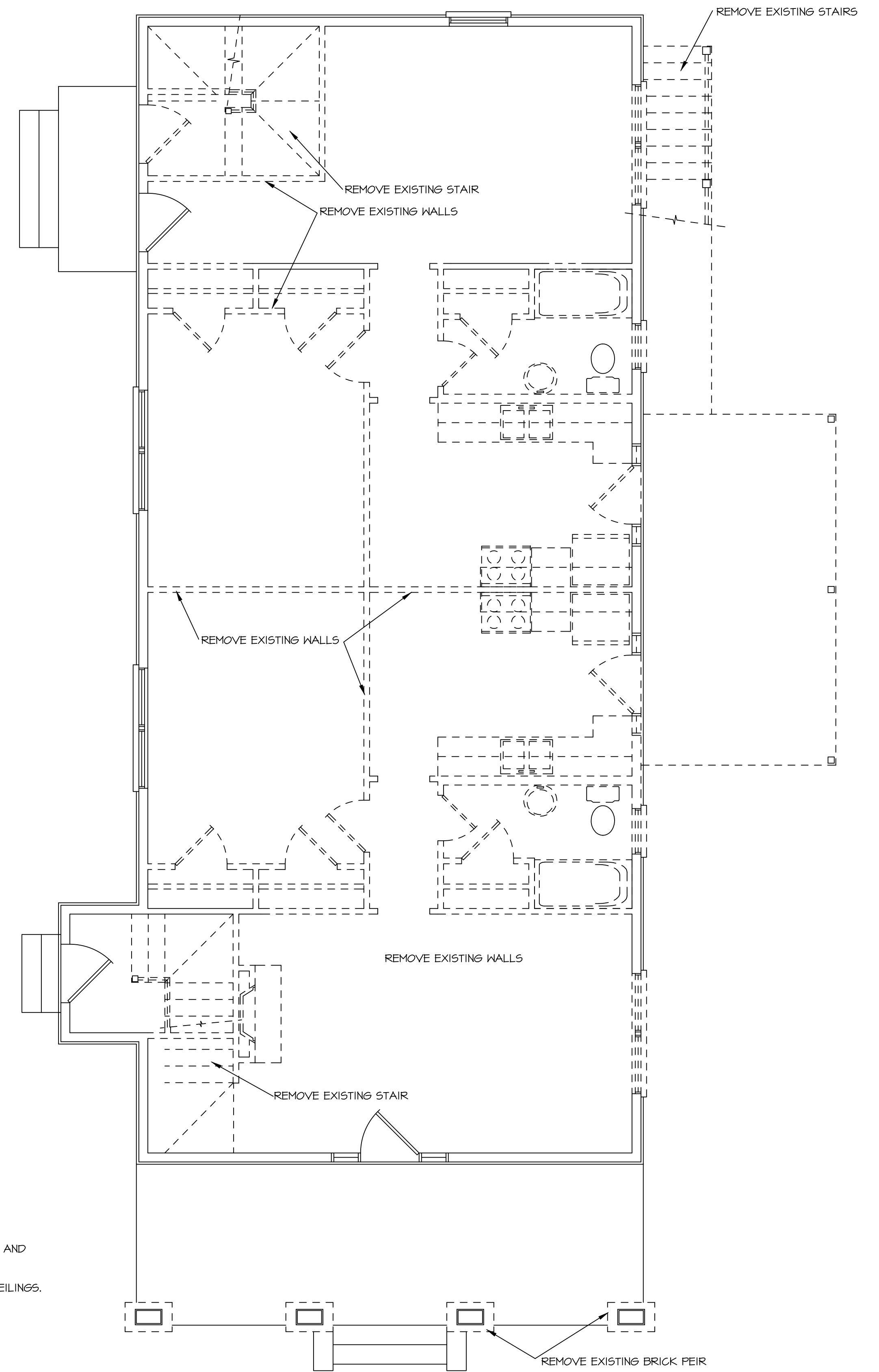
SCALE: 1/4" = 1'-0"

DEMO NOTES:

