

PERMIT #: 25-02907

[illegible]





Date

Tracking Number

20-02907

20-

## BUILDING PERMIT APPLICATION

## MASTER APPLICATION

Property Address: 5268 WARRINGTON DR. N.O. LA 70122 Apt./Ste. Number: \_\_\_\_\_

Type of Building:

<input checked="" type="radio"/> Residential (Single Family)	<input type="radio"/> Residential (Two Family)	<input type="radio"/> Residential (Half of Party Wall Double)	<input type="radio"/> Residential (Accessory Use)
<input type="radio"/> Commercial (Multi-Family)	<input type="radio"/> Commercial (Business Use)	<input type="radio"/> Commercial (Mixed Use)	<input type="radio"/> Commercial (Accessory Use)

### APPLICANT INFORMATION

Applicant Identity: ☒ Owner ☐ Lessee ☒ Contractor ☐ Architect ☐ Engineer  
Mark all that apply ☐ Other

Name RAY NIKDAST

Address 2529 NEBRASKA AVE City METairie State LA Zip 70003

Phone 504-650-7288 Email ROYALCRESTINC@GMAIL.COM

### SCOPE OF WORK/PROPOSAL

Description of proposed work (Please include thorough details or provide attachments.)

TO BUILD A NEW SFD ACCORDING TO ARCHITECTURAL DESIGN

Will the exterior of the building be altered in any way?	<input type="radio"/> Yes <input type="radio"/> No	Will a driveway be installed?	<input checked="" type="radio"/> Yes <input type="radio"/> No
Was this structure built before 1978?	<input type="radio"/> Yes <input checked="" type="radio"/> No	Will any portion of the sidewalk be repaired?	<input checked="" type="radio"/> Yes <input type="radio"/> No
If yes, Supp G "Lead Based Paint Removal Form" is required.		If yes, Supp L "Sidewalk Repair Form" is required.	
Is the impervious surface area on the site where work will be performed > 5,000 sq ft?	<input type="radio"/> Yes <input type="radio"/> No		
Is the total area of the site where you will be working > 1 acre?	<input type="radio"/> Yes <input checked="" type="radio"/> No	Will a dumpster be placed in the street?	<input type="radio"/> Yes <input checked="" type="radio"/> No
Will this project have a total square footage of more the 40,000sf?	<input type="radio"/> Yes <input checked="" type="radio"/> No	If yes, Supp J "Dumpster/Construction Zone Form" is required.	
Will any electrical work be done under this scope of work?	<input checked="" type="radio"/> Yes <input type="radio"/> No		
Will any A/C or gas line work be done under this scope of work?	<input checked="" type="radio"/> Yes <input type="radio"/> No		
Will signage be affected (altered, added, changed)?	<input type="radio"/> Yes <input checked="" type="radio"/> No	When do you expect construction to be complete?	<u>IN 6 MONTHS</u>
If yes, Supplement H "Sign Permit Application" is required.			
Is this application for a Federal Housing Unit?	<input type="radio"/> Yes <input checked="" type="radio"/> No		

Estimate cost/value of proposed work \$ 180,861.00 \*Attach quote, contract, or other documentation of estimate.

Area of existing structure \_\_\_\_\_ ft<sup>2</sup> Area affected \_\_\_\_\_ ft<sup>2</sup> New Area added 2800 ft<sup>2</sup> Number of Floors 1

Foundation Type: ☐ Slab ☒ Pier Sprinklers: ☐ Yes ☒ No Building Condition: ☐ Good ☐ Average ☐ N/A

Existing Use \_\_\_\_\_ Proposed Use SINGLE FAMILY DWELLING

### BUILDING INFORMATION

ICC Construction Type:

- ☒ Not Applicable  
☐ Site Built  
☐ Modular  
☐ Manufactured

	Number of Existing Meters	Number of New Meters
Electrical Meters	<u>N/A</u>	<u>1</u>
Gas Meters	<u>N/A</u>	<u>1</u>





Construction/Development  
Related Permit



Date \_\_\_\_\_

Tracking Number \_\_\_\_\_

## BUILDING PERMIT APPLICATION

## MASTER APPLICATION

### GENERAL BUILDING INFORMATION

Building Area \_\_\_\_\_ ft<sup>2</sup> Garage Area N/A ft<sup>2</sup> Number of Bathrooms 3.5 Central A/C and Heat? ☒ Yes ☐ No

Number of Bedrooms	Current Number of Units	Current Price Range	Number of Units Proposed	Price Range Proposed
Efficiency				
1				
2				
3				
4				
5				

### MULTIFAMILY AND COMMERCIAL BUILDING INFORMATION NOT APPLICABLE ☐

Number of Elevators \_\_\_\_\_ Number of A/C Units \_\_\_\_\_ Number of Boilers \_\_\_\_\_ Number of Escalators \_\_\_\_\_

### OWNER INFORMATION ☒ SAME AS APPLICANT

Name \_\_\_\_\_ Company \_\_\_\_\_  
Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Email \_\_\_\_\_

### CONTRACTOR INFORMATION ☒ SAME AS APPLICANT

Name \_\_\_\_\_ Company \_\_\_\_\_  
Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Email \_\_\_\_\_ State Lic. # 85380 Exp. 12/20/20

### ARCHITECT OR ENGINEER INFORMATION ☐ SAME AS APPLICANT

Name ROLAND ARRIAGA Company ARCHI-DINAMICA ARCHITECTS  
Address 223 S. JEFF DAVIS PKWY City N.O. State LA Zip 70119  
Phone 504-486-8616 Email ARCHID@COX-NET License Number 3893

### FEES

- Permit Fee: \$60 + (\$5 per \$1000 of work to be performed)
- Plan review Fee: (\$1 per \$1000 of work to be performed)
- VCC/HDLC Surcharge: (50% of total fee, calculated using the above)

### ACKNOWLEDGMENTS

I certify that the above information is true and correct to the best of my knowledge. I understand that the City of New Orleans is authorized to suspend or revoke a permit or license issued under the provisions of its Municipal Code wherever a permit or license is issued in error or on the basis of incorrect, inaccurate or any false statement or misrepresentation, or in violation of any ordinance or regulation or any of the provisions of the City of New Orleans Municipal Code, the Comprehensive Zoning Ordinance, the International Construction Code or International Fire Code as adopted by the City of New Orleans. Fines and penalties for misrepresentation of material facts will be assessed in accordance with City of New Orleans ordinances and State of Louisiana Revised Statutes. I understand that any change in the scope or cost of the work must be reported to the Department of Safety and Permits and additional permits may be required.

I certify that I have the authority of the current property owner(s) to apply for the work proposed.

Applicant Signature \_\_\_\_\_

Roy Nicklas

Date \_\_\_\_\_

2/4/20

1300 PERDIDO ST. NEW ORLEANS, LA 70112 • (504) 658-7100

PAGE 2 OF 2





CONSTRUCTION  
&  
SHORING

2529 Nebraska Ave.  
Metairie, LA 70003  
Cell: 504-650-7288  
LA State License #85380

Building Cost for:

5268 Warrington Rd.  
New Orleans, LA 70122

2/4/2020

Item Name	Material	Labor	Equipment	Total
House Demolition, Fill & Grading	N/A	N/A	N/a	N/a
Excavation	N/a	N/a	N/a	N/a
Piling & Foundation	4,500	4,000	N/a	8,500
Rough Hardware	1,000	N/A	N/a	1,000
Rough Carpentry	27,500	14,000		41,500
Insulation	2,500	2,000		4,500
Exterior Finish	7,000	8,500		15,500
Exterior Painting	2,000	6,500		8,500
Interior-exterior doors	3,500	2,500		6,000
Vinyl Windows	3,250	Incl. in framing		3,250
Finish Hardware, Shelving	1,500	1,250		2,750
Roofing, Flashing, Fascia	3,308	2,500		5,808
Finish Carpentry	3,500	9,000		12,500
Interior Walls	3,000	6,500		9,500
Interior Painting	1,500	6,000		7,500
Wiring	4,500	8,000		12,500
Light Fixtures	3,000	Incl. in electrical		3,000
Ceramic Flooring	2,500	3,500		6,000
Hardwood Flooring	10,000	7,000		17,000
Bath Accessories	528	500		1,028
Tub & Shower Enclosures	2,500	3,500		6,000
Granite Countertops	2,500	3,000		5,500
Cabinets	5,000	2,000		7,000
Plumbing Rough-in & Connection	3,500	7,500		11,000
Plumbing Fixtures	4,000	Incl. in plumbing		4,000
Heating & Cooling Systems (Flex Duct)	7,500	6,500		14,000

Driveway	3,000	4,500		7,500
Gutter & downspouts	1,500	1,000		2,500
Permits				1,500
Front porch brick & steps	2,500	2,500		5,000
<b>Landscaping &amp; grass</b>	5,000	4,000		9,000
<b>Total Cost</b>	121,586	116,250		<b>239,336</b>

RAY NIKDAST

*Ray Nikdast*

Contractor

Royal Crest Construction Inc.