1. REMOVE ALL EXISTING BASE, CASING AND INTERIOR DOORS.
2. REPAINT ALL EXISTING WALLS AND CEILINGS.

LEGEND

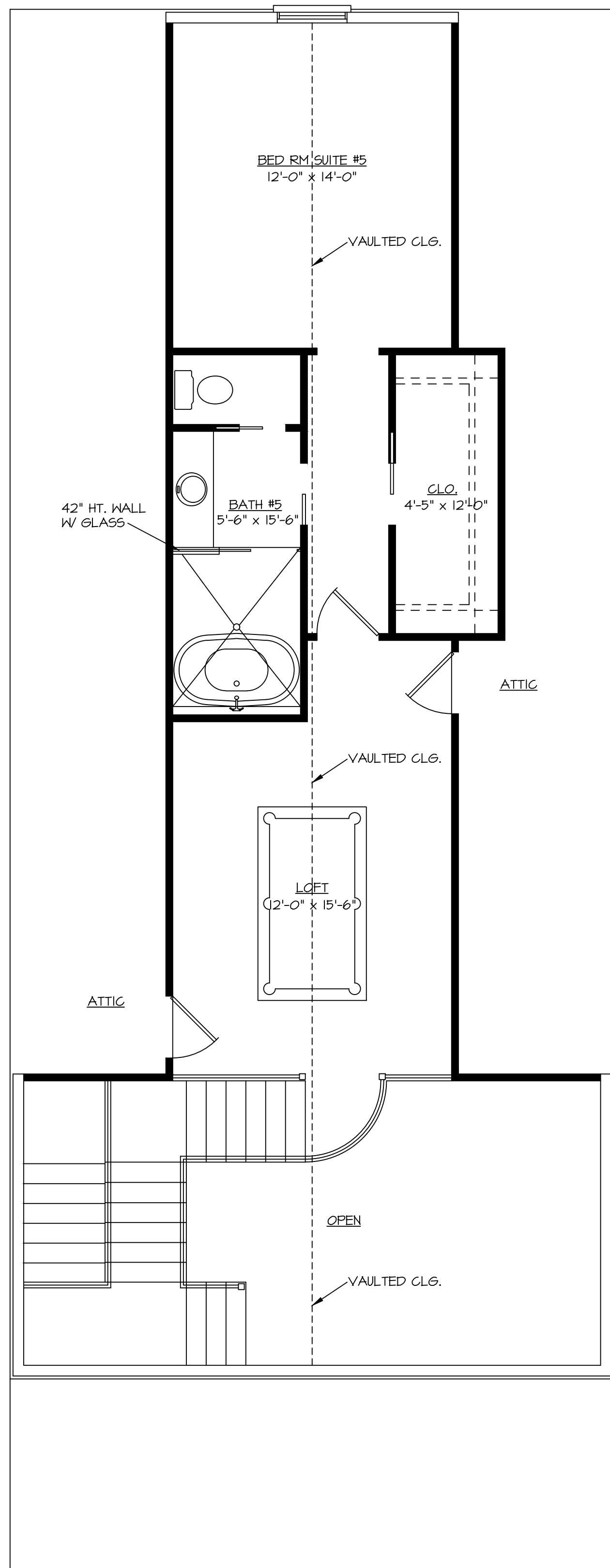
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO REMOVE
- NEW WALLS



FIRST FLOOR PLAN

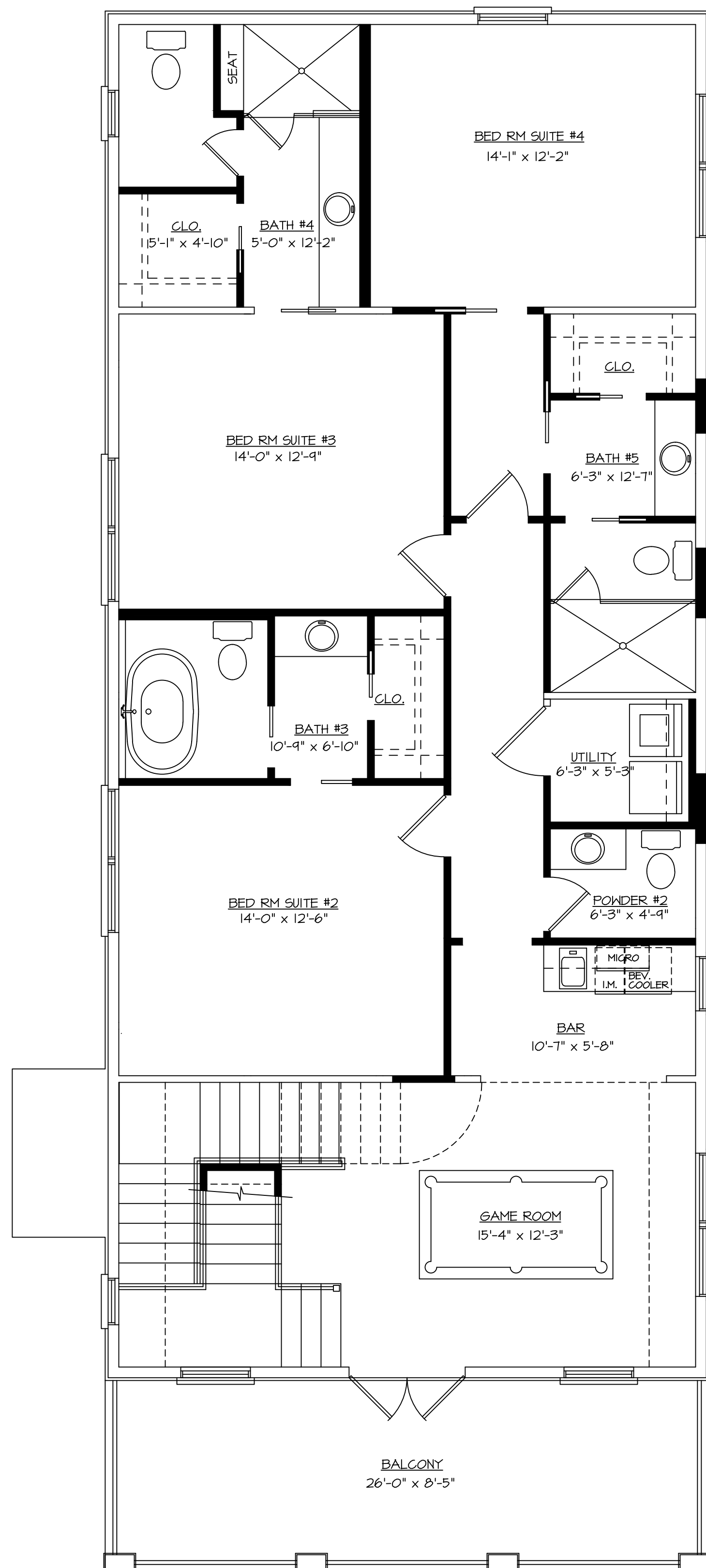
SCALE: 1/4" = 1'-0"