*2/4/20*

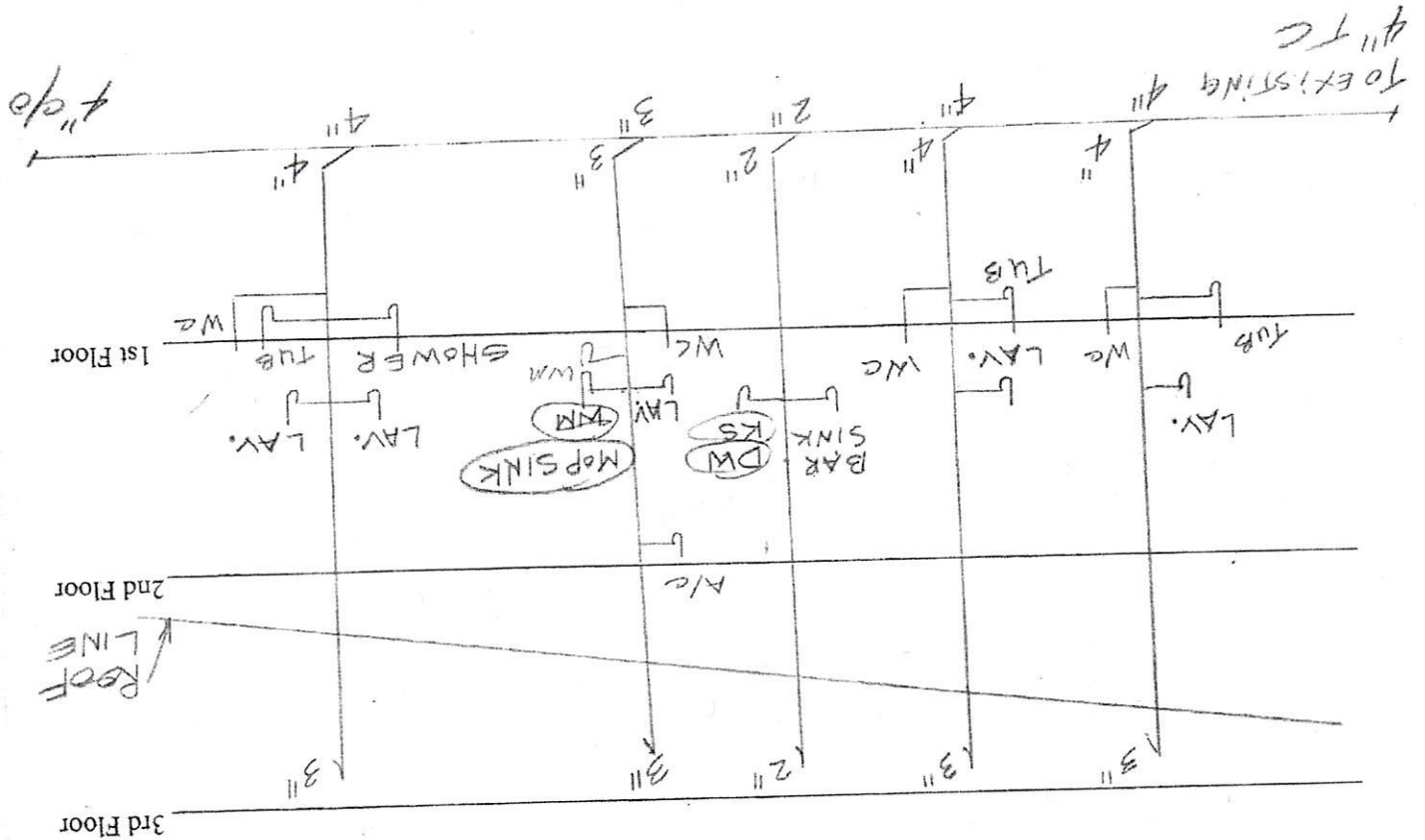
Date

OWNER & CONTRACTOR

# PLAN

On this page draw a sketch of the plumbing (not necessarily to scale), showing as nearly as possible the relative position of the fixtures. In elevation show the floor of the house, and upon which floor each fixture is placed. Specify the length, size, weight or quality and grade of all soil waste or ventilating pipes, and such description as is not clearly set forth in the preceding list. Plot plans or blue prints showing underground pipe lines and arrangement of fixtures shall be attached to and become part of the application, affording sufficient and definite information. New pipe, fittings, and fixtures must be shown in BLACK. Old pipe, fittings and fixtures must be shown in RED.

NEW CONSTRUCTION - ONE STORY ON PIER



APPROVED  
By H Blancq at 1:05 pm, Feb 06, 2020



(504)

782-3133

JOB ADDRESS:  
5268 WARRINGTON  
NEW ORLEANS, LA.

HI-TECH P.L.



SQ. NO. 9, MIRABEAU GARDENS, SEC. "C"  
THIRD DISTRICT

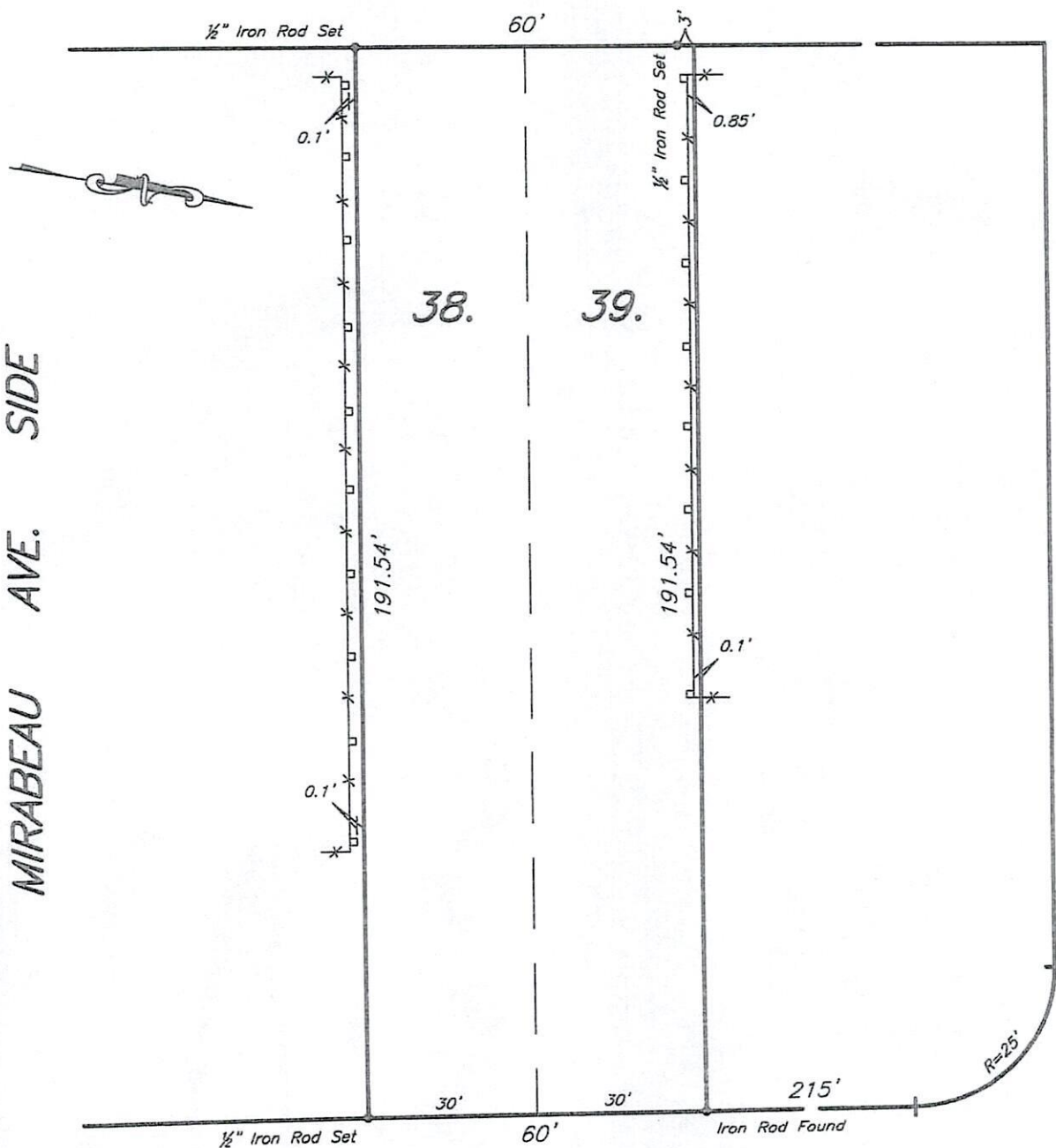
A Boundary Survey of Lots 38 and 39.