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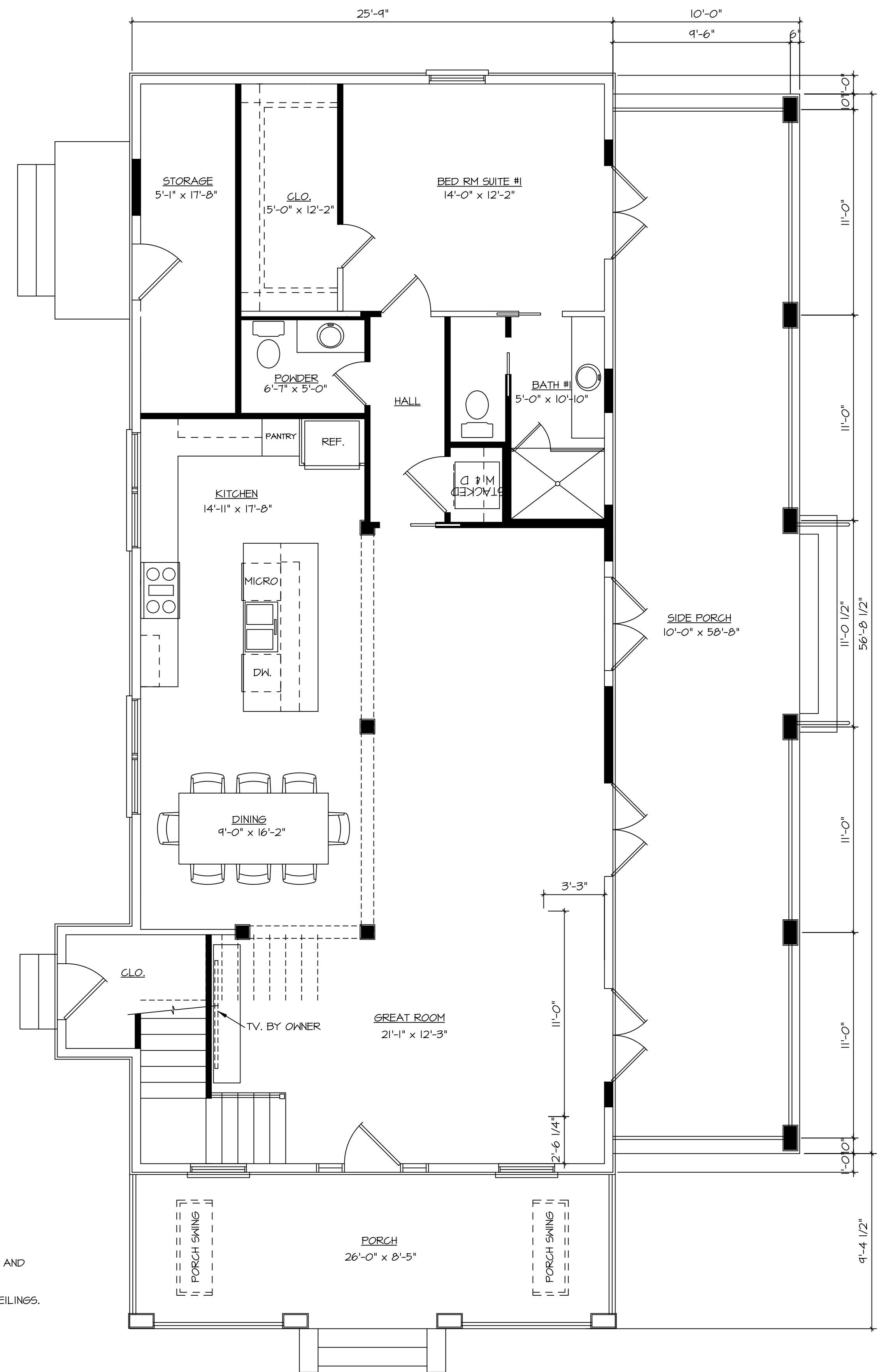
THIRD FLOOR PLAN

SCALE : 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

DEMO NOTES :

1. REMOVE ALL EXISTING BASE, CASING AND INTERIOR DOORS.
2. REPAINT ALL EXISTING WALLS AND CEILINGS.

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO REMOVE
- NEW WALLS

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