NEW ORLEANS, LA  
ORLEANS PARISH

LONDON AVE.

MIRABEAU AVE. SIDE

FILLMORE AVE.



WARRINGTON DR.



**DEPARTMENT OF SAFETY & PERMITS  
CITY OF NEW ORLEANS**

PERMIT NO: \_\_\_\_\_

DATE: \_\_\_\_\_

ADDRESS: 5268 WARRINGTON DRIVE \_\_\_\_\_

SUBDIVISION: MIRABEAU GARDENS \_\_\_\_\_

DISTRICT: THIRD \_\_\_\_\_

SQUARE: 9 \_\_\_\_\_

LOTS: 38, 39 \_\_\_\_\_

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEVATION (BFE)	FREEBOARD (ADD 1FT FOR A AND V ZONES) <small>OFFICE USE ONLY</small>
225 203	0114	F	9/30/2016	X	NONE N.A.V.D	+1ft = _____

MINIMUM FLOOR ELEVATION:

\_\_\_\_\_ N.A.V.D.

FOR V - ZONES ONLY:

\_\_\_\_\_ N.A.V.D.

(ELEVATION OF BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER)

IN ADDITION TO THE FEMA ELEVATIONS, THE FOLLOWING CONDITIONS MUST ALSO BE MET:

- A. TOP OF SLABS ON GRADE OR FILL MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE.
- B. PIER CONSTRUCTION: TOP OF PIERS (UNDERSIDE OF SILLS) MUST HAVE AT LEAST 18" CLEARANCE BENEATH THE STRUCTURE. IN ADDITION, THE LOWEST FLOOR MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE. (IF NO CURB, USE CENTERLINE OF STREET)
- C. ALL MECHANICAL OR PLUMBING EQUIPMENT SERVICING THE BUILDING MUST BE LOCATED AT OR ABOVE THE REQUIRED FLOOR ELEVATION.
- D. SLABS FOR ATTACHED GARAGES MUST BE AT THE REQUIRED FLOOR ELEVATION OR BE CONSTRUCTED OF WATER-RESISTANT MATERIALS WITH PROPER VENTING IN 2 WALLS.
- E. DETACHED GARAGES WITH PLUMBING MUST BE AT THE REQUIRED FLOOR ELEVATION.
- F. CONSTRUCTION BENCHMARK MUST BE SET AT REQUIRED MINIMUM FLOOR ELEVATION OR GREATER. (ADD 1 FOOT FOR A & V-ZONES)

APPROVED FOR CITY BY: \_\_\_\_\_

1.

**CERTIFICATE OF CONSTRUCTION BENCHMARK**

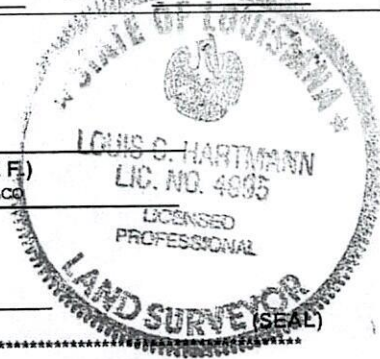
EXISTING HIGHEST TOP OF CURB ELEVATION -6.39 N.A.V.D.  
EXISTING HIGHEST CENTERLINE OF STREET \_\_\_\_\_ N.A.V.D.  
EXISTING LOT ELEVATIONS (PROPERTY CORNERS OR EDGE)  
FRONT (RIGHT) -5.94 N.A.V.D. FRONT (LEFT) -5.53 N.A.V.D.  
REAR (RIGHT) -5.45 N.A.V.D. REAR (LEFT) -5.49 N.A.V.D.  
OTHER \_\_\_\_\_ N.A.V.D.

DESCRIBE

DESCRIPTION OF CONSTRUCTION BENCHMARK: NAIL FOUND IN POWER POLE  
ELEVATION OF CONSTRUCTION BENCHMARK: -3.31 N.A.V.D. (SEE NOTE F)  
REFERENCE BENCHMARK USED TO ESTABLISH CONSTRUCTION BENCHMARK: ALCO  
ELEVATION OF REFERENCE BENCHMARK: 5.80 N.A.V.D.

FOR PERMIT OFFICE USE ONLY  
ADD 3ft to curb, if no curb use the centerline of street  
+ 3ft = \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: 11/16/2019  
(L.A. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER)



2.

**CERTIFICATE OF TOP OF FORM OR TOP OF PIER ELEVATION**

(To be submitted before pouring concrete for slab construction or framing floor for pier construction)

AS BUILT ELEVATIONS: FORM \_\_\_\_\_ N.A.V.D. PIER \_\_\_\_\_ N.A.V.D.

**PIER CONSTRUCTION:**

ALL FRAMING MATERIALS BELOW THE MINIMUM FLOOR ELEVATION (B.F.E.) MUST BE CONSTRUCTED WITH WATER-RESISTANT MATERIALS AND THE FIRST FLOOR MUST BE AT OR ABOVE THE MINIMUM FLOOR ELEVATION (B.F.E.).

**V ZONES ONLY:**

BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER \_\_\_\_\_ N.A.V.D.

(Must be submitted before framing begins)

IN V ZONES, ALL ENCLOSURES BELOW THE B.F.E. MUST BE DESIGNED WITH BREAK-AWAY WALLS CONSTRUCTION.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
(L.A. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER) (SEAL)

3.

**FILLING, GRADING, DRAINAGE, SIDEWALK AND DRIVEWAY CERTIFICATION AND AFFIDAVIT**  
(To be submitted before Use & Occupancy Certificate can be issued)

THIS WILL CONFIRM THAT ALL FILLING, GRADING, DRAINAGE, SIDEWALKS AND DRIVEWAYS HAVE MET THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE CODE OF THE CITY OF NEW ORLEANS.



# PERMIT REVIEW COMMENTS SHEET

PERMIT #: 20-02907

DIVISION:	REVIEW COMMENT	RESOLVED?
SP	Needs signed contract	✓
SP	Need Benchmark.	✓

**GILBERT, KELLY & COUTURIÉ****Professional Land Surveying**

2121 N. Causeway Blvd.  
Suite 121  
Metairie, LA 70001  
Phone (504) 836-2121  
Fax (504) 832-1158

**INVOICE**

Date	Invoice #
11/19/2019	151731

ROYAL CREST CONSTRUCTION  
2529 NEBRASKA  
METAIRIE, LA 70003

Owner Name:  
Client File #:  
Ordered By: RAY (504) 650-7288  
Phone: (504) 650-7288  
Alt. Phone: None  
Fax: None  
Email: ROYALCRESTINC@GMAIL.COM

Service Description	Price
UPDATE CONSTRUCTION PACKAGE <i>Address: 5268 WARRINGTON DRIVE Subdivision: MIRABEAU GARDENS District: THIRD Square: 9 Lot: 38,39 Section: SEC C Parish: ORLEANS</i>	\$100.00
<b>TOTAL INVOICE</b>	<b>\$100.00</b>
<b>PAYMENTS</b>	<b>\$0.00</b>
<b>BALANCE DUE</b>	<b>\$100.00</b>

*Please return copy of this invoice with your payment!*



CITY OF NEW ORLEANS  
DEPARTMENT OF SAFETY AND PERMITS  
BUILDING PERMIT

Permit #: 20-02907

Date Issued: 02/19/20

Address: 5268 Warrington Drive

Use Type: residential

Improvement Type: New construction

FEMA Zone: X-Zone

Elevation Requirement: yes

Description of Work: New Construction 2800 sq ft  
according to plans

Issuer Name: T Breckman

Issuer Signature: [Signature]

This permit conveys no right to violate any provision of the New Orleans amendments to the International Building Code or Comprehensive Zoning Ordinance. This permit conveys no right to occupy any street, alley, or part thereof, either temporarily or permanently. Encroachments on public property must be approved by the appropriate City agency; separate permits must be obtained from other City and State agencies as required by law. This permit is subject to the issuance of a final certificate of occupancy; otherwise the same is null and void. It is unlawful to occupy any building or portion thereof without said certificate.

**IMPORTANT NOTICE: IT IS UNLAWFUL TO POUR ANY FOUNDATION, CLOSE ANY WALL OR COVER ANY SPACE WITHOUT PRIOR APPROVAL FROM THE BUILDING INSPECTION BUREAU.**

For more information, call (504)658-7130